

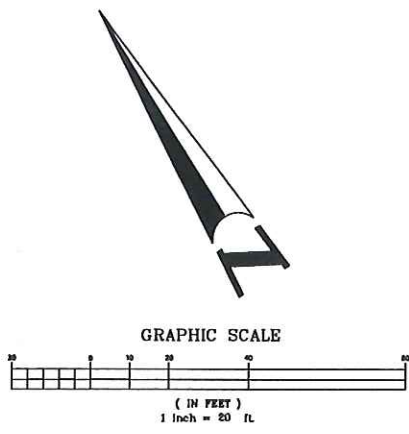
UTILITY NOTE:
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPE SIZES AND/OR STRUCTURES SHOWN ON THIS SURVEY WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES, EXCEPT AS SHOWN ON THIS SURVEY. THE CONTRACTOR SHALL ASCERTAIN THE TRUE LOCATION OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

FLOOD ZONE:
"X", PER COMMUNITY PANEL NO. 06 001C 0441G, DATED AUGUST 3, 2009.

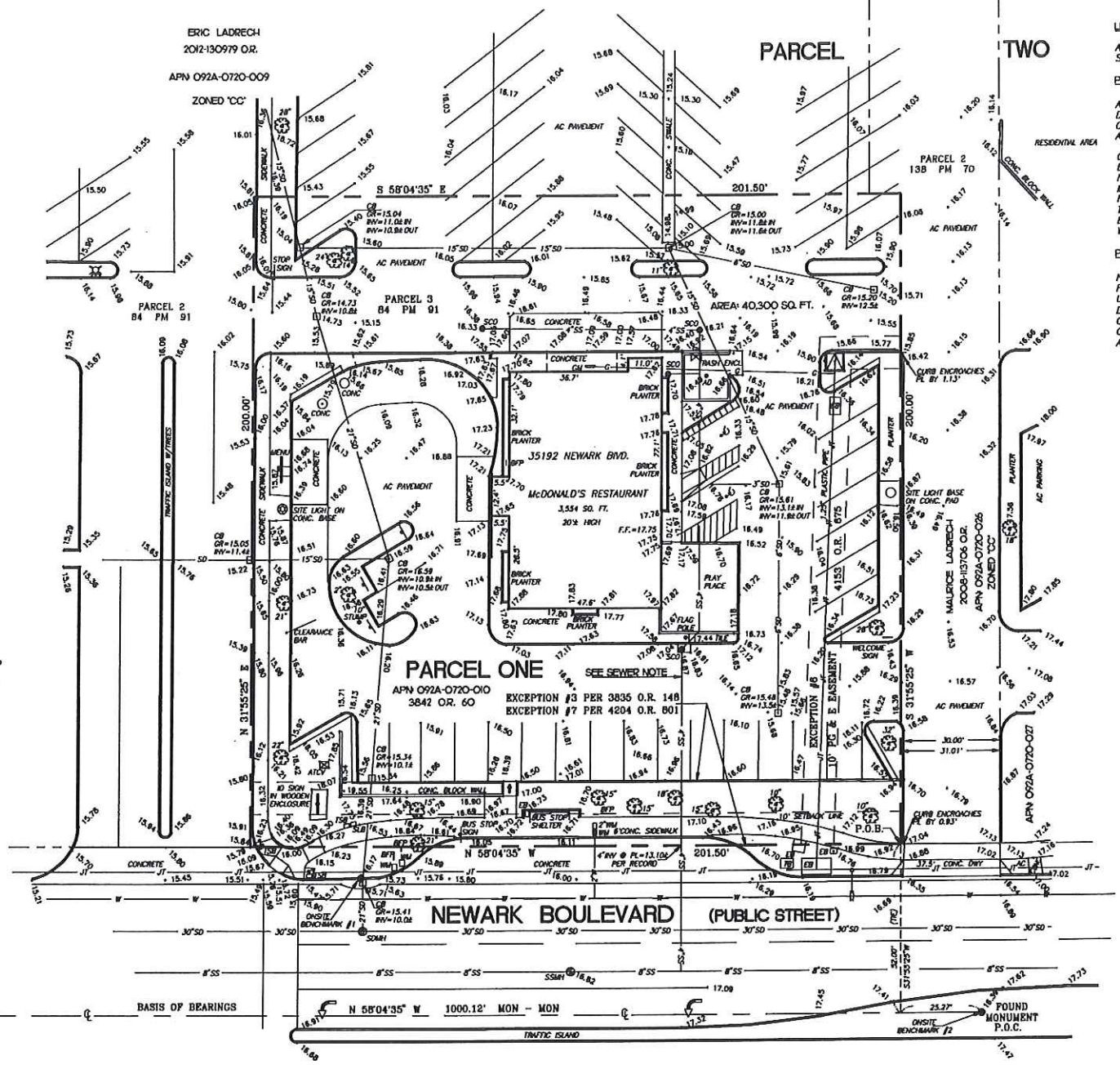
SITE ZONING:
CC - COMMUNITY COMMERCIAL

SETBACKS:
FRONT: 10 FEET
SIDE: NONE
REAR: NONE

SITE PARKING:
33 TOTAL SPACES, INCLUDING 2 ACCESSIBLE STALLS



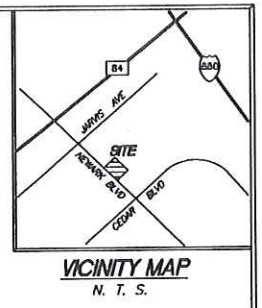
JARVIS AVENUE
(PUBLIC STREET)



LEGAL DESCRIPTION:
ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE CITY OF NEWARK, COUNTY OF ALAMEDA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL ONE:
COMMENCING AT A STANDARD CITY MONUMENT IN NEWARK BOULEVARD, DISTANT SOUTH 58°04'35" EAST, 1000.12 FEET FROM A STANDARD CITY MONUMENT LOCATED AT THE INTERSECTION OF SAID NEWARK BOULEVARD WITH JARVIS AVENUE, AS SHOWN ON SAID MAP; THENCE ALONG THE MONUMENT LINE NORTH 58°04'35" WEST, 25.27 FEET; THENCE NORTH 31°55'25" EAST, 52.00 FEET TO THE SOUTHERLY CORNER OF SAID PARCEL 3 AND THE POINT OF BEGINNING FOR THIS DESCRIPTION; THENCE NORTH 58°04'35" WEST, 201.50 FEET; THENCE NORTH 31°55'25" EAST, 200.00 FEET; THENCE SOUTH 58°04'35" EAST, 201.50 FEET; THENCE SOUTH 31°55'25" WEST, 200.00 FEET TO THE POINT OF BEGINNING.

PARCEL TWO:
NON-EXCLUSIVE EASEMENT(S), AS AN APPURTENANCE TO PARCEL ONE HEREINAFORE DESCRIBED, FOR INGRESS AND EGRESS BY VEHICULAR AND PEDESTRIAN TRAFFIC, VEHICULAR PARKING, UTILITY LINES, SIGNS, CANOPIES AND EAVES AS SAID NON-EXCLUSIVE EASEMENTS ARE FURTHER DEFINED IN THAT CERTAIN DOCUMENT ENTITLED, "DECLARATION OF ESTABLISHMENT OF RESTRICTIONS, CONDITIONS, EASEMENTS AND AGREEMENTS", DATED DECEMBER 4, 1974, AND RECORDED IN THE OFFICE OF THE ALAMEDA COUNTY RECORDER ON DECEMBER 17, 1974, IN REEL 3835, IMAGE 528, AS INSTRUMENT NUMBER 74-158562, OFFICIAL RECORDS.



- EXCEPTIONS PER CHICAGO TITLE COMPANY COMMITMENT FOR TITLE INSURANCE ORDER NO. 14-59054368-D-CP, AMENDED SEPTEMBER 26, 2016.**
- PROPERTY TAXES
NOT A SURVEY MATTER
 - LIEN OF SUPPLEMENTAL TAXES, IF ANY
NOT A SURVEY MATTER
 - BUS LOADING, PEDESTRIAN AND PLANTING EASEMENT GRANTED TO CITY OF NEWARK, A MUNICIPAL CORPORATION, BY DOCUMENT RECORDED IN REEL 3835, IMAGE 148 OF OFFICIAL RECORDS.
AFFECTS THE SURVEYED PROPERTY.
 - COVENANTS, CONDITIONS AND RESTRICTIONS AS DESCRIBED IN DOCUMENT NO. 1974-158562, IN REEL 3835, IMAGE 528 OF OFFICIAL RECORDS.
AFFECTS ENTIRE PROPERTY
 - MEMORANDUM OF DEVELOPMENT AGREEMENT, RECORDED DECEMBER 17, 1974, IN REEL 3835, IMAGE 569, INSTRUMENT NO. 74-158565 OF OFFICIAL RECORDS.
NOT A SURVEY MATTER
 - UNDERGROUND UTILITIES EASEMENT GRANTED TO PACIFIC GAS AND ELECTRIC COMPANY, BY DOCUMENT RECORDED IN REEL 4153, IMAGE 675 OF OFFICIAL RECORDS.
AFFECTS THE SURVEYED PROPERTY.
 - COMMUNICATION FACILITY EASEMENT GRANTED TO PACIFIC TELEPHONE AND TELEGRAPH COMPANY, RECORDED IN REEL 4204, IMAGE 801 OF OFFICIAL RECORDS.
AFFECTS THE SOUTHWESTERLY 20.00 FEET OF SURVEYED PROPERTY.
 - MATTERS IN DOCUMENT ENTITLED AGREEMENT FOR CONSTRUCTION OF BARRIER AND TO BEAR COSTS, RECORDED AS DOCUMENT NO. 93-122076, OFFICIAL RECORDS.
NOT A SURVEY MATTER
 - PLEASE BE ADVISED THAT OUR SEARCH DID NOT DISCLOSE ANY OPEN DEEDS OF TRUST OF RECORD, IF YOU SHOULD HAVE KNOWLEDGE OF ANY OUTSTANDING OBLIGATION, PLEASE CONTACT THE TITLE DEPARTMENT IMMEDIATELY FOR FURTHER REVIEW PRIOR TO CLOSING.
NOT A SURVEY MATTER

BASIS OF BEARINGS:
THE MONUMENT LINE IN NEWARK BOULEVARD, AS SHOWN ON PARCEL MAP 1564, FILED IN BOOK 84 OF PARCEL MAPS, PAGE 91, ALAMEDA COUNTY RECORDS, TAKEN AS NORTH 58°04'35" WEST, WAS USED AS BASIS OF BEARINGS.

BENCHMARK:
CHISELED SQUARE, TOP OF CURB, LOCATED AT THE NORTHERLY RETURN OF THE NORTHWESTERLY CORNER OF THE INTERSECTION OF NEWARK BOULEVARD WITH CEDAR BOULEVARD.
ELEVATION = 18.73 FEET, NGVD 29 (CITY) DATUM.
ADD 2.71 TO OBTAIN NAVD 88 (FEMA) DATUM

ONSITE BENCHMARK #1:
TOP OF CURB, AT CATCH BASIN, ALONG NEWARK BOULEVARD, LOCATED 18 FEET SOUTHEASTERLY FROM SOUTHERN RETURN OF MAIN DRIVEWAY INTO SHOPPING CENTER, AND AS SHOWN HEREON.
ELEVATION = 16.17 FEET, NGVD 29 DATUM.

ONSITE BENCHMARK #2:
STANDARD CITY MONUMENT IN WELL, LOCATED IN NEWARK BOULEVARD, 1000.12 FEET SOUTHEASTERLY FROM ITS INTERSECTION WITH JARVIS AVENUE, AS SHOWN HEREON.
ELEVATION = 16.39 FEET, NGVD 29 DATUM.

ABBREVIATIONS

AC ASPHALT CONCRETE	MC METAL COVER
ATCV AUTOMATIC TRAFFIC CONTROL VAULT	PL PLANTER
BFP BACKFLOW PREVENTER	SCO SANITARY CLEAN OUT
CB CATCH BASIN	SD STORM DRAIN PIPE
DRY DRIVEWAY	SS SANITARY SEWER PIPE
EB ELECTRIC BOX	SDMH STORM DRAIN MANHOLE
FL FLOWLINE	SSMH SANITARY SEWER MANHOLE
GM GAS METER	TB TELEPHONE BOX
GR GRATE	TSB TRAFFIC SIGNAL BOX
HCR HANDICAP RAMP	W WATER PIPE
KCV BRINKLTON CONTROL VALVE	WM WATER METER
INVERT	12" TREE W/ SIZE
JT JOINT TRENCH	

SYMBOLS

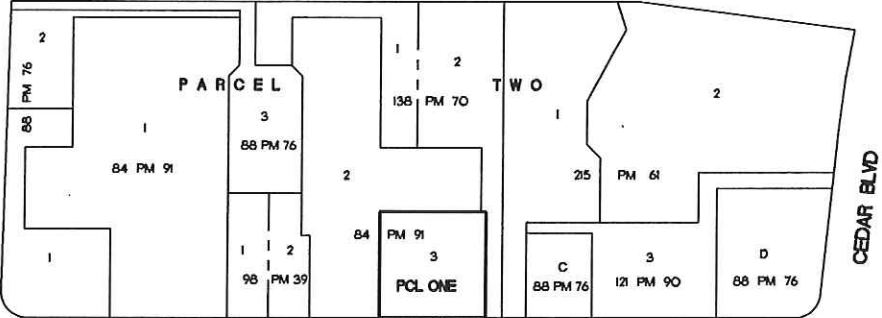
⊙	ONSITE BENCH MARK
⊕	FIRE HYDRANT
⊗	SANITARY SEWER MANHOLE
⊙	STORM DRAIN MANHOLE
—	STREET SIGN
⊠	TRAFFIC SIGNAL
⊕	WATER VALVE
⊙	YARD LIGHT
⊕	ELECTRIC TRANSFORMER
---	SURVEYED PROPERTY LINE
---	ADJACENT PARCEL LINE
---	EASEMENT LINE

SURVEYOR'S CERTIFICATE:
TO MCDONALD'S CORPORATION, MCDONALD'S USA, LLC, MCDONALD'S REAL ESTATE COMPANY AND CHICAGO TITLE COMPANY:
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2018 MICHIGAN STANDARD LEGAL REQUIREMENTS FOR ALIENS' LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALA AND HSPS, AND THAT IT COMPLES WITH THE REQUIREMENTS PROVIDED BY MCDONALD'S CORPORATION.
ORIGINAL FIELD WORK WAS COMPLETED ON JUNE 23, 2014.
SITE INSPECTION WAS PERFORMED OCTOBER 21, 2018.
DATE OF PLAN OR MAP JANUARY 11, 2017.



SIGNED: *Piotr Zieba*
PIOTR ZIEBA, LS 8248

SEWER NOTE:
ONSITE SEWER LINE LOCATIONS, SIZES AND INVERTS ARE SHOWN PER GRADING PLAN, JOB NO. 105-3400, AND APPROVED BY UNION SANITARY DISTRICT, DATED 9-18-75.

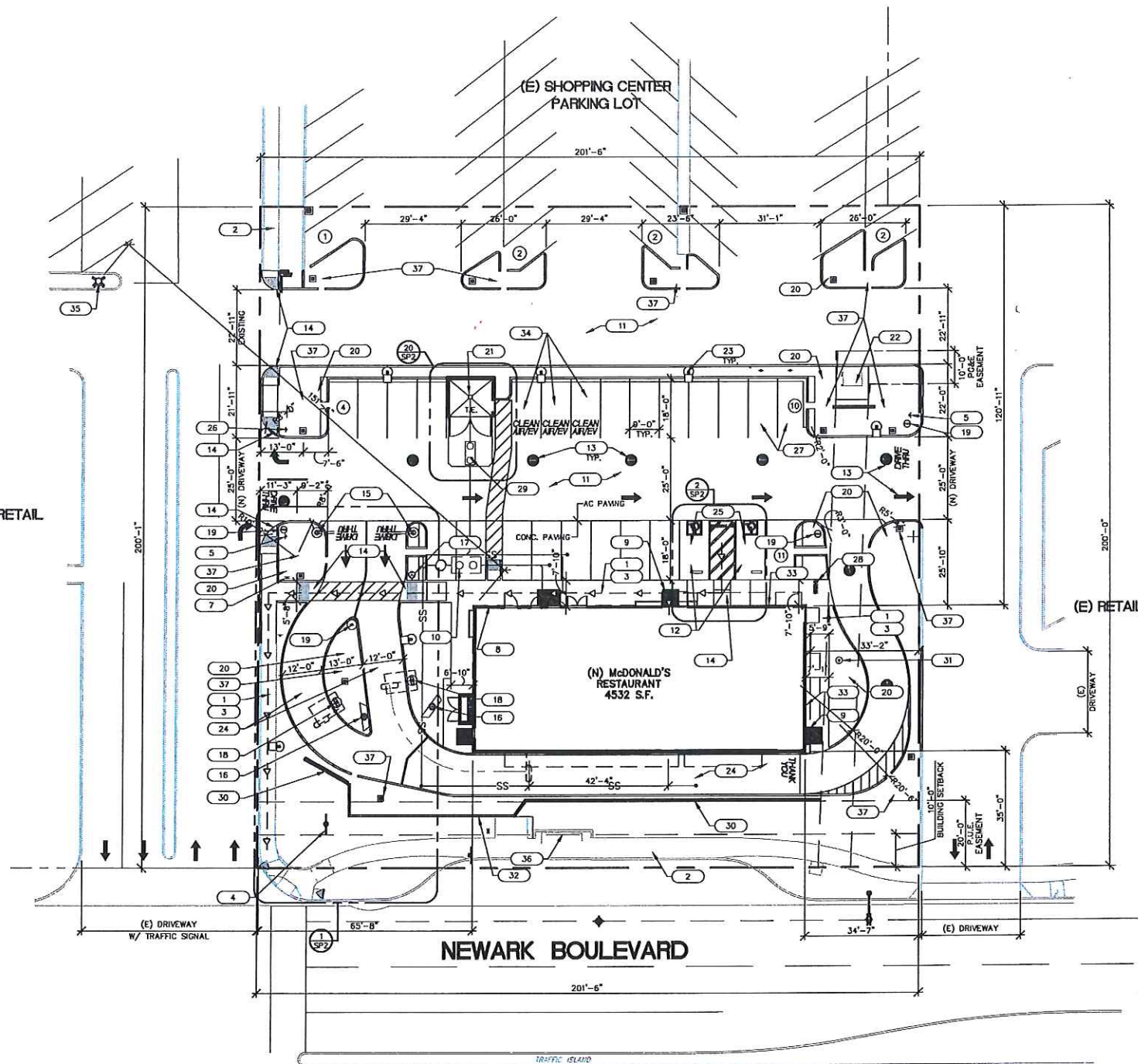


NEWARK BOULEVARD
KEY MAP
SCALE: 1"=50'

ALTA SURVEY		SHEET 1 OF 1 SHEETS
35192 NEWARK BOULEVARD NEWARK ALAMEDA COUNTY CALIFORNIA		
Prepared for Stantec Consulting Inc.		JOB NO. 14-0620
ZIEBATECH LAND SURVEYING 9825 WINDSOR WAY SAN RAMON, CALIFORNIA 94583 PHONE (925) 591-0008 E-MAIL EZIEBA@AOL.COM		LIC: 004-0456

EXHIBIT A p2

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TRASH ENCLOSURE SHALL PROVIDE SIGNAGE THAT STATE THAT THE ENCLOSURE DOORS SHALL BE CLOSED IMMEDIATELY AFTER USE. ENCLOSURE DOORS SHALL NOT ENCRoACH INTO REQUIRED DRIVE-aisLES OR PARKING SPACES WHEN IT IS OPEN. NO REFUSE, GARBAGE OR RECYCLE SHALL BE STORED OUTDOORS EXCEPT WITHIN THE APPROVED TRASH AND RECYCLING ENCLOSURE.

