

**PROJECT INFORMATION**

**Project Address**  
 BUILDING 1: 7400 GATEWAY BLVD, NEWARK, CA  
 BUILDING 2: 7300 GATEWAY BLVD, NEWARK, CA  
 BUILDING 3: 7200 GATEWAY BLVD, NEWARK, CA

**Owner/Applicant**  
 PANATTON DEVELOPMENT COMPANY, INC.  
 8775 FOLSOM BLVD, #200 SACRAMENTO, CA 95826  
 PHONE: (916)-379-1127  
 CONTACT: TIMOTHY W. SCHAEDELER

**Assessor's Parcel Number**  
 537-0853-054  
 537-0853-055  
 537-0853-056

**Applicant's Representative**  
 HPA, INC. OAKLAND OFFICE  
 383 4TH STREET, SUITE 101, OAKLAND, CA 94607  
 CONTACT: TERESA GOODWIN  
 PHONE: (415) 862-2111

**Zoning**  
 MT-1-HIGH-TECHNOLOGY PARK  
 GENERAL PLAN: SPECIAL INDUSTRIAL

**Legal Description**  
 SEE CIVIL DRAWINGS FOR THE LEGAL DESCRIPTION

**TABULATION**

SITE AREA	BLDG.1	BLDG.2	BLDG.3	TOTAL
In s.f.				1,006,106 s.f.
In acres				23.10 ac
<b>BUILDING AREA</b>				
Office - 1st floor	5,000	5,000	3,000	13,000 s.f.
Office - 2nd floor	5,000	5,000	3,000	13,000 s.f.
Manufacturing	69,410	141,145	38,364	248,919 s.f.
Warehouse (33% max)	39,113	74,444	21,851	135,408 s.f.
Footprint	118,523	220,589	63,215	397,327 s.f.
<b>TOTAL</b>	<b>118,523</b>	<b>220,589</b>	<b>66,215</b>	<b>410,327 s.f.</b>
NOTE Warehouse/Distribution Operations not to exceed 33% of site use				
<b>COVERAGE</b>				39.5%
<b>AUTO PARKING REQUIRED</b>				
Office: 1/200 s.f.	50	50	30	130 stalls
Whse & Mfg: 1/1,000 s.f.	109	216	61	386 stalls
<b>TOTAL</b>	<b>159</b>	<b>266</b>	<b>91</b>	<b>516 stalls</b>
<b>AUTO PARKING PROVIDED</b>				
Standard (9' x 20')	165	258	91	514 stalls
Accessible parking (8'x20')	7	8	6	21 stalls
<b>TOTAL</b>	<b>172</b>	<b>266</b>	<b>97</b>	<b>535 stalls</b>
<b>BICYCLE PARKING REQUIRED</b>				
Visitors 5% of autos	9	14	5	28 spaces
Long Term 5% of autos	9	14	5	28 spaces
<b>ZONING ORDINANCE FOR CITY</b>				
MT-1-High-Technology Park General Plan: Special Industrial				
<b>SETBACK MINIMUMS ALLOWED</b>				
<b>Building</b>				
Front - Gateway Blvd. - 100'				
Side - 53'				
Rear - Jarvis Ave. - 103'				
<b>LANDSCAPE REQUIREMENT</b>				
Percentage 25%				
<b>LANDSCAPE PROVIDED</b>				
Landscape area 258,509 s.f.				
Percentage 25.69%				

**HPA**  
 architecture

hpa, inc.  
 18831 bardeen avenue, - ste. #100  
 irvine, ca  
 92612  
 tel: 949-863-1770  
 fax: 949-863-0851  
 email: hpa@hparchs.com