KEYNOTES

- 1 (N) ACCESSIBLE PATH TO PUBLIC RIGHT-OF-WAY WALK TO BE FREE FROM ABRUPT CHANGES IN LEVEL OF MORE THAN 1/4". WALK NOT TO EXCEED 5% SLOPE IN DIRECTION OF TRAVEL & 2% CROSS SLOPE
- 2 (E) PUBLIC SIDEWALK
- 3 (N) CONCRETE SIDEWALK, SEE CIVIL DRAWINGS
- 4 (E) McDONALD'S MONUMENT SIGN
- 5 (N) FREE STANDING ENTRANCE SIGN WITH ACCESSIBLE PARKING AND TOW AWAY INFO. (TYP. AT ALL VEHICULAR ACCESSES.)
- 6 (N) FORREST PERMA ACCESSIBLE INFORMATIONAL SIGN
- 7 (N) DOUBLE FACED FORREST PERMA ACCESSIBLE SIGN
- 8 (N) ACCESSIBLE DIRECTIONAL SIGN
- 9 (N) FORREST PERMA ACCESSIBLE ENTRANCE SIGN
- 10 (N) GREASE TRAP LOCATION, SEE CIVIL AND PLUMBING DRAWINGS
- 11 (N) A.C. PAVEMENT ENTIRE PARKING LOT (SLURRY SEAL)
- 12 (N) ACCESSIBLE PARKING STALLS
- 13 (N) STREET GRAPHICS TO BE APPLIED AS SHOWN BY OTHERS (TYP.)
- 14 (N) ACCESSIBLE CONC. CURB RAMP, SEE CIVIL DRAWINGS.
- 15 (N) VEHICLE CLEARANCE BAR BY OTHERS, UNDER SEPARATE PERMIT
- 16 (N) MENU BOARD BY OTHERS, UNDER SEPARATE PERMIT
- 17 (N) PRE-SALE SIGN BY OTHERS, UNDER SEPARATE PERMIT
- 18 (N) CUSTOMER ORDER DISPLAY CANOPY BY OTHERS UNDER SEPARATE PERMIT
- 19 (N) McDONALD'S DIRECTIONAL SIGN BY OTHERS, UNDER SEPARATE PERMIT
- 20 (N) LANDSCAPING (TYP.)
- 21 (N) TRASH ENCLOSURE w/ RECYCLING BINS / AREA
- 22 (N) LOCATION FOR TRANSFORMER WITH GUARD POSTS
- 23 (N) YARD LIGHTS (TYP. OF 6)
- 24 (N) CONCRETE PAVING AT DRIVE THRU AREA
- 25 (N) CONCRETE PAVING AT ACCESSIBLE STALL AREA. (2% MAX. SLOPE IN ANY DIRECTION)
- 26 (N) "RIGHT TURN ONLY" SIGN
- 27 (N) "PULL FORWARD" STALLS & SIGNAGE
- 28 (N) BIKE RACK
- 29 (N) SAND-OIL SEPARATOR, SEE CIVIL DRAWINGS.
- 30 (N) SCREEN WALL SEE DETAIL 3/A2.2
- 31 (N) McDONALD'S FLAG
- 32 (E) RETAINING WALL TO RECEIVE STUCCO FINISH PAINTED TO MATCH BASE BUILDING COLOR. GC TO VERIFY (E) RETAINING WALL HEIGHT TO MATCH (N) SCREEN WALL HEIGHT
- 33 (N) NO SMOKING WITHIN 25 FEET FROM BUILDING ENTRY, OUTDOOR AIR INTAKE AND OPERABLE WINDOWS PER CAL GREEN SECTION 5.504.7
- 34 (N) PARKING STALLS FOR FUEL EFFICIENT VEHICLES (TYP. OF 3). PER CAL GREEN TABLE 5.106.52
- 35 (E) FIRE HYDRANT TO REMAIN
- 36 (E) BUS STOP TO REMAIN
- 37 (N) CATCH BASIN AND BIORETENTION AREA, SEE CIVIL DRAWINGS

PROJECT INFORMATION

ZONING: CC - COMMUNITY COMMERCIAL
 SITE AREA: 40,300 S.F.
 BUILDING AREA: 4,532 S.F.
 LANDSCAPING REQUIRED: 2% OF PROPERTY AREA.
 LANDSCAPING PROVIDED: 1,612.2 S.F.
 LANDSCAPING PROVIDED: 7,672 S.F.

PARKING INFORMATION (PROPOSED)

TOTAL SPACES	ACCESSIBLE	2 SPACES	9' x 20' @ 90°
32	STANDARD	30 SPACES	9' x 20' @ 90°

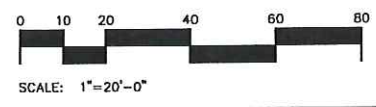
TOTAL NUMBER OF EXISTING PARKING STALLS = 33
 PARKING REQUIRED 6/1000 SF. = 28 STALLS

SITE ACCESSIBILITY ENTRANCE SIGNS

AT EVERY PRIMARY PUBLIC ENTRANCE AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL, THERE SHALL BE A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL INDICATE THE DIRECTION TO ACCESSIBLE BUILDINGS ENTRANCES AND FACILITIES.

PLAN LEGEND

- COL = CENTER LINE
- CL = COLUMN
- (E) = EXISTING
- EXH = EXHIBIT
- F.O.C. = FACE OF CURB
- F.O.S. = FACE OF STUD
- F.O.F. = FACE OF FOUNDATION
- (N) = NEW
- P.O.C. = POINT OF CURVATURE
- R = RADIUS
- R.O.W. = RIGHT OF WAY
- SHT. = SHEET
- SM. = SIMILAR
- TYP. = TYPICAL
- FSE = FINISH SLAB ELEVATION
- (E) CONCRETE CURB
- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL
- (N) CONCRETE CURB WALK
- (N) CONCRETE PAVING
- (N) PAVEMENT ARROWS PER DETAIL 18/S01 (PAINTED WHITE)
- (N) DRIVE THRU STRIPING PER DETAIL 17/S01 (PAINTED YELLOW)

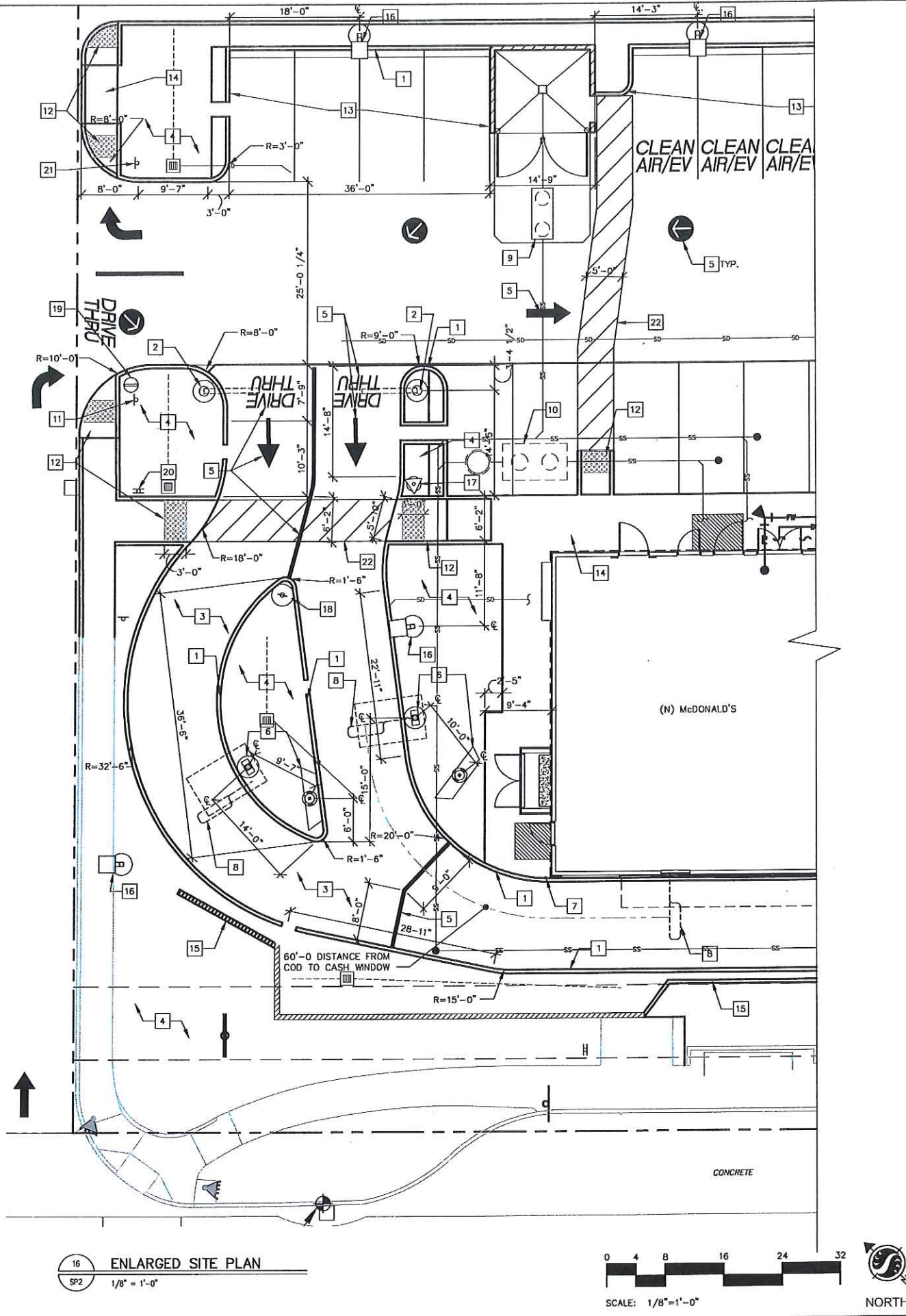
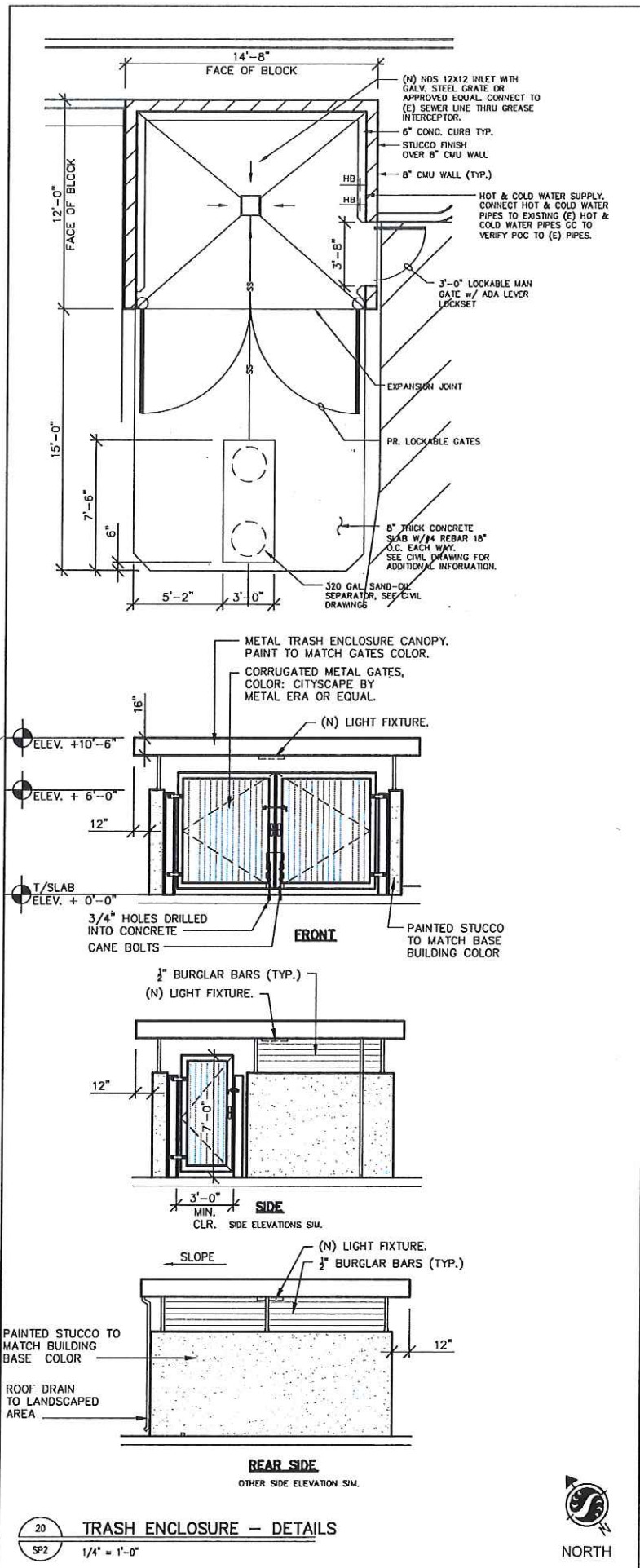


20 PROPOSED SITE PLAN
 SPI 1" = 20'-0"

BRAND REVIEW 03/27/13 PLANNING PERMIT BO CONSTRUCTION	DRAWING TITLE PROPOSED SITE PLAN PROJECT ADDRESS 35192 NEWARK BLVD NEWARK, CA 94560 PROJECT CAD FILE 200704030	STATE SITE CODE 004-008 DRAWN BY HI	SHEET NO. SPI PLAN SCALE: 1"=1' BOA-804	 Stantec Stantec Architecture Inc. Tel. 707.765.1660 1383 N. McDowell Blvd. Fax. 707.765.9908 Petaluma, CA U.S.A. 94954 www.stantec.com	PREPARED FOR: M. McDonald's USA, LLC <small>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on a different site or at a later time. The use of these drawings for reference or example on another project requires the contractor to obtain the necessary permissions from the owner. The contract documents for that project are not authorized.</small>
R.P. 03/06/17 02/14/17 01/20/17 09/19/16 07/11/16 06/24/16 05/23/16	R.P. 03/06/17 02/14/17 01/20/17 09/19/16 07/11/16 06/24/16 05/23/16	R.P. 03/06/17 02/14/17 01/20/17 09/19/16 07/11/16 06/24/16 05/23/16	R.P. 03/06/17 02/14/17 01/20/17 09/19/16 07/11/16 06/24/16 05/23/16	REVISIONS #1 REV DATE DESCRIPTION	

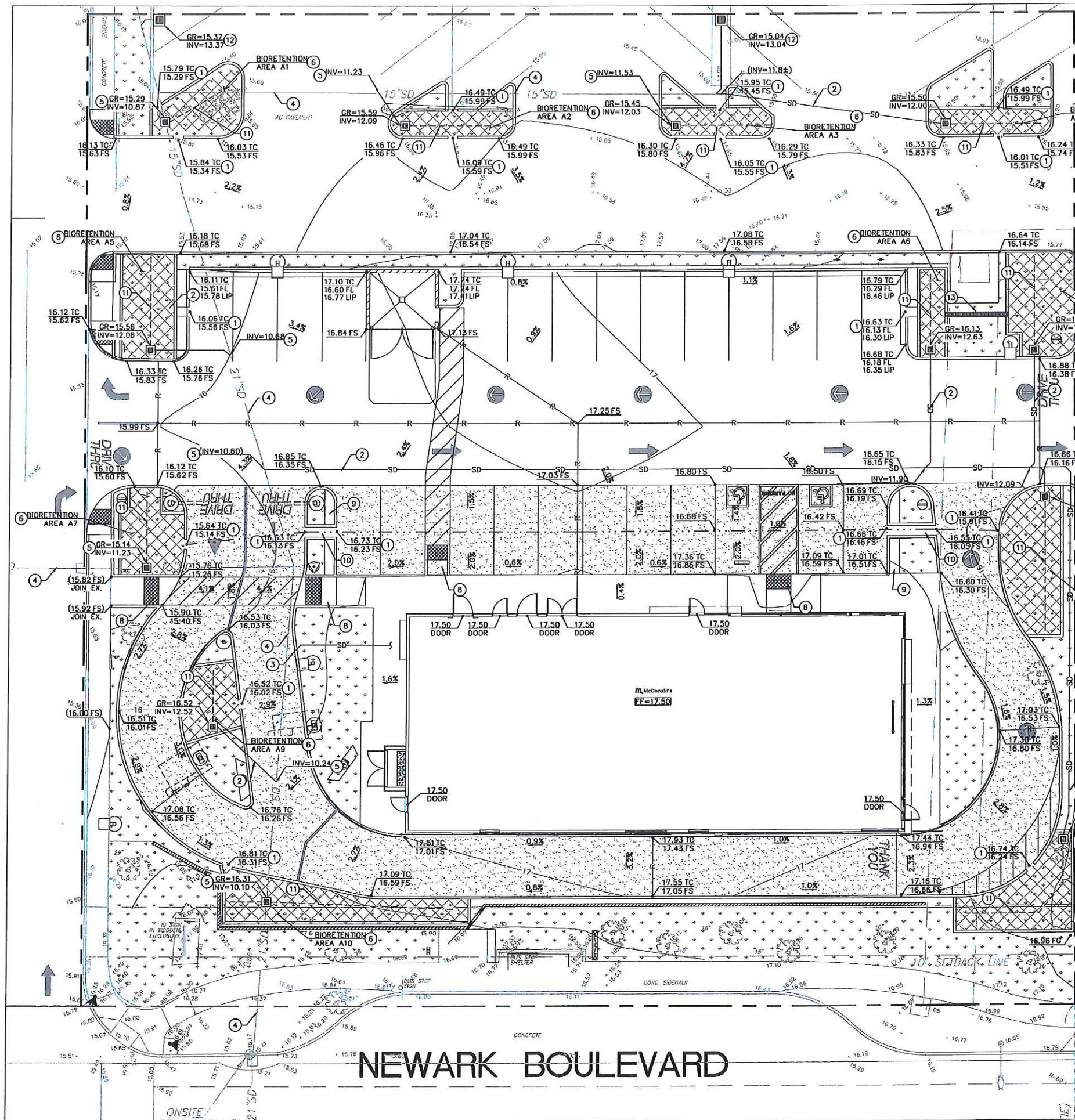
EXHIBIT A p4

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GENERAL NOTES		R.P.P.	R.P.P.	HI	HI	HI	HI	HI	HI	HI	BY
1.	SURFACE OF RAMP AND FLARES SHALL BE SLIP RESISTANT AND CONTRASTING FINISH FROM SIDEWALK.										
2.	RAMP SHALL BE IN SINGLE SLOPE PLANE W/ MIN. SURFACE WARPING AND CROSS SLOPE.										
3.	RAMP LANDING SHALL HAVE A CROSS SLOPE OF 2% MAX. IN ALL DIRECTIONS.										
4.	MAXIMUM SLOPE IN ACCESSIBLE PARKING STALLS & ACCESSIBLE AISLE TO BE 2% IN ANY DIRECTION.										
5.	ALL PARKING LOT IMPROVEMENTS SHALL MATCH SURROUNDING EXISTING GRADES.										
6.	FOR ADDITIONAL INFORMATION REGARDING DRAINAGE & GRADING, CONCRETE CURB, SIDEWALKS & GUTTER DETAILS, SEE CIVIL DRAWINGS.										
<p>DRIVE THRU SIGNAGE KEYNOTES</p> <p>1 (N) CONCRETE CURB. SEE DETAIL 8/501</p> <p>2 (N) DRIVE THRU GATE WAY W/ CLEARANCE BAR BY OTHERS UNDER SEPARATE PERMIT. PROVIDE FOOTING AND CONDUIT AS REQUIRED. SEE SIGN DWGS.</p> <p>3 (N) CONCRETE PAVING AT DRIVE THRU. SEE DETAIL 6/501</p> <p>4 (N) LANDSCAPING TO MATCH EXISTING. MCD IS RESPONSIBLE FOR NEW LANDSCAPING (TOPSOIL, PLANTINGS, AND IRRIGATION). SUBCONTRACTOR TO BRING FILL/ROUGH GRADE AS NECESSARY AT NEW ISLANDS AND/OR BACK OF BUILDING TO WITHIN 4" OF TOP OF CURB</p> <p>5 (N) PAVEMENT MARKINGS TO BE APPLIED AS SHOWN.</p> <p>6 (N) COMBINED COD AND MENU BOARD BY OTHERS UNDER SEPARATE PERMIT. PROVIDE FOOTING AND CONDUIT. SEE DETAIL 10/502 AND 20/504 (SMA) AND ELECTRICAL DRAWINGS. POSITION FOOTING AGAINST BACK OF CURB W/ EXPANSION JOINT</p> <p>7 (N) OR (E) BOLLARD TO REMAIN. RE-PAINT SAFETY YELLOW.</p> <p>8 (N) LOOP DETECTORS, IF NOT ALREADY PRESENT.</p> <p>9 (N) SAND-OIL SEPARATOR, SEE CIVIL DWGS</p> <p>10 (N) GREASE INTERCEPTOR, SEE CIVIL AND PLUMBING DWGS</p> <p>11 (N) FREE STANDING ENTRANCE SIGN W/ ACCESSIBLE PARKING AND TOW-AWAY INFO. (TYP AT ALL VEHICLE ACCESSES)</p> <p>12 (N) RAMP</p> <p>13 (N) PARKING STALLS</p> <p>14 (N) ACCESSIBLE CONCRETE SIDEWALK, TO BE FREE FROM ABRUPT CHANGES IN LEVEL OF MORE THAN 1/4". WALK NOT TO EXCEED 5% SLOPE IN DIRECTION OF TRAVEL & 2% CROSS SLOPE.</p> <p>15 (N) SCREEN WALL</p> <p>16 (N) YARD LIGHT, BY OTHERS</p> <p>17 (N) PRE-SELL SIGN, BY OTHERS</p> <p>18 (N) ANYTIME ANYWHERE SIGN, BY OTHER</p> <p>19 (N) McDONALD'S DIRECTIONAL SIGN BY OTHERS, UNDER SEPARATE PERMIT.</p> <p>20 (N) DOUBLE FACED FORREST PERMA ACCESSIBLE SIGN.</p> <p>21 (N) "RIGHT TURN ONLY" SIGN</p> <p>22 (N) STRIPING DESIGNATING ACCESSIBLE PATH FREE FROM ABRUPT CHANGES IN LEVEL OF MORE THAN 1/4". WALK NOT TO EXCEED 5% SLOPE IN DIRECTION OF TRAVEL & 2% CROSS SLOPE.</p>											
<p>TE GATE DETAIL</p> <p>SP2 NTS</p> <p>1 1/4" x 2" PIPE PIPE BEWEL WELDED TO 3/32 FRAME</p> <p>3/4" MIN. UPWARD A.F.T. (N15)</p> <p>3/4" MIN. UPWARD A.F.T. (N15)</p> <p>1/2" x 3/4" PLATE</p> <p>LOOP PULL HANDLE BELTED TO GATE</p> <p>3/4" DIAM. STL. BAR W/ 1/4" LONG HANDLE BELTED TO BAR</p> <p>FACE OF MET. DOOR FRAME OR GATE POST</p>											
<p>PREPARED FOR: M. McDonald's USA, LLC These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by Stantec Architecture Inc. and shall not be used for any other project or site without the written consent of Stantec Architecture Inc. or its affiliates. The use of these drawings for reference or example on another project requires the approval of Stantec Architecture Inc. and its affiliates. The contract documents for that project shall govern.</p> <p>2013 McDonald's USA, LLC McDonald's USA, LLC Stantec Architecture Inc. Tel: 707.765.1660 1383 N. McDowell Blvd. Fax: 707.765.9908 Petaluma, CA U.S.A. 94954 www.stantec.com</p>											
DRAWING TITLE		ENLARGED SITE PLAN		DRAWN BY:		HI		STATE SITE CODE:		004-008	
PROJECT ADDRESS:		35192 NEWARK BLVD NEWARK, CA 94560		PROJECT CAD FILE:		200704030		BRAND REVIEW:		05/27/13	
SHEET NO.		SP2		PLANNING		PERMIT		CONSTRUCTION		-	
RUP SCALE:		1'-0"		MCD-304							

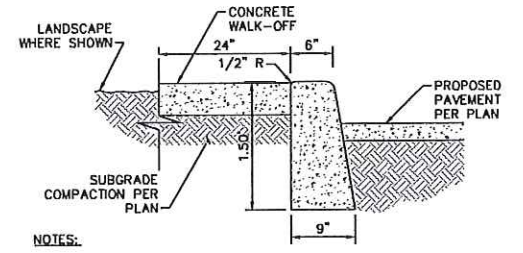
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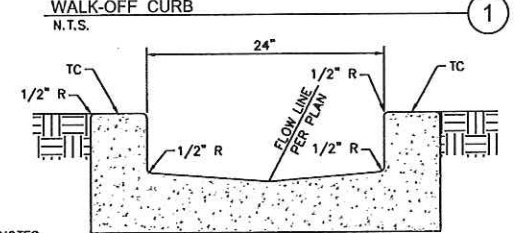
LEGEND

	PROPERTY LINE
	CIVIL LIMIT OF WORK LINE
	GRADE BREAK LINE
	RIDGE LINE
	FLOW LINE
	STORM DRAIN LINE
	PROPOSED SPOT GRADE
	EXISTING SPOT GRADE
	PROPOSED FLOW (DIRECTION AND SLOPE)
	SITE WALL (SEE ARCHITECTURAL PLANS FOR INFORMATION)

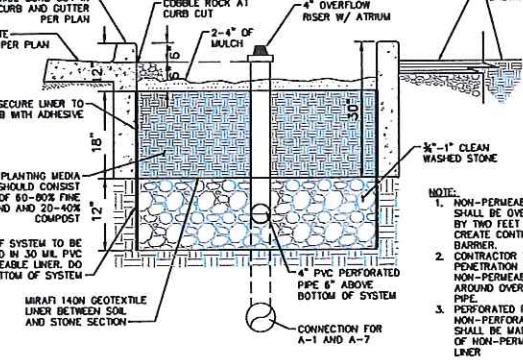
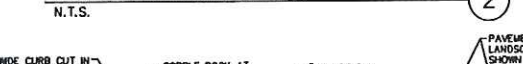
- GRADING AND DRAINAGE NOTES**
- 2.0' WIDE CURB CUT
 - 6" PVC STORM DRAIN LINE, SLOPE PER PLANS
 - ROOF DRAIN DISCHARGE THROUGH CURB FACE
 - EXISTING STORM DRAIN LINE, SIZE PER PLANS
 - CONNECT TO EXISTING STORM DRAIN LINE
 - PROPOSED LINED BIORETENTION AREA PER DETAIL 3 THIS SHEET
 - CONNECT TO EXISTING STORM DRAIN STRUCTURE
 - PROPOSED CURB RAMP
 - 2.0' WIDE WALK-OFF CURB PER DETAIL 1 THIS SHEET
 - 2.0' WIDE CONCRETE CHANNEL GUTTER PER DETAIL 2 THIS SHEET
 - 4" PERFORATED PIPE UNDERDRAIN
 - RELOCATED CATCH BASIN
 - CHANNEL DRAIN WITH GRATE



- NOTES:**
- CONCRETE SHALL BE 2500 PSI.
 - ISOLATION JOINTS SHALL BE PLACED ONLY AS SPECIFIED.
 - CONTRACTION JOINTS CONSISTING OF 1" DEEP SCORES SHALL BE PLACED AT 15' INTERVALS O.C.
 - WHERE A WALK IS ADJACENT TO THE CURB THE JOINTS SHALL ALIGN WITH JOINTS IN THE WALK.



- NOTES:**
- CONCRETE SHALL BE 2500 PSI.
 - ISOLATION JOINTS SHALL BE PLACED ONLY AS SPECIFIED.
 - CONTRACTION JOINTS CONSISTING OF 1" DEEP SCORES SHALL BE PLACED AT 15' INTERVALS O.C.



- NOTES:**
- NON-PERMEABLE LINER SHALL BE OVERLAPPED BY TWO FEET TO CREATE CONTINUOUS BARRIER.
 - CONTRACTOR TO SEAL PENETRATION OF NON-PERMEABLE LINER AROUND OVERFLOW PIPE.
 - PERFORATED PIPE TO NON-PERFORATED PIPE SHALL BE MADE INSIDE OF NON-PERMEABLE LINER.

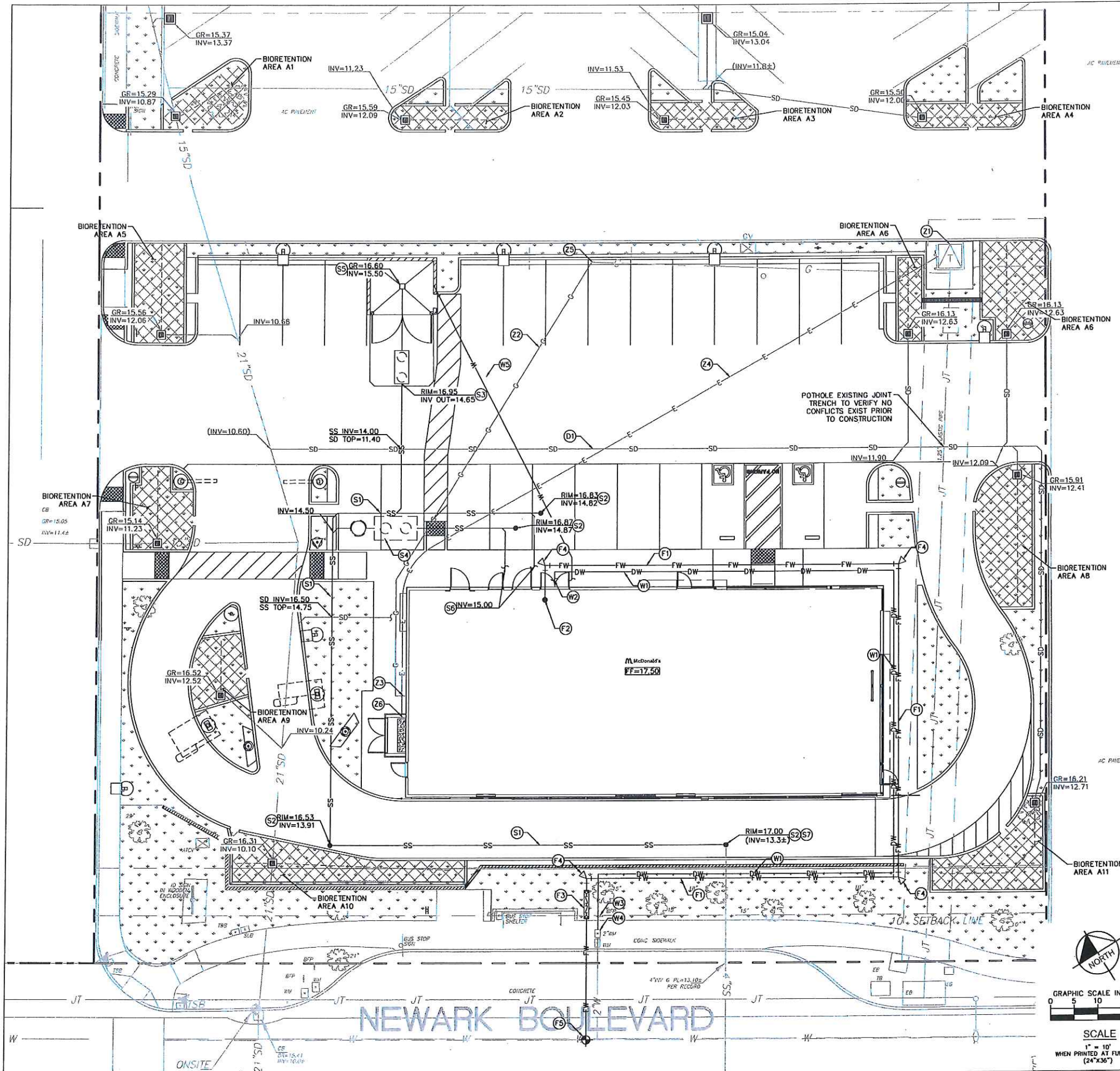
Kimley-Horn
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 765 THE CITY DRIVE, SUITE 200, ORANGE, CA 92668
 PHONE: 714-938-3300 FAX: 714-938-9485
 WWW.KIMLEY-HORN.COM

PREPARED FOR:
McDonald's USA, LLC
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BRAND REVIEW	PLANNING	PERMIT	CONSTRUCTION
PRELIMINARY GRADING PLAN			
PROJECT ADDRESS: 35192 NEWARK BLVD NEWARK, CA 94560			
PROJECT CAD FILE: 200704030			
STATE SITE CODE: 004-0455			
DRAWN BY: HI			
SHEET NO. C1.0			

EXHIBIT ApG



DOMESTIC WATER

- (W1) 2" DOMESTIC WATER PIPE
- (W2) BUILDING POINT OF CONNECTION
- (W3) CONNECT TO EXISTING DOMESTIC WATER BACKFLOW PREVENTER
- (W4) RE-USE EXISTING WATER METER
- (W5) 3/4" YARD HYDRANT WATER PIPE

FIRE WATER

- (F1) 6" FIRE WATER PIPE
- (F2) BUILDING POINT OF CONNECTION
- (F3) 6" DOUBLE DETECTOR CHECK ASSEMBLY WITH FIRE DEPARTMENT CONNECTION
- (F4) THRUST BLOCK, TYPICAL ON ALL TEES, WYES, BENDS AND VALVES
- (F5) CONNECT TO EXISTING WATER MAIN

SEWER

- (S1) 4" SANITARY SEWER PIPE
- (S2) SANITARY SEWER CLEANOUT
- (S3) 320 GALLON SAND-OIL SEPARATOR
- (S4) 1500 GALLON GREASE INTERCEPTOR
- (S5) TRASH ENCLOSURE DRAIN TO SANITARY SEWER
- (S6) BUILDING POINT OF CONNECTION, INSTALL 2-WAY CLEANOUT
- (S7) CONNECT TO EXISTING SANITARY SEWER LINE

STORM DRAIN

- (D1) PROPOSED STORM DRAIN PIPING AND APPURTENANCES. REFER TO DRAINAGE PLAN FOR DESIGN INFORMATION.

MEP SITE UTILITIES

NOTE: MEP SITE UTILITIES ARE SHOWN FOR REFERENCE ONLY. REFER TO MEP DRAWINGS AND SPECS FOR MORE INFORMATION. SHOWN FOR COORDINATION PURPOSES ONLY.

- (Z1) EXISTING TRANSFORMER TO REMAIN
- (Z2) PROPOSED GAS LINE
- (Z3) PROPOSED GAS METER
- (Z4) PROPOSED ELECTRIC LINE
- (Z5) CONNECT TO EXISTING GAS LINE
- (Z6) BUILDING POINT OF CONNECTION

EXISTING UTILITY NOTE

THE EXISTING UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. THE CONTRACTOR MUST FIELD DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES TO ENGINEER PRIOR TO INSTALLATION OF ANY PIPING.