**Owner:**

CLARION PARTNERS

PANATTON

**Project:**

Newark Gateway Blvd

Newark, CA 94560

**Consultants:**

K&W  
 Vista Parks

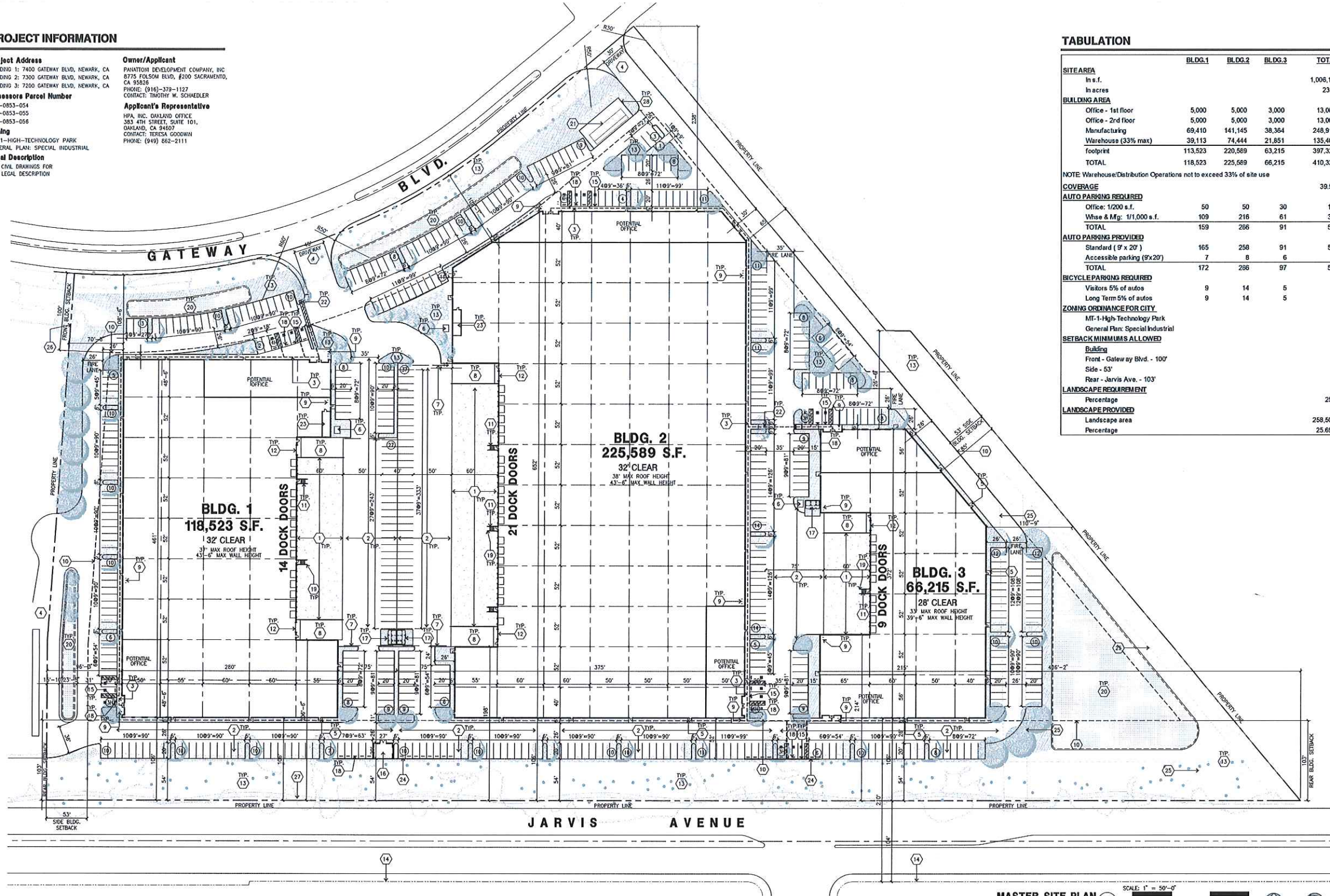
**Title:** MASTER SITE PLAN

**Project Number:** 17219  
**Drawn by:** Y.L.  
**Date:** 11/08/17  
**Revision:**

**Sheet:**

DAB-1.1

EXHIBIT A-01



**SITE PLAN KEYNOTES**

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 ASPHALT CONCRETE.
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH
- 4 DRIVEWAY APRONS.
- 5 5'-6" X 5'-6" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH
- 6 APPROXIMATE LOCATION OF TRANSFORMER TO BE PAINTED GREEN TO MATCH LANDSCAPING
- 7 POTENTIAL FUTURE GATES TO REMAIN OPEN DURING OPERATING HOURS FOR ACCESS TO TRASH ENCLOSURES FOR COLLECTION AS REQUIRED BY REPUBLIC SERVICES CONCRETE RAMP
- 8 CYCLOPS 2170-3 INVERTED U BIKE RACK
- 9 SETBACK MINIMUMS
- 10 EXTERIOR STEEL STAR.
- 11 12' X 14" DRIVE-IN DOOR
- 12 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING
- 13 RESIDENTIAL PROPERTY LINE
- 14 HANDICAP PARKING STALL SIGN
- 15 PUMP ROOM, SEE A-D-1
- 16 TRASH ENCLOSURE, SEE A-D-2
- 17 PRE-CAST CONC. WHEEL STOP.
- 18 CONC. FILLED GUARD POST "6 DIA. U.N.O. 42" H
- 19 STORM TREATMENT SEE CIVIL
- 20 EXISTING ELECTRICAL PAD AND EQUIPMENT TO REMAIN
- 21 TRUNCATED DOME SEE CIVIL
- 22 ELECTRICAL ROOM
- 23 POTENTIAL SOUND WALL LOCATION
- 24 EASEMENT, SEE CIVIL
- 25 EXISTING FOUNTAIN AND MOAT
- 26 WEATHERING SIDEWALKS
- 27 EXISTING WALL AROUND EXISTING EQUIPMENT