LEGEND

- PROPERTY LINE
- CIVIL LIMIT OF WORK LINE
- SS — PROPOSED SANITARY SEWER PIPE
- SD — PROPOSED STORM DRAIN PIPE
- W — PROPOSED WATER PIPE
- FW — PROPOSED FIRE WATER PIPE
- G — PROPOSED GAS PIPE
- E — PROPOSED PRIMARY ELECTRICAL CONDUIT
- PROPOSED PERFORATED PIPE
- PROPOSED POINT OF CONNECTION (BLDG)
- PROPOSED POINT OF CONNECTION (TO EXISTING)
- FIRE RISER IN BUILDING MECHANICAL ROOM
- PROPOSED REDUCED PRESSURE DETECTOR BACKFLOW ASSEMBLY WITH FIRE DEPARTMENT CONNECTION
- PROPOSED 90° BEND WITH THRUST BLOCK

REV	DATE	DESCRIPTION
03/06/17		REVISED FOR PLANNING
02/10/17		ENTITLEMENT PACKAGE
HI		
BT		

Kimley»Horn
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PREPARED FOR:
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BRAND REVIEW	PLANNING	PERMIT	CONSTRUCTION

PROJECT ADDRESS:
 35192 NEWARK BLVD
 NEWARK, CA 94560

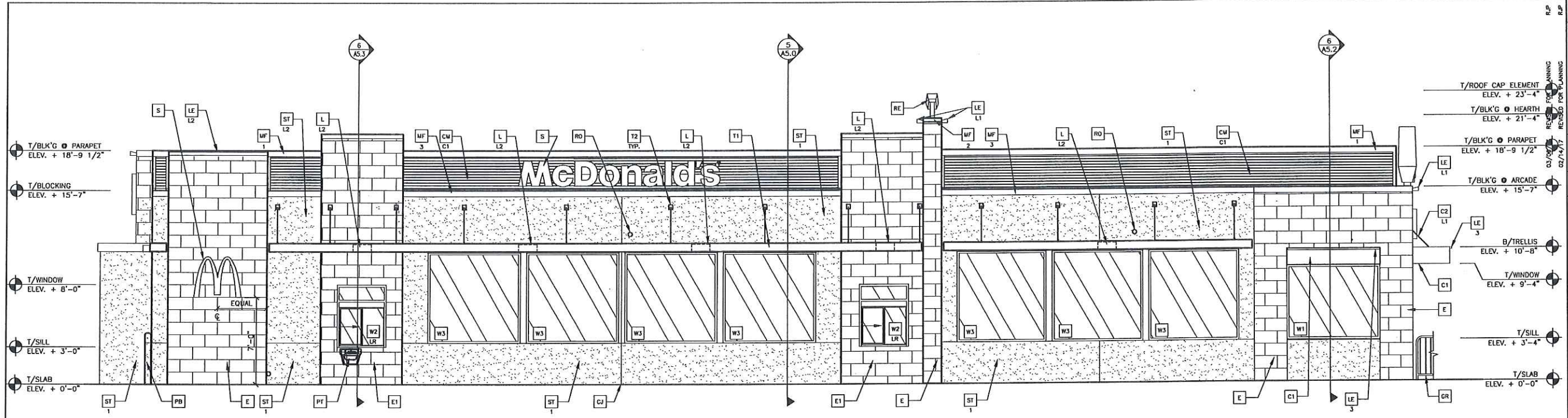
STATE SITE CODE:
 DOG-0456

DRAWN BY:
 HI

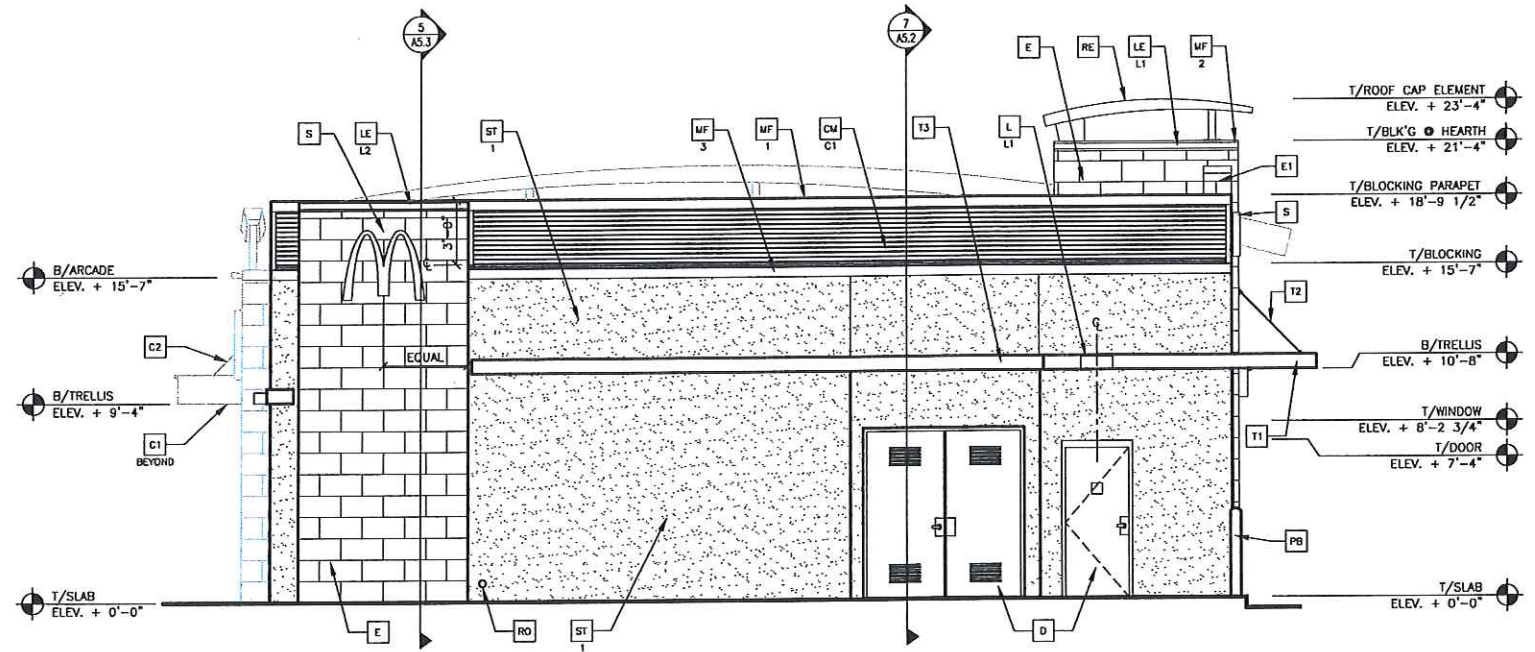
SHEET NO. **C2.0**

EXHIBIT Ap7

X:\a1279-01\workgroup\2007\active\20070403\working\2-A-ELEV.dwg Dimscale: 48 L1Scale: 0.5 Plot: [Time: Mar-06-2017 - 01:46pm] Logon: maddock



1 DRIVE THRU ELEVATION
 A2.1 1/4" = 1'-0"



2 REAR ELEVATION
 A2.1 1/4" = 1'-0"

KEY NOTES:

- C1 ALUMINUM CANOPY SYSTEM (COLOR: GOLD)
- C2 ALUMINUM CANOPY TIE-BACK SYSTEM
- CJ CONTROL JOINT
X TYPE: 1 = EPS
- CW CORRUGATED METAL PANEL - SEE 1B/AS.0
C1 - COLOR:
C1 = "CITYSCAPE" BY METAL-ERA
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL

- E TILE: OYSTER-BRUSH STROKE SERIES EUROWEST
- E1 TILE: WALNUT-BRUSH STROKE SERIES EUROWEST
- FB
CO2 - CO2 = BULK CO2 FILL BOX (EOPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EOPM SCHEDULE ITEM 700.16) - CONFIRM USE WITH MCD PROJECT MANAGER
- GR GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH

- L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
- LE ACCENT LIGHTING - SEE ELECTRICAL
L1 - LED LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = UP ONLY FIXTURE
- MA METAL LETTERING - BY OTHERS

- MF METAL FASCIA - COLOR TO MATCH CORRUGATED METAL PANEL - SEE 1/AS.0
1 - TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM ARCADE FASCIA
3 = PRE-FAB STUCCO CAP FASCIA
- PB PIPE BOLLARD - PAINTED YELLOW
- PI (RWHC) COIN COLLECTOR
UNIT #/MPT 012000 STD
CALL 1-888-743-7435 TO ORDER
- ST CEMENT PLASTER FINISH
1 COLOR = "EARTHY RUSSET" BM-2173

- RE ROOF CAP ELEMENT BY OTHERS
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- T1 ALUMINUM TRELLIS SYSTEM
- T2 TRELLIS TIE-BACK SYSTEM
- T3 ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM - REFER TO SIM. DETAIL 3 ON SHEET AS.1
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.

- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS - SEE ASSEMBLY NOTES
- W2 DRIVE-THRU WINDOW BY READY ACCESS 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM - MANUAL OPEN; ELECTRONIC RELEASE
XX SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT
- W3 EXTERIOR WINDOW ASSEMBLY WITH SPANDREL GLASS - SEE SECTION 5/AS.0

R.P.	REV	DATE	DESCRIPTION
R.P.	02/10/17	02/10/17	REVISED FOR PLANNING
R.P.	03/09/17	03/09/17	REVISED FOR PLANNING
R.P.	03/17/17	03/17/17	REVISED FOR PLANNING
R.P.	05/10/16	05/10/16	REVISED FOR PLANNING
R.P.	06/10/16	06/10/16	REVISED FOR PLANNING
R.P.	07/11/16	07/11/16	REVISED FOR PLANNING
R.P.	08/24/16	08/24/16	REVISED FOR PLANNING
R.P.	06/10/16	06/10/16	SUBMITTED FOR PLANNING
R.P.	05/23/16	05/23/16	SUBMIT FOR PRELIM CITY REVIEW
R.P.			

PREPARED FOR:
M. McDonald's USA, LLC
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BRAND REVIEW	PLANNING	PERMIT	BD	CONSTRUCTION
02/27/13				

DRAWING TITLE: EXTERIOR ELEVATIONS
 PROJECT ADDRESS: 35192 NEWARK BLVD NEWARK, CA 94560
 PROJECT CAD FILE: 200704030
 STATE SITE CODE: 004-0406
 DRAWN BY: HI
 SHEET NO: **A2.1**
 PLOT SCALE: 1" = 1'-0"

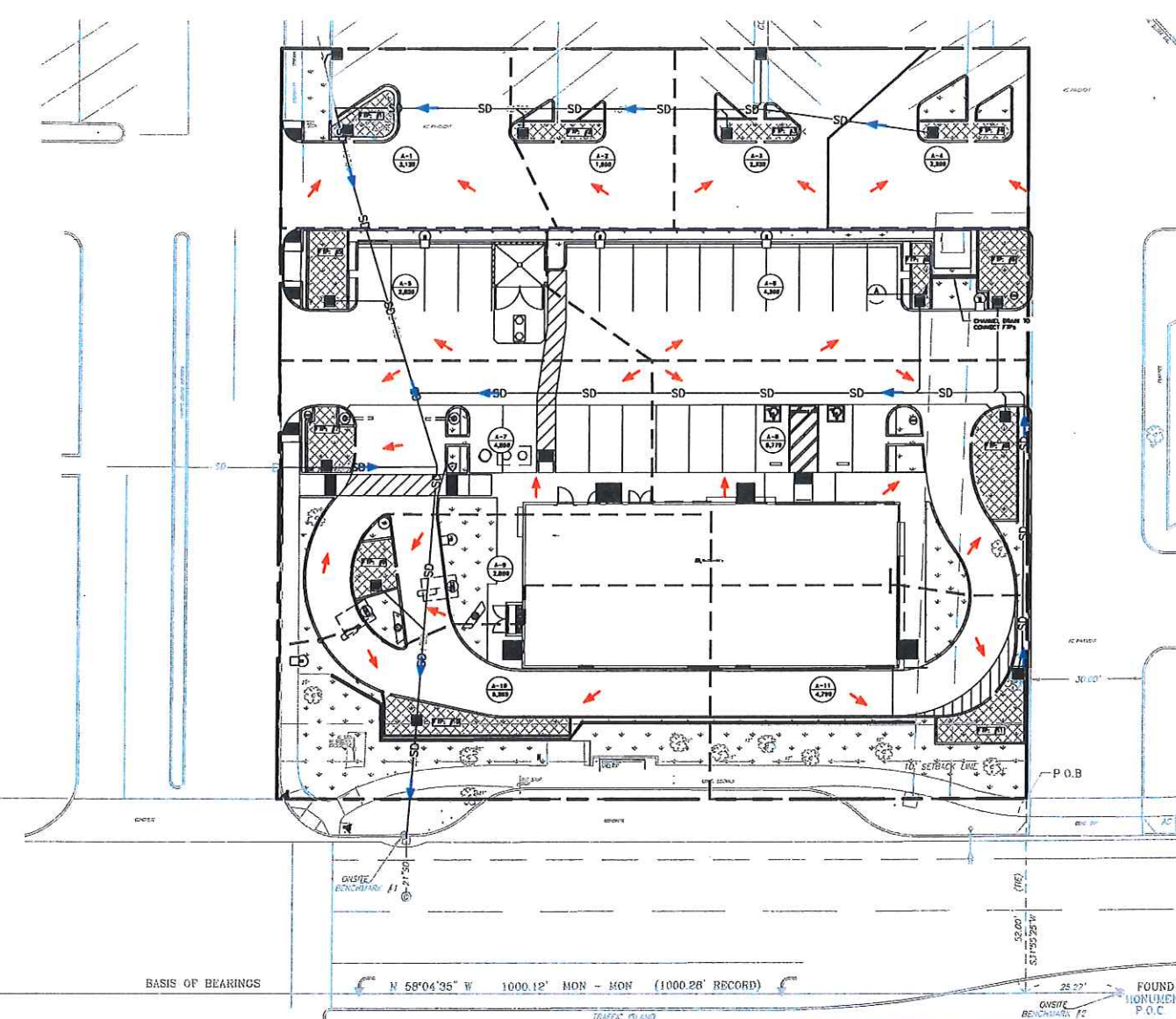
EXHIBIT

April

STORMWATER CONTROL PLAN FOR



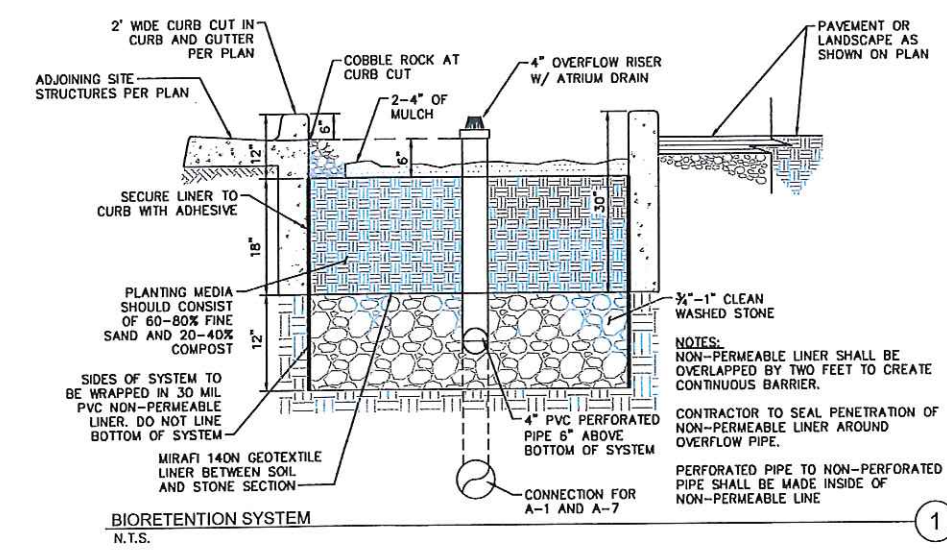
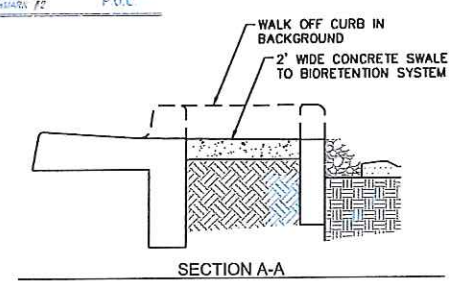
35192 NEWARK BOULEVARD
NEWARK, CA 94560



FLOW THROUGH PLANTER (FTP) BIORETENTION TREATMENT AREA				
DMA #	AREA (SF)	TREATMENT AREA-4% OF AREA (SF)	PROVIDED BIORETENTION TREATMENT AREA (SF)	TREATMENT FACILITY #
A-1	3120	125	140	FTP #1
A-2	1950	78	120	FTP #2
A-3	2320	93	120	FTP #3
A-4	2260	90	120	FTP #4
A-5	2820	113	120	FTP #5
A-6	4300	172	180	FTP #6
A-7	4850	194	200	FTP #7
A-8	5770	231	250	FTP #8
A-9	2860	114	120	FTP #9
A-10	5265	211	220	FTP #10
A-11	4790	192	200	FTP #11

LEGEND

- PROPERTY LINE
- IMPERVIOUS AREA (CONCRETE/ASPHALT/ROOF)
- LANDSCAPING
- APPROXIMATE LIMITS OF FLOW THROUGH PLANTER TREATMENT SYSTEM
- DENOTES SUBAREA DESIGNATION
DENOTES DRAINAGE AREA IN S.F.
- DENOTES HYDROLOGY SUBAREA BOUNDARY
- PROPOSED STORM DRAIN PIPE
- PROPOSED SURFACE FLOW DIRECTION
- PROPOSED STORM DRAIN FLOW DIRECTION



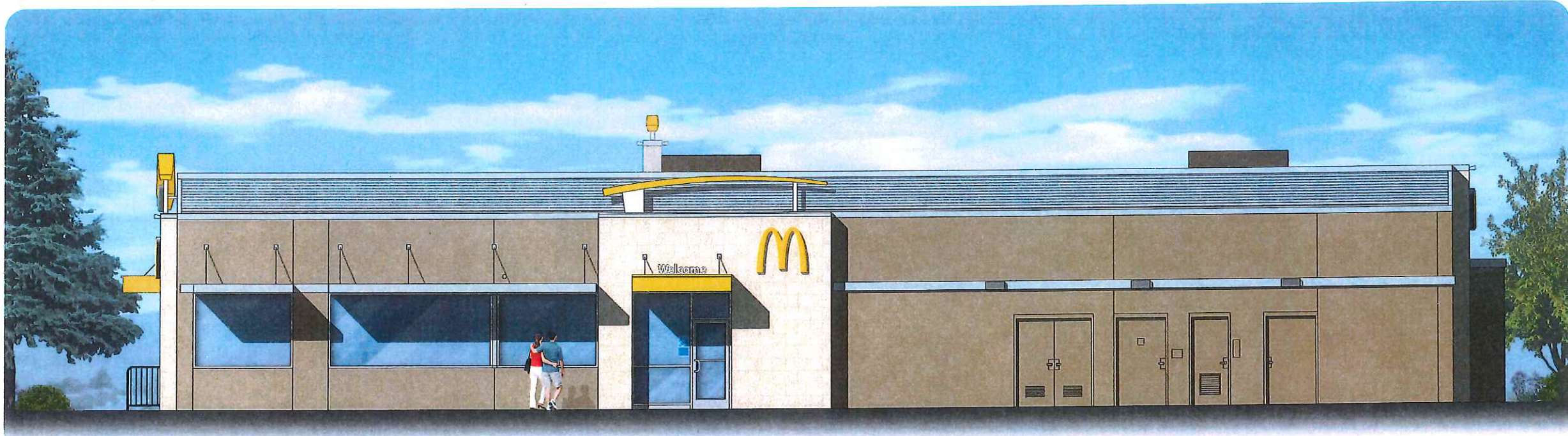
Kimley-Horn
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765 THE CITY DRIVE, SUITE 500, ORANGE, CA 92668
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PREPARED FOR:
McDonald's USA, LLC
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BRAND REVIEW	PLANNING	PERMIT	BD	CONSTRUCTION
DRAWING TITLE:	STORM WATER CONTROL PLAN			
PROJECT ADDRESS:	35192 NEWARK BLVD NEWARK, CA 94560			
PROJECT CAD FILE:	200704020			
STATE SITE CODE:	D04-0406			
DRAWN BY:	HI			
SHEET NO.:	SWCP-1			

EXHIBIT Ap13



Non-Drive-Thru Elevation

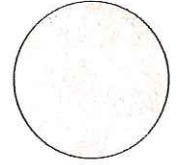


Front Elevation

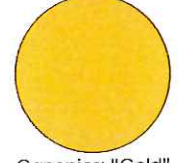
Color Legend:



Benjamin Moore #HC-77
"Alexandria Beige"



Eurowest Brushstroke
Series "Oyster"



Canopies: "Gold"



Eurowest Brushstroke
Series "Oyster"



Metal-Era
"Cityscape"



Corrugate Metal Panel
City Scape Metal - ERA



Paint to match "Oyster" file

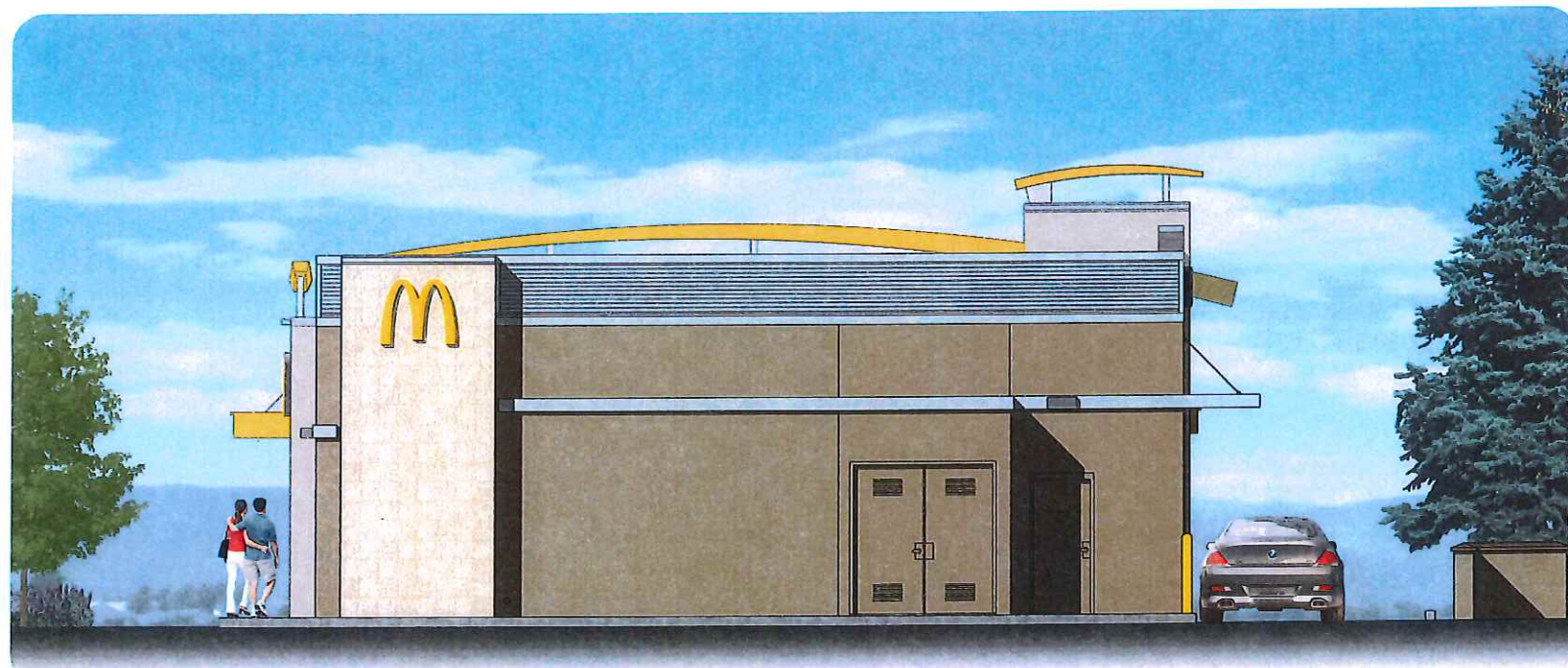


McDonald's
35192 Newark Blvd.
Newark, Ca 94560

EXHIBIT A p. 15



Non-Drive Elevation

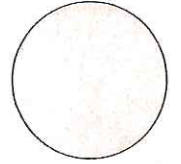


Rear Elevation

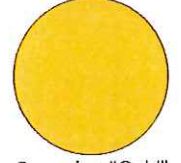
Color Legend:



Benjamin Moore #HC-77
"Alexandria Beige"



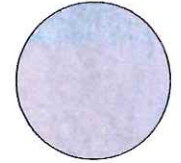
Eurowest Brushstroke
Series "Oyster"



Canopies: "Gold"



Eurowest Brushstroke
Series "Oyster"



Metal-Era
"Cityscape"



Corrugate Metal Panel
City Scape Metal - ERA



Paint to match "Oyster" tile



McDonald's
35192 Newark Blvd.
Newark, Ca 94560

EXHIBIT Ap16



superior
electrical advertising

1700 West Anaheim Street
Long Beach, California
90813-1195
Phone: 562.495.3808
Facsimile: 562.435.1867

www.superiorsigns.com

Project:
McDonald's

Address:
35192 Newark Blvd.,
Newark, CA

Account Manager:
Mike Rathbun

Designer:
L. Ramirez 3.50

Scale: AS NOTED

Design No.: 16-07-2011-04 P

Date: 07.01.16

Reg. No.:

Revisions:
R1 07/13/16 LR Add mon., show property lines, add address #'s, & one directional (2.75)
R2 11/08/16 LR New elev. & lower signs (2.75)
R3 11/10/16 LR Move sign B2 up (.5)
R4 03/06/16 LR New site plan (.75)

• APPROVALS •

FOR JOB CHECK DATE

Acct. Mgr.

FOR CONSTRUCTION DATE

Acct. Mgr.

Design

Production

FOR INSTALL ONLY DATE

Acct. Mgr.

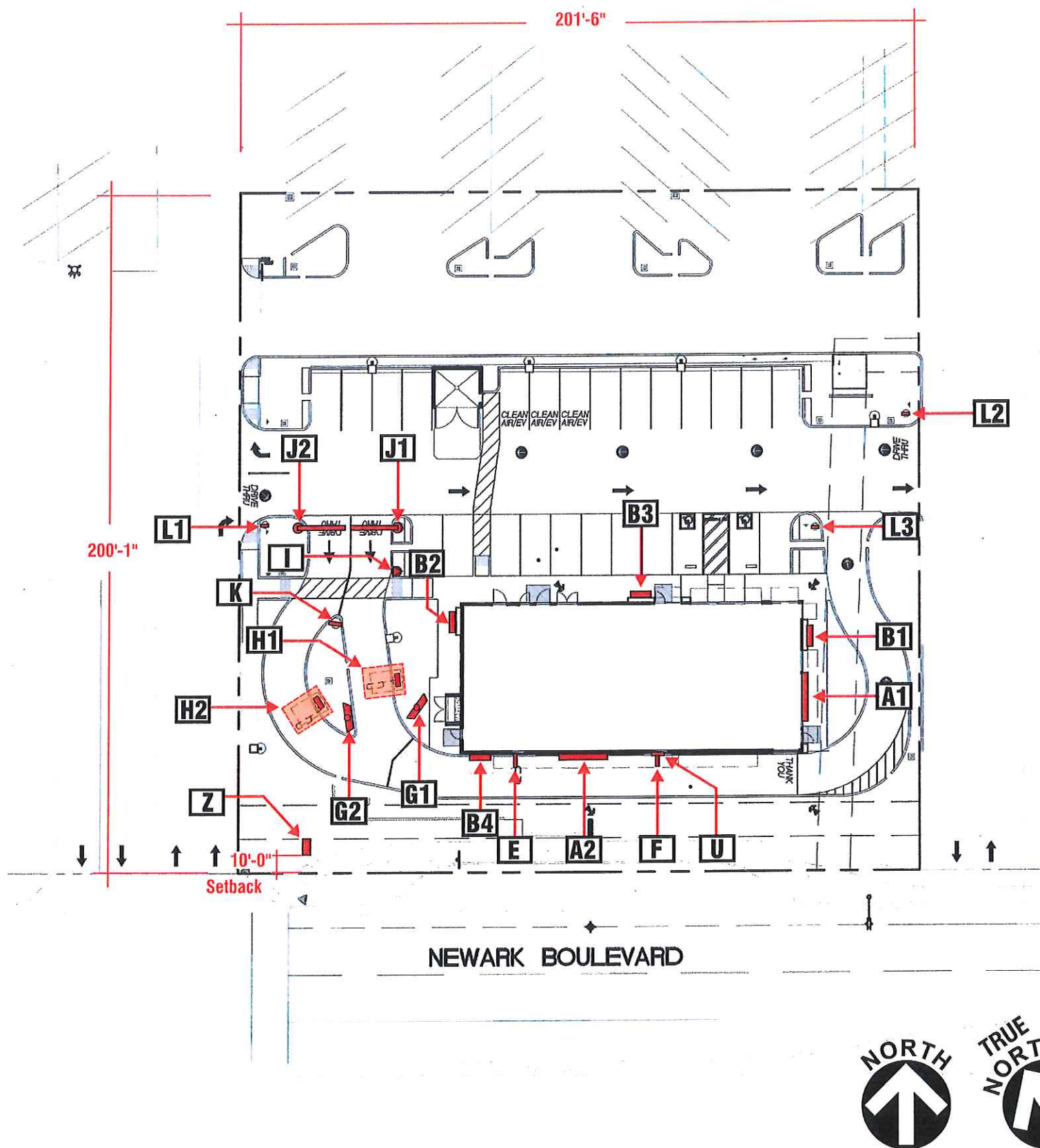
Page: 02 Of: 11

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SIGN SCHEDULE - McDONALD'S SIGNAGE					
NO.	DESCRIPTION	ILLUM.	AREA	QUANT.	TOTAL
A	CHANNEL LETTERS	Y	32.8	2	65.6
B	CHANNEL ARCH	Y	14.0	4	56.0
C					
D	"WELCOME" LETTERS	N	3.0	2	--
E	WINDOW BANNER	N	--	1	--
F	WINDOW BANNER	N	--	1	--
G	O.P.O MENUBOARD	Y	40.0	2	--
H	C.O.D. CANOPY SIGN	Y	--	2	--
I	O.P.O PRESELL	Y	--	1	--
J	GATEWAY CLEARANCE SIGN	N	--	2	--
K	BOLLARD	N	--	1	--
L	DIRECTIONAL	Y	--	3	--
U	ADDRESS	N	--	1	--
Z	MONUMENT	Y	25.0	1	25.0
TOTAL SQ. FOOTAGE =					146.6



MAXIMUM SIGNAGE ALLOWED:

201'-6" X 111 201.5 SQUARE FEET ALL SIGNS

1 SITE PLAN
Scale: N.T.S

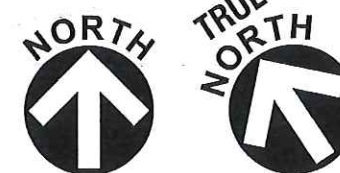


EXHIBIT Ap17



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1700 West Anaheim Street
Long Beach, California
90813-1195
Phone: 562.495.3808
Facsimile: 562.435.1867

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Project:
McDonald's

Address:
35192 Newark Blvd.,
Newark, CA

Account Manager:
Mike Rathbun

Designer:
L. Ramirez 3.50

Scale: AS NOTED

Design No.: 16-07-2011-04 P

Date: 07.01.16

Reg. No.:

Revisions:
R1 07/13/16 LR Add mon., show property lines, add address #'s, & one directional (2.75)
R2 11/08/16 LR New elev. & lower signs (2.75)
R3 11/10/16 LR Move sign B2 up (.5)
R4 03/06/16 LR New site plan (.75)

• APPROVALS •

FOR JOB CHECK DATE

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FOR CONSTRUCTION DATE

Acct. Mgr.

Design

Production

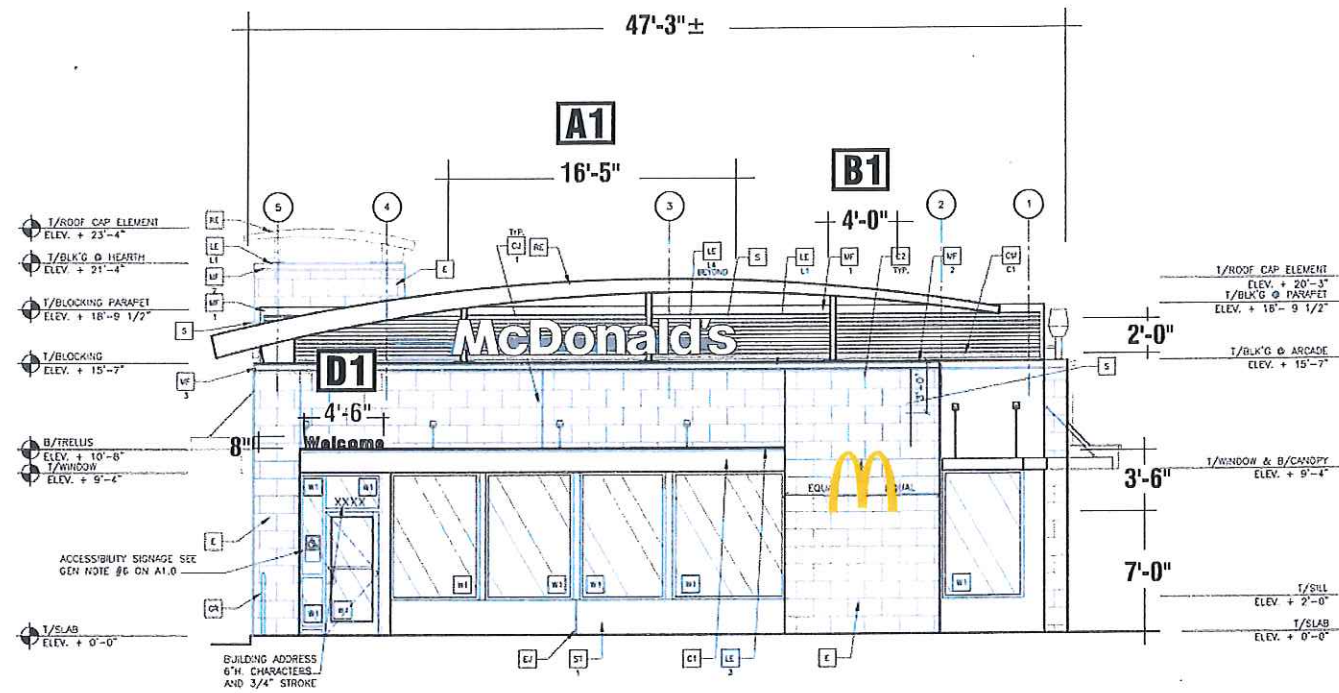
FOR INSTALL ONLY DATE

Acct. Mgr.

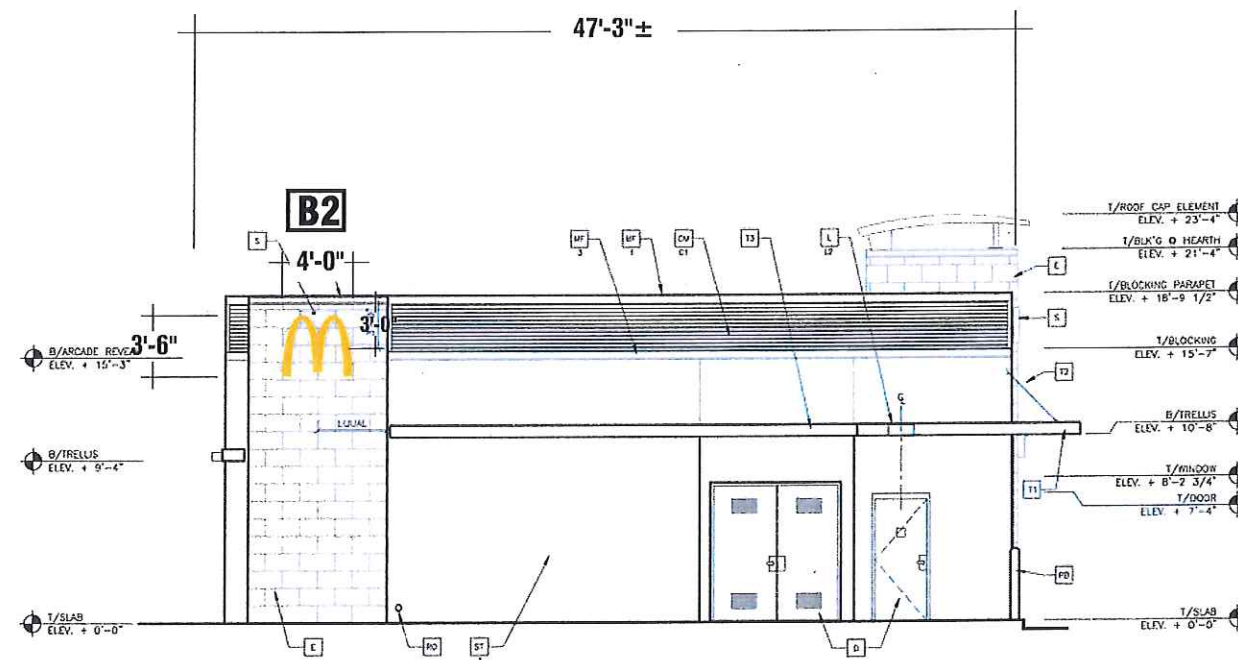
Page: 03 Of: 11

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① FRONT ELEVATION - EAST
Scale: 3/32" = 1'-0"



② REAR ELEVATION - WEST
Scale: 3/32" = 1'-0"

EXHIBIT Ap18



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1700 West Anaheim Street
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90813-1195
Phone: 562.495.3808
Facsimile: 562.435.1867

www.superiorsigns.com

Project:
McDonald's

Address:
35192 Newark Blvd.,
Newark, CA

Account Manager:
Mike Rathbun

Designer:
L. Ramirez 3.50

Scale: AS NOTED

Design No.: 16-07-2011-04 P

Date: 07.01.16

Reg. No.:

Revisions:
R1 07/13/16 LR Add mon., show property lines, add address #'s, & one directional (2.75)
R2 11/08/16 LR New elev. & lower signs (2.75)
R3 11/10/16 LR Move sign B2 up (.5)
R4 03/06/16 LR New site plan (.75)

• APPROVALS •

FOR JOB CHECK DATE

Acct. Mgr.

FOR CONSTRUCTION DATE

Acct. Mgr.

Design

Production

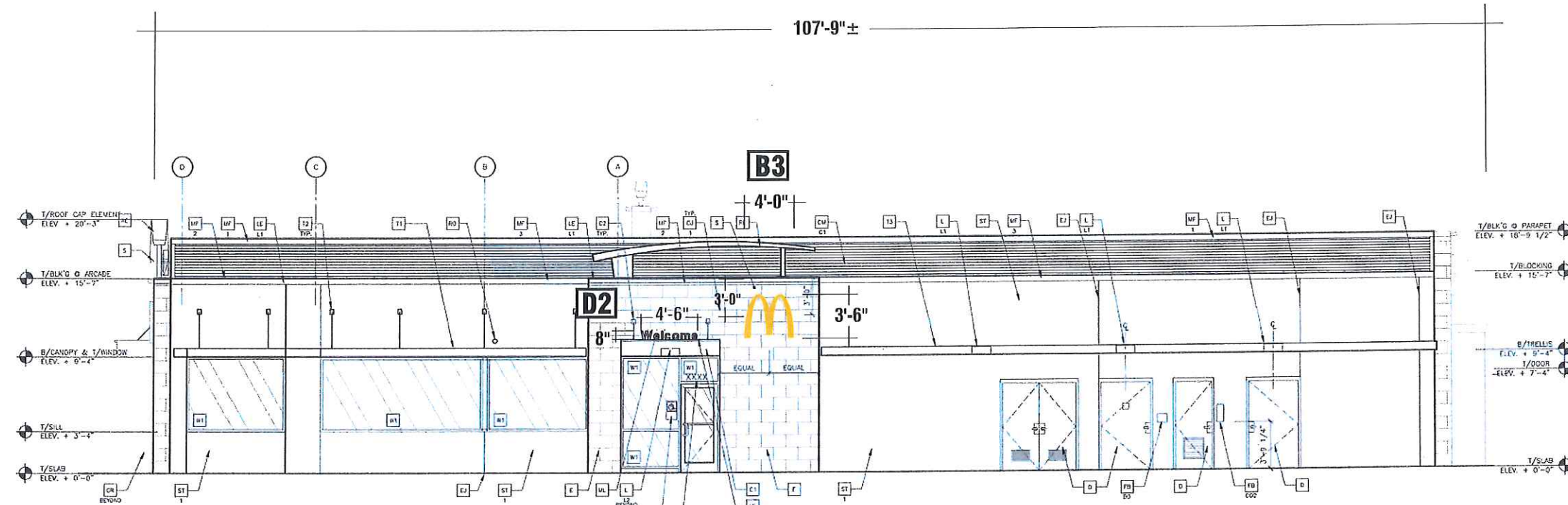
FOR INSTALL ONLY DATE

Acct. Mgr.

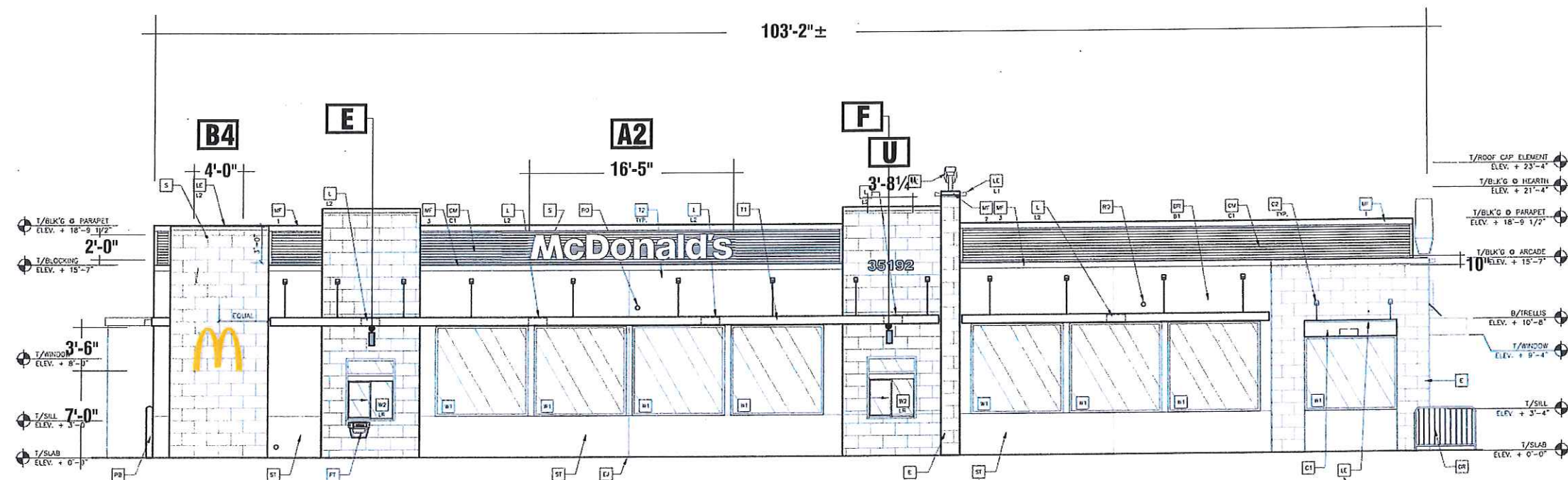
Page: 04 Of: 11

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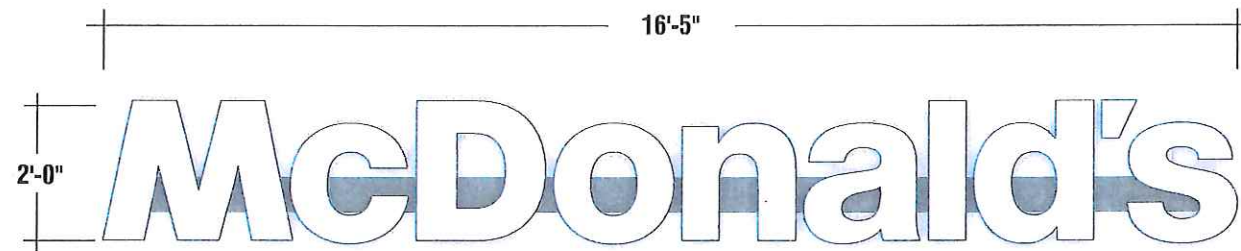


③ NON-DRIVE THRU ELEVATION - NORTH
Scale: 3/32" = 1'-0"



④ DRIVE THRU ELEVATION - SOUTH
Scale: 3/32" = 1'-0"

EXHIBIT Ap19



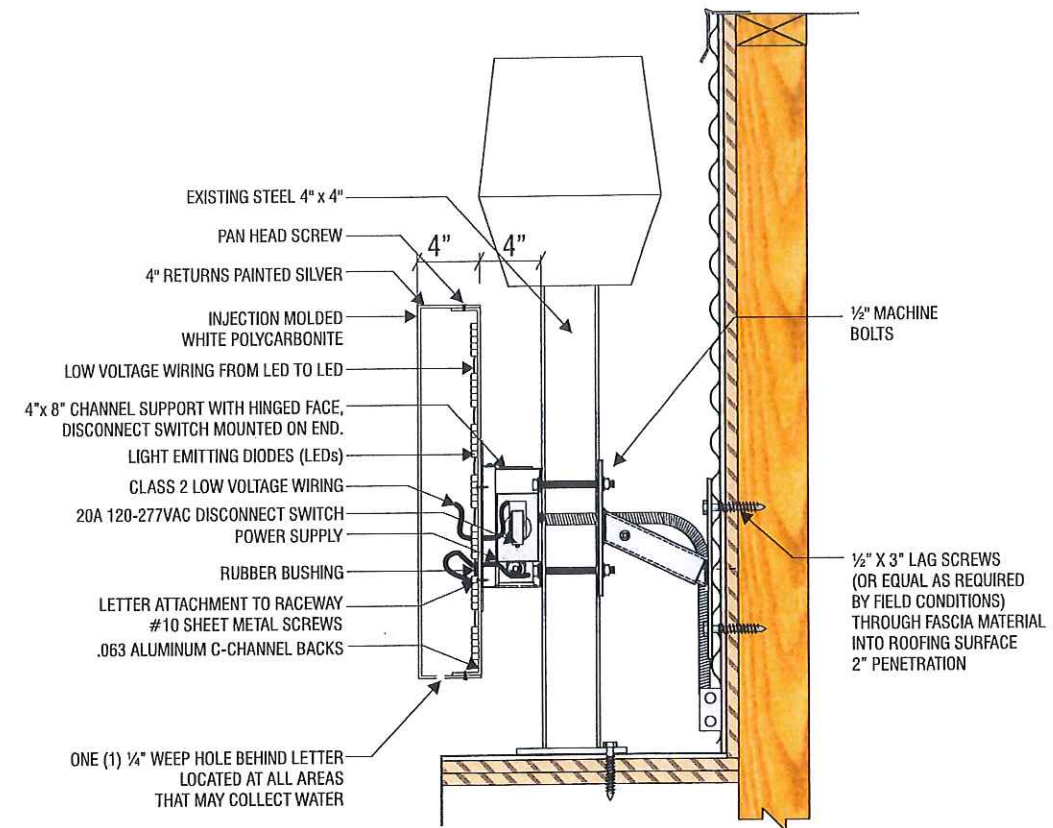
A1 | A2 LED ILLUMINATED CHANNEL LETTERS / ELECTRICAL CHANNEL SUPPORT

32.8 Sq. Ft.

Scale: 3/8" = 1'-0"

SPECIFICATIONS:

- LETTERS: INJECTION MOLDED WHITE POLYCARBONITE
- RETURNS: OPAQUE SILVER
- ILLUMINATION: WHITE LED'S
- CHANNEL SUPPORT: 4" x 8" ALUMINUM CONSTRUCTION PAINTED SILVER
- POWER REQ: 1.6 AMPS
- NOTE:



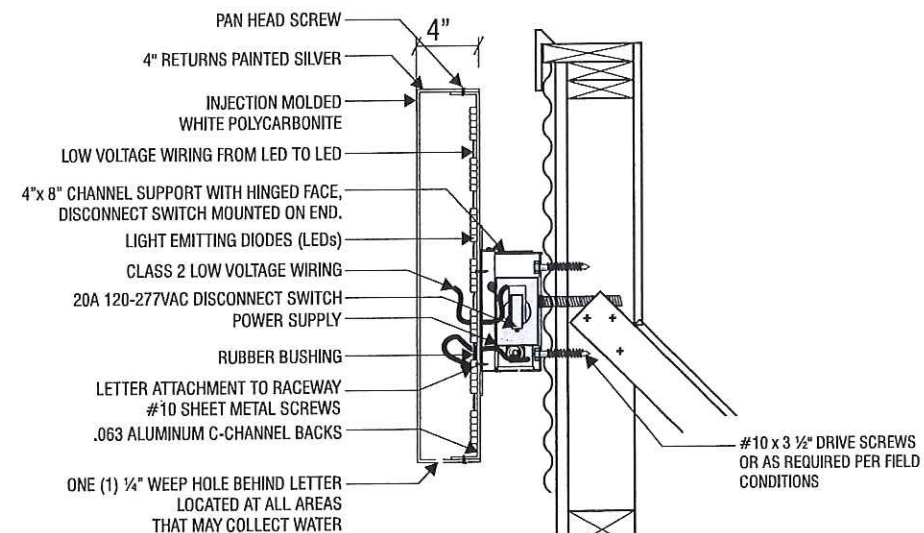
A1 CHANNEL LETTER / ELECTRICAL CHANNEL SUPPORT - COLUMN ATTACHMENT

Scale: 1" = 1'-0"

Note to All Contractors

120 Sign Voltage

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. All wall penetrations to be sealed with UL Listed silicone sealant.



SIDE VIEW
for Wood/Wood Construction

A2 CHANNEL LETTER - CORRUGATED METAL WALL ATTACHMENT

Scale: n.t.s

superior
electrical advertising

1700 West Anaheim Street
Long Beach, California
90813-1195
Phone: 562.495.3808
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Project:
McDonald's

Address:
35192 Newark Blvd.,
Newark, CA

Account Manager:
Mike Rathbun

Designer:
L. Ramirez 3.50

Scale: AS NOTED

Design No.: 16-07-2011-04 P

Date: 07.01.16

Reg. No.:

- Revisions:
- R1 07/13/16 LR Add mon., show property lines, add address #'s, & one directional (2.75)
 - R2 11/08/16 LR New elev. & lower signs (2.75)
 - R3 11/10/16 LR Move sign B2 up (.5)
 - R4 03/06/16 LR New site plan (.75)

APPROVALS

FOR JOB CHECK DATE

Acct. Mgr.

FOR CONSTRUCTION DATE

Acct. Mgr.

Design

Production

FOR INSTALL ONLY DATE

Acct. Mgr.

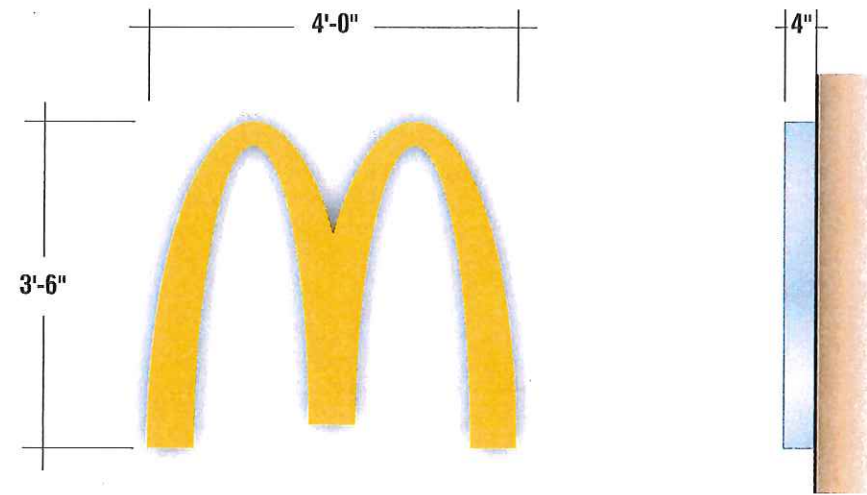
Page: 05 Of: 11

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EXHIBIT Ap20



B1 B2
B3 B4

LED ILLUMINATED CHANNEL LOGO

Quantity: Four (4) Required

14.0 Sq. Ft.

Scale: 1/2" = 1'-0"

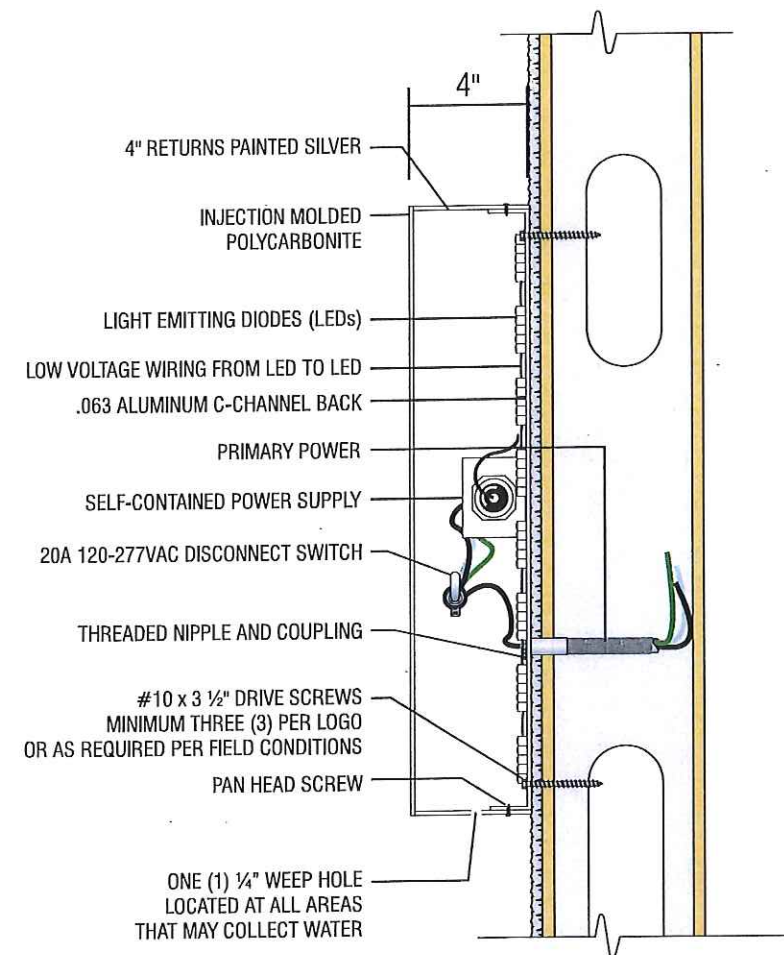
SPECIFICATIONS:

LOGO: INJECTION MOLDED YELLOW POLYCARBONITE
 RETURNS: OPAQUE POLYCARBONITE PAINTED SILVER
 ILLUMINATION: WHITE LED'S
 POWER REQ: 1.3 AMPS
 NOTE:

Note to All Contractors

120 Sign Voltage

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. All wall penetrations to be sealed with UL Listed silicone sealant.



1 TYPICAL SECTION DETAIL - SELF-CONTAINED BUILDING LOGO
 Scale: n.t.s

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 Long Beach, California
 90813-1195
 Phone: 562.495.3808
 Facsimile: 562.435.1867
 www.superiorsigns.com

Project:
 McDonald's

Address:
 35192 Newark Blvd.,
 Newark, CA

Account Manager:
 Mike Rathbun

Designer:
 L. Ramirez 3.50

Scale: AS NOTED

Design No.: 16-07-2011-04 P

Date: 07.01.16

Reg. No.:

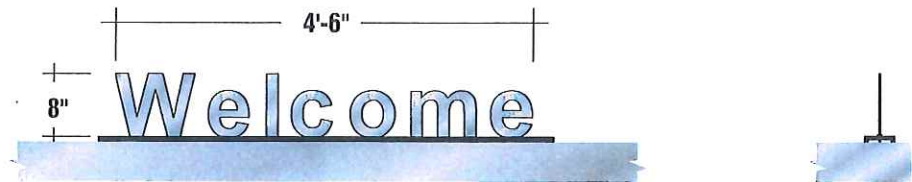
Revisions:
 R1 07/13/16 LR Add mon., show property lines, add address #'s, & one directional (2.75)
 R2 11/08/16 LR New elev. & lower signs (2.75)
 R3 11/10/16 LR Move sign B2 up (.5)
 R4 03/06/16 LR New site plan (.75)

• APPROVALS •	
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FOR CONSTRUCTION	DATE
Acct. Mgr.	
Design	
FOR INSTALL ONLY	DATE
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Page: 06	Of: 11

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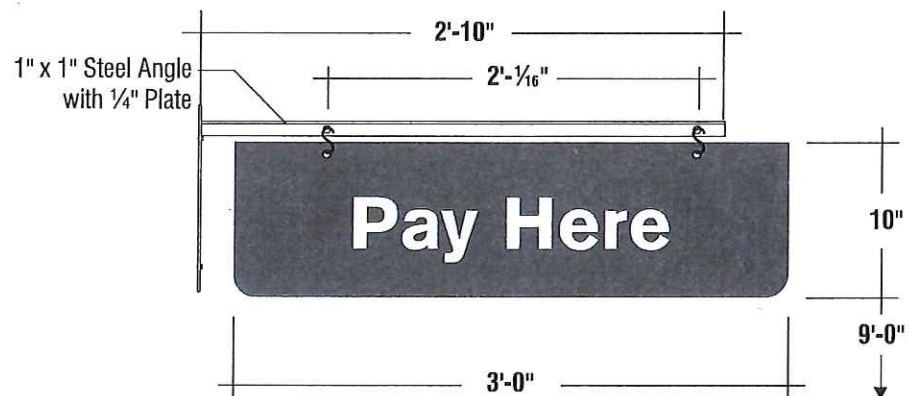
EXHIBIT AP21



D1 D2 NON-ILLUMINATED FREESTANDING FLAT CUT OUT LETTERS 3.0 Sq. Ft.
 Quantity: Two (2) Required Scale: 1/2" = 1'-0"

SPECIFICATIONS:

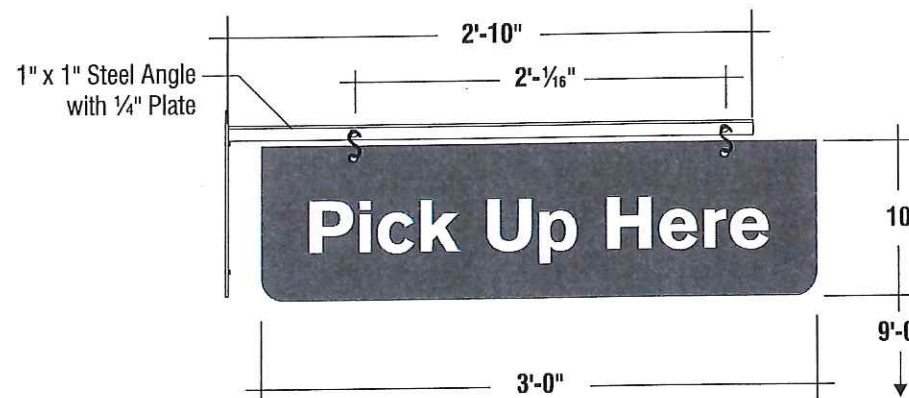
- **LETTERS:** FLAT CUT OUT ALUMINUM PAINTED BLACK WITH GRAY VINYL INSET ON FACE
- **RAIL:** ALUMINUM PAINTED BLACK MOUNTED TO AWNING SUPPORT WITH 1/4" -20 SELF DRILLING SCREWS FOUR (4) PLACES



E SINGLE FACE NON-ILLUMINATED WINDOW POSITION PANEL W/MOUNTING BRACKET 2.49 Sq. Ft.
 Quantity: One (1) Required Scale: 1" = 1'-0"

SPECIFICATIONS:

- PIGMENTED ABS TO MATCH PMS #425C WITH SCREENED WHITE COPY
- TWO (2) STAINLESS STEEL S-HOOKS AT TOP SO TO CONNECT TO EYEBOLTS ABOVE
- MOUNTING BRACKET: 1" X 1" STEEL ANGLE AND PLATE PAINTED BLACK



F SINGLE FACE NON-ILLUMINATED WINDOW POSITION PANEL W/MOUNTING BRACKET 2.49 Sq. Ft.
 Quantity: One (1) Required Scale: 1" = 1'-0"

SPECIFICATIONS:

- PIGMENTED ABS TO MATCH PMS #425C WITH SCREENED WHITE COPY
- TWO (2) STAINLESS STEEL S-HOOKS AT TOP SO TO CONNECT TO EYEBOLTS ABOVE
- MOUNTING BRACKET: 1" X 1" STEEL ANGLE AND PLATE PAINTED BLACK

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Project:
 McDonald's

Address:
 35192 Newark Blvd.,
 Newark, CA

Account Manager:
 Mike Rathbun
 Designer:
 L. Ramirez 3.50
 Scale: AS NOTED
 Design No.: 16-07-2011-04 P
 Date: 07.01.16
 Reg. No.:

Revisions:
 R1 07/13/16 LR Add mon., show property lines, add address #'s, & one directional (2.75)
 R2 11/08/16 LR New elev. & lower signs (2.75)
 R3 11/10/16 LR Move sign B2 up (.5)
 R4 03/06/16 LR New site plan (.75)

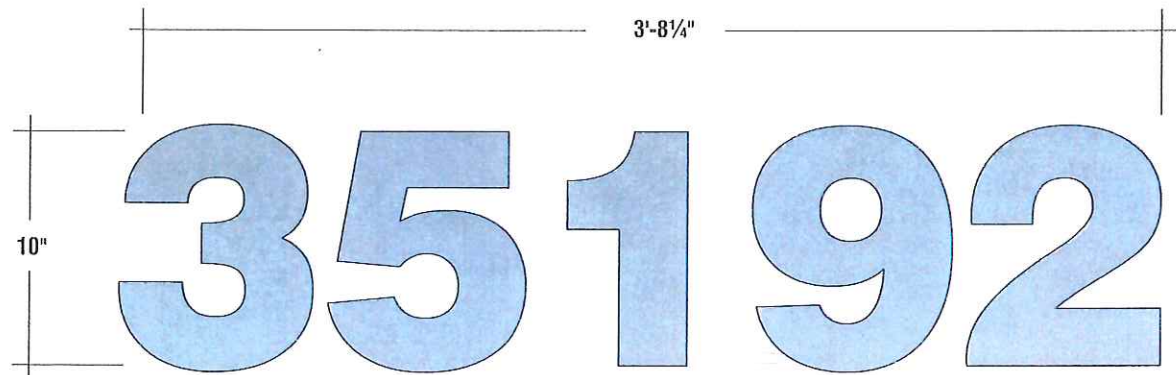
• APPROVALS •	
FOR JOB CHECK	DATE
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FOR CONSTRUCTION	DATE
Acct. Mgr.	
Design	
Production	
FOR INSTALL ONLY	DATE
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EXHIBIT Ap22



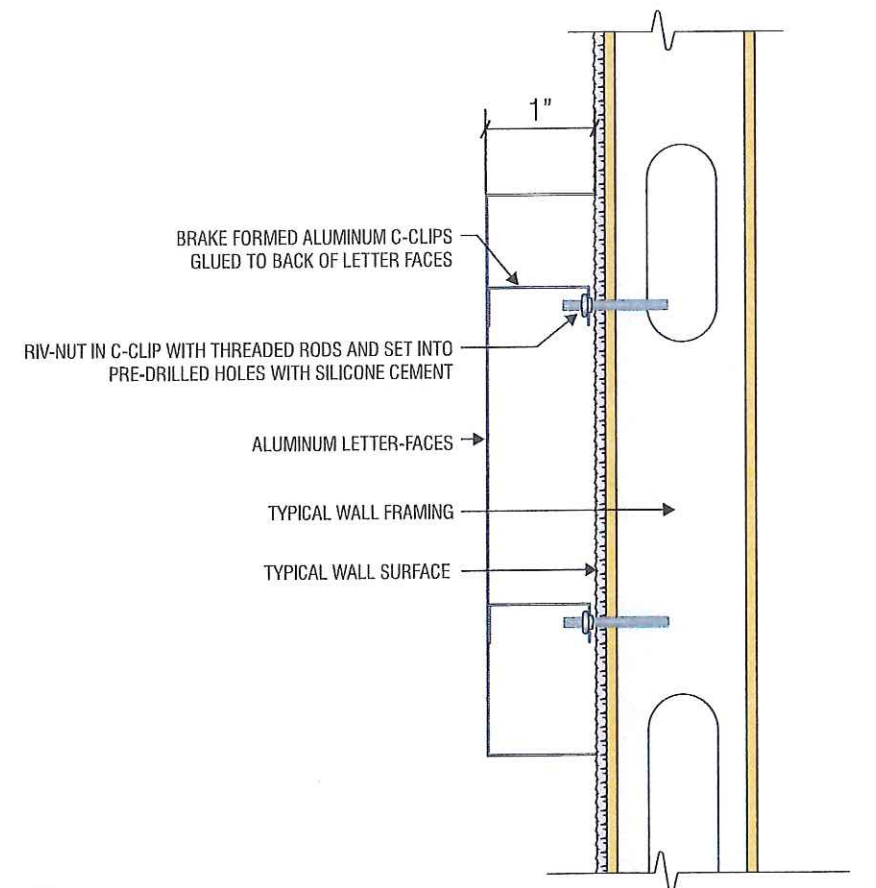
U CUSTOM FABRICATED NON-ILLUMINATED ADDRESS NUMBERS

Quantity: One (1) Required

Scale: 1/2" = 1'-0"

SPECIFICATIONS:

- NUMBERS: 1" DEEP NON-ILLUMINATED ALUMINUM REVERSE CHANNEL ADDRESS NUMBERS. .063" RETURNS & .080" FACES TO MATCH BRUSH ALUMINUM



1 TYPICAL SECTION DETAIL
SCALE: NTS

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Project:
McDonald's

Address:
**35192 Newark Blvd.,
Newark, CA**

Account Manager:
Mike Rathbun

Designer:
L. Ramirez 3.50

Scale: **AS NOTED**

Design No.: **16-07-2011-04 P**

Date: **07.01.16**

Reg. No.:

- Revisions:
- R1 07/13/16 LR Add mon., show property lines, add address #'s, & one directional (2.75)
 - R2 11/08/16 LR New elev. & lower signs (2.75)
 - R3 11/10/16 LR Move sign B2 up (.5)
 - R4 03/06/16 LR New site plan (.75)

• APPROVALS •

FOR JOB CHECK DATE

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FOR CONSTRUCTION DATE

Acct. Mgr.

Design

Production

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Acct. Mgr.

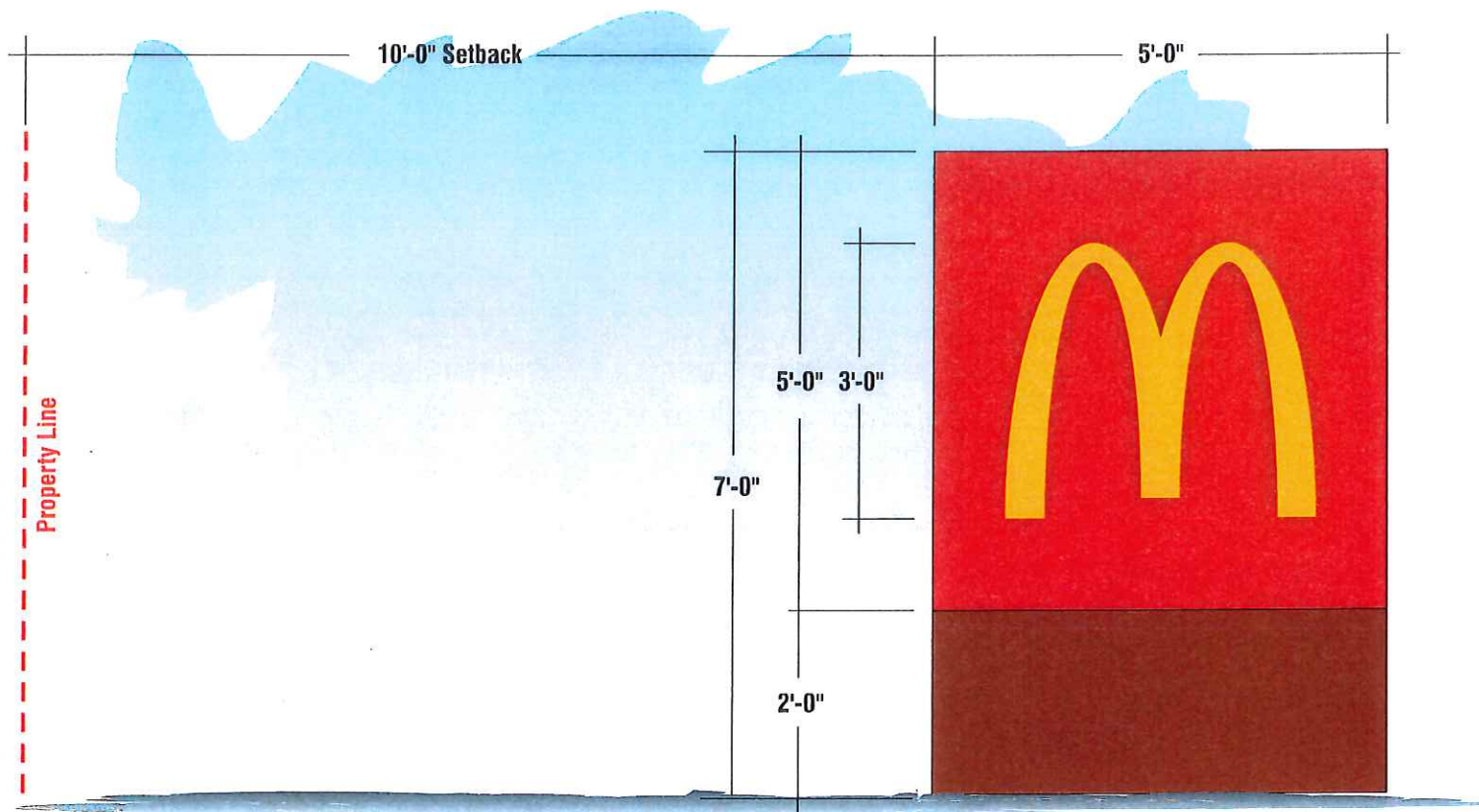
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EXHIBIT Ap23



1 EXISTING DOUBLE FACE MONUMENT (7'-0" o.a.h. x 5'-0" / 25.0 Sq. Ft.)
Scale: n.l.s

Z NEW D/F ILLUMINATED CABINET AND SHROUD FOR EXISTING PIPE SUPPORT
Quantity: Two (2) Faces Required

Sq. Ft. = 25.0
Scale: 1/2" = 1'-0"

SPECIFICATIONS:

CABINET: CUSTOM FABRICATED ALUMINUM PAINTED McDONALD'S RED (PMS #1795C)
FACES: .125 ALUMINUM PAINTED McDONALD'S RED (PMS #1795C) ROUTED OUT FOR ARCH
ARCH: VACUUM FORMED SABIC YELLOW LEXAN
ILLUMINATION: WARM WHITE LED'S
SHROUD: .063 ALUMINUM PAINTED BENJAMIN MOORE "EARTHY RUSSET" WITH FINE STUCCO FINISH

NOTE: JOB CHECK REQUIRED BEFORE FABRICATION
REMOVE AND JUNK FENCE AROUND EXISTING SIGN



2 PROPOSED NEW CABINET AND SHROUD FOR EXISTING PIPE SUPPORT
Scale: n.l.s

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Designer:
L. Ramirez 3.50
Scale: AS NOTED

Design No.: 16-07-2011-04 P
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R2 11/08/16 LR New elev. & lower signs (2.75)
R3 11/10/16 LR Move sign B2 up (.5)
R4 03/06/16 LR New site plan (.75)

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Page: 09 Of: 11

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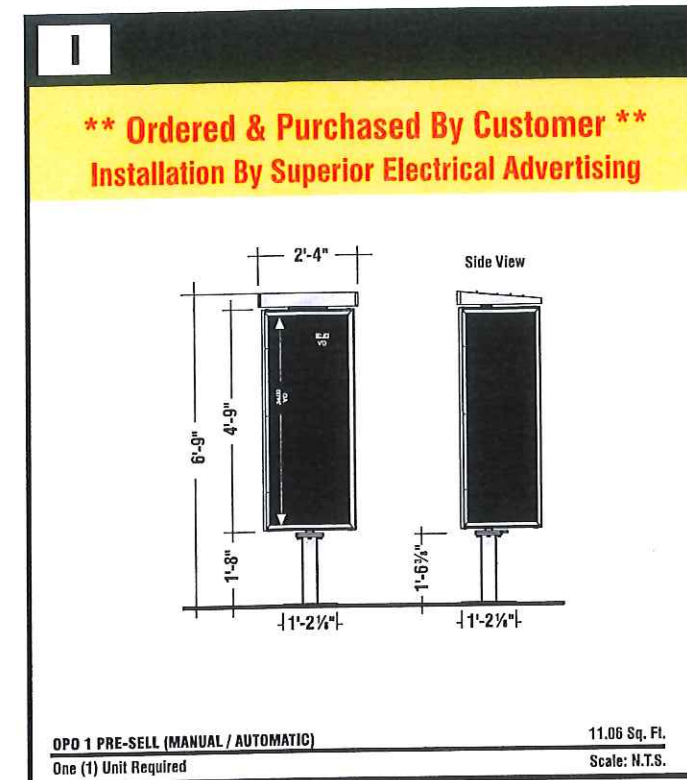
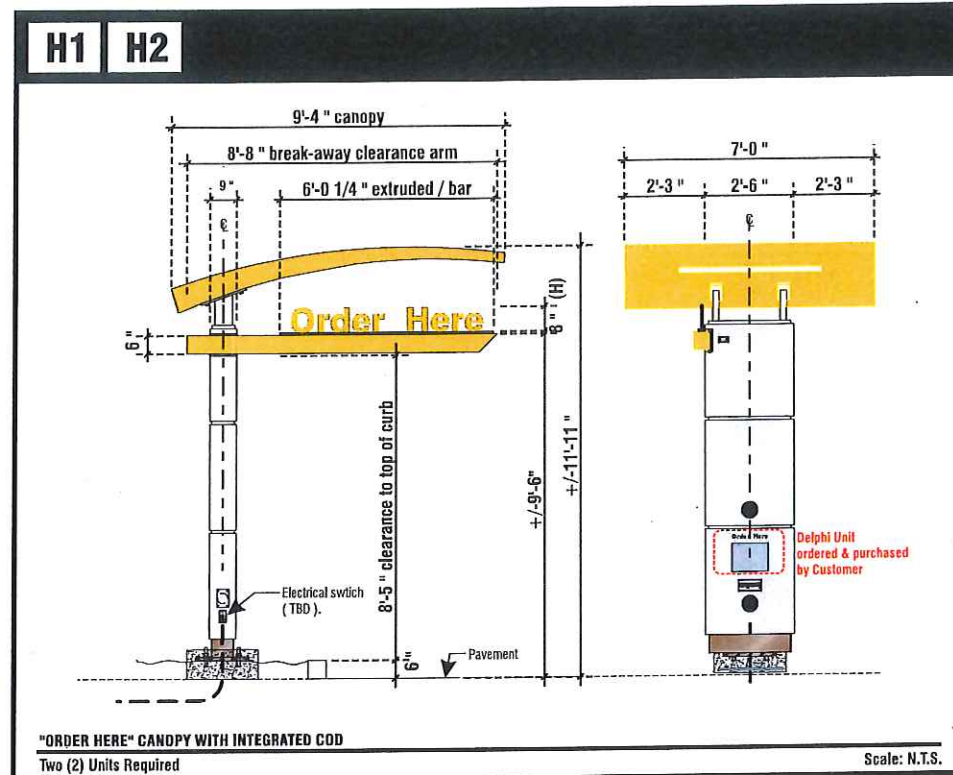
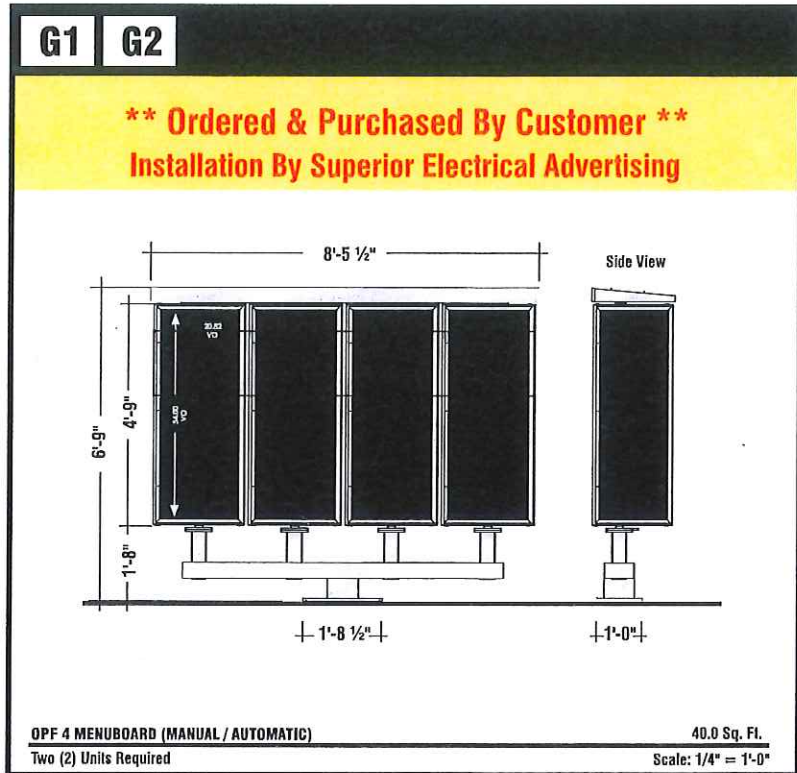
EXHIBIT Ap24

**** ALL FOOTINGS BY THE GENERAL CONTRACTOR ****
(for signs on this page)



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Project:
McDonald's

Address:
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Newark, CA

Account Manager:
Mike Rathbun

Designer:
L. Ramirez 3.50

Scale: AS NOTED

Design No.: 16-07-2011-04 P

Date: 07.01.16

Reg. No.:

Revisions:
R1 07/13/16 LR Add mon., show property lines, add address #'s, & one directional (2.75)
R2 11/08/16 LR New elev. & lower signs (2.75)
R3 11/10/16 LR Move sign B2 up (.5)
R4 03/06/16 LR New site plan (.75)

• APPROVALS •

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Page: 10 Of: 11

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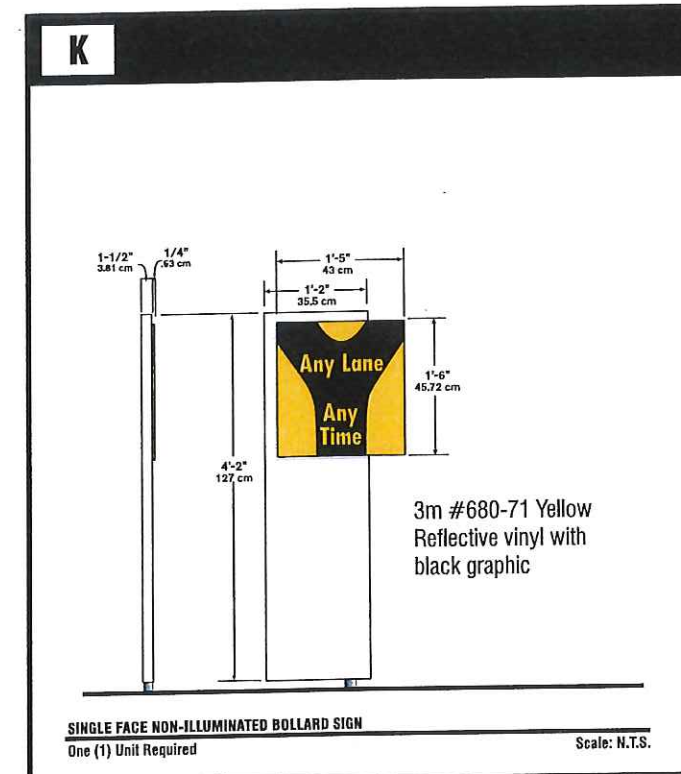
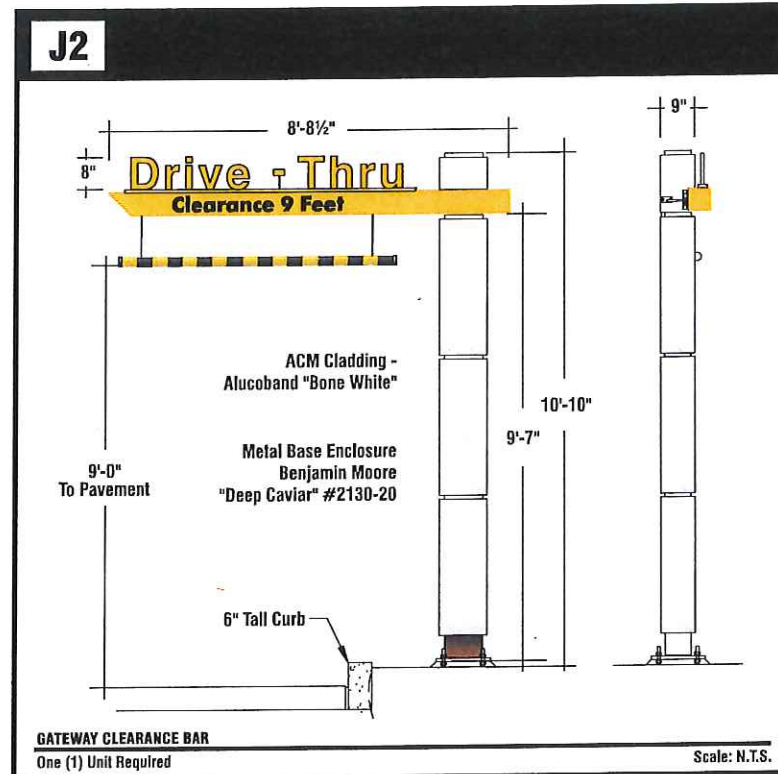
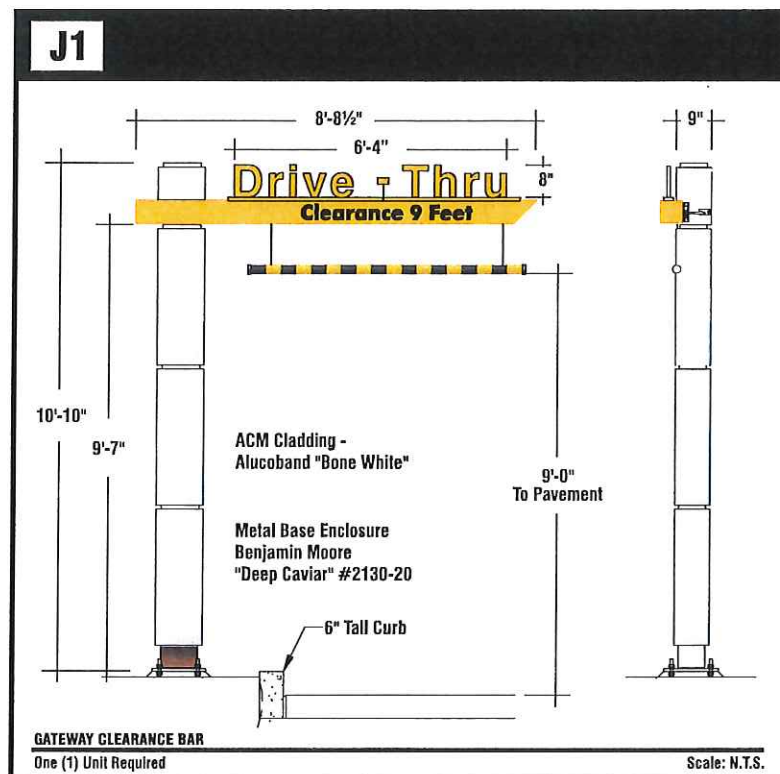
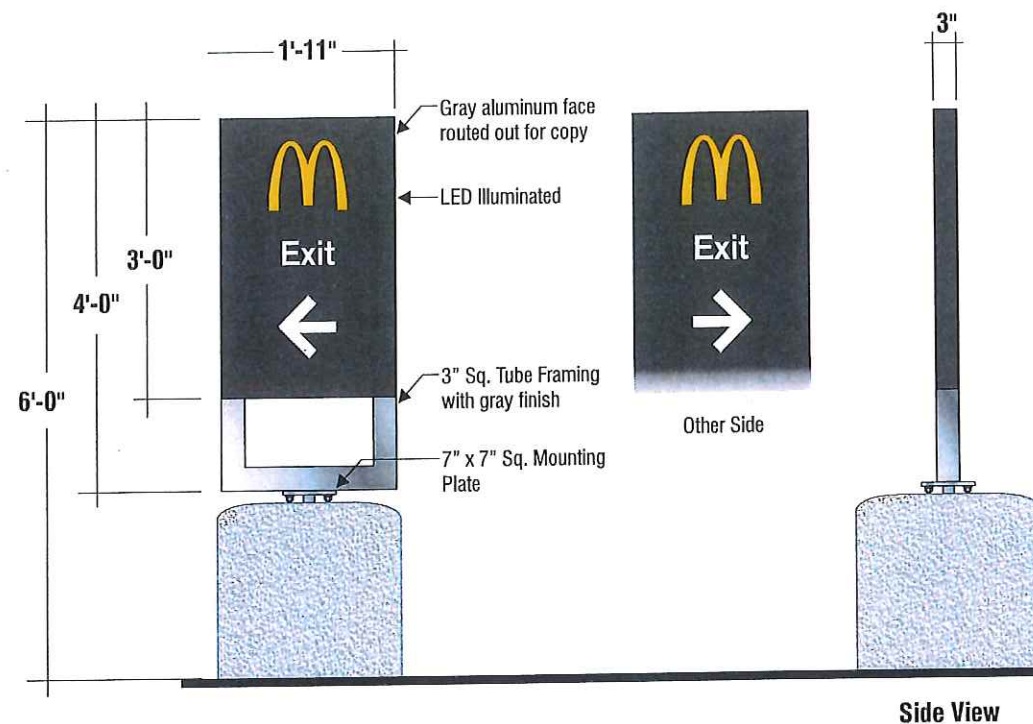
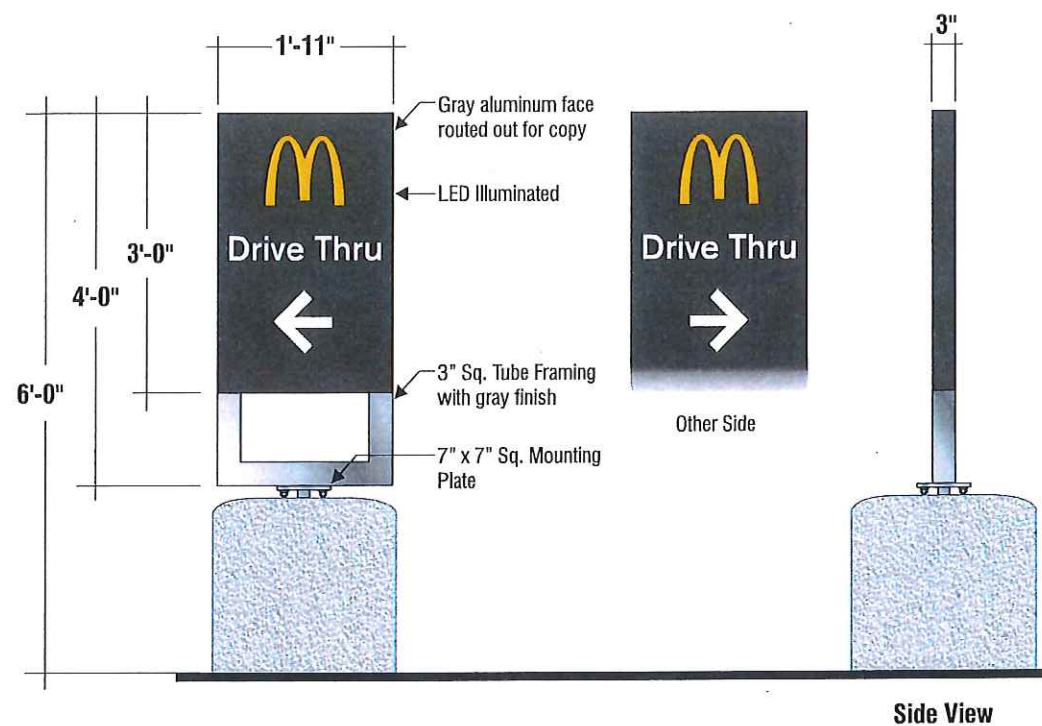


EXHIBIT Ap25

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Facsimile: 562.435.1867
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Project:
McDonald's

Address:
35192 Newark Blvd.,
Newark, CA

Account Manager:
Mike Rathbun

Designer:
L. Ramirez 3.50

Scale: AS NOTED

Design No.: 16-07-2011-04 P

Date: 07.01.16

Reg. No.:

Revisions:
R1 07/13/16 LR Add mon., show property lines, add address #'s, & one directional (2.75)
R2 11/08/16 LR New elev. & lower signs (2.75)
R3 11/10/16 LR Move sign B2 up (.5)
R4 03/06/16 LR New site plan (.75)

L1 L2 NEW LED ILLUMINATED DOUBLE FACE DIRECTIONAL
Quantity: Two (2) Required

Sq. Ft. 5.73
Scale: 1/2" = 1'-0"

L3 NEW LED ILLUMINATED DOUBLE FACE DIRECTIONAL
Quantity: One (1) Required

Sq. Ft. 5.73
Scale: 1/2" = 1'-0"

Note to All Contractors

120 Sign Voltage

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. All wall penetrations to be sealed with UL Listed silicone sealant.

APPROVALS

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EXHIBIT Ap2G