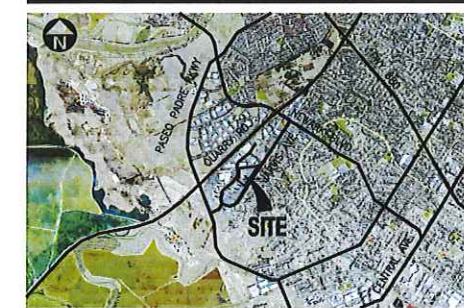
**SITE PLAN GENERAL NOTES**

- THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY TBD
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM IF REQUIRED.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.

**SITE PLAN GENERAL NOTES**

- ALL BUILDINGS SHALL HAVE FIRE SPRINKLERS INSTALLED.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND CITY ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMITS.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO THE CITY ENGINEER.
- KNOX BOXES WILL BE INSTALLED FOR ALL LEASE SPACES.
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM THE CITY ENGINEER.
- ALL ROOF MOUNTED EQUIPMENT SHALL BE FULLY SCREENED FROM PUBLIC VIEW BY THE ARCHITECTURAL ELEMENTS OF THE BUILDING
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
- WALL HEIGHT INDICATED IS TAKEN FROM THE FINISHED FLOOR OF THE BUILDING

**VICINITY MAP**



**MASTER SITE PLAN**  
 scale: 1" = 50'-0"  
 SCALE: 1" = 50'-0"  
 PLAN NORTH  
 TRUE NORTH

**PROJECT INFORMATION**

**Project Address**  
 BUILDING 1: 7400 GATEWAY BLVD, NEWARK, CA  
 BUILDING 2: 7300 GATEWAY BLVD, NEWARK, CA  
 BUILDING 3: 7200 GATEWAY BLVD, NEWARK, CA

**Owner/Applicant**  
 PANATTONI DEVELOPMENT COMPANY, INC  
 8775 FOLSOM BLVD, #200 SACRAMENTO,  
 CA 95826  
 PHONE: (916)-378-1127  
 CONTACT: TIMOTHY W. SCHAEDELER

**Assessor's Parcel Number**  
 537-0853-054  
 537-0853-055  
 537-0853-056

**Zoning**  
 M1-1-HIGH-TECHNOLOGY PARK  
 GENERAL PLAN: SPECIAL INDUSTRIAL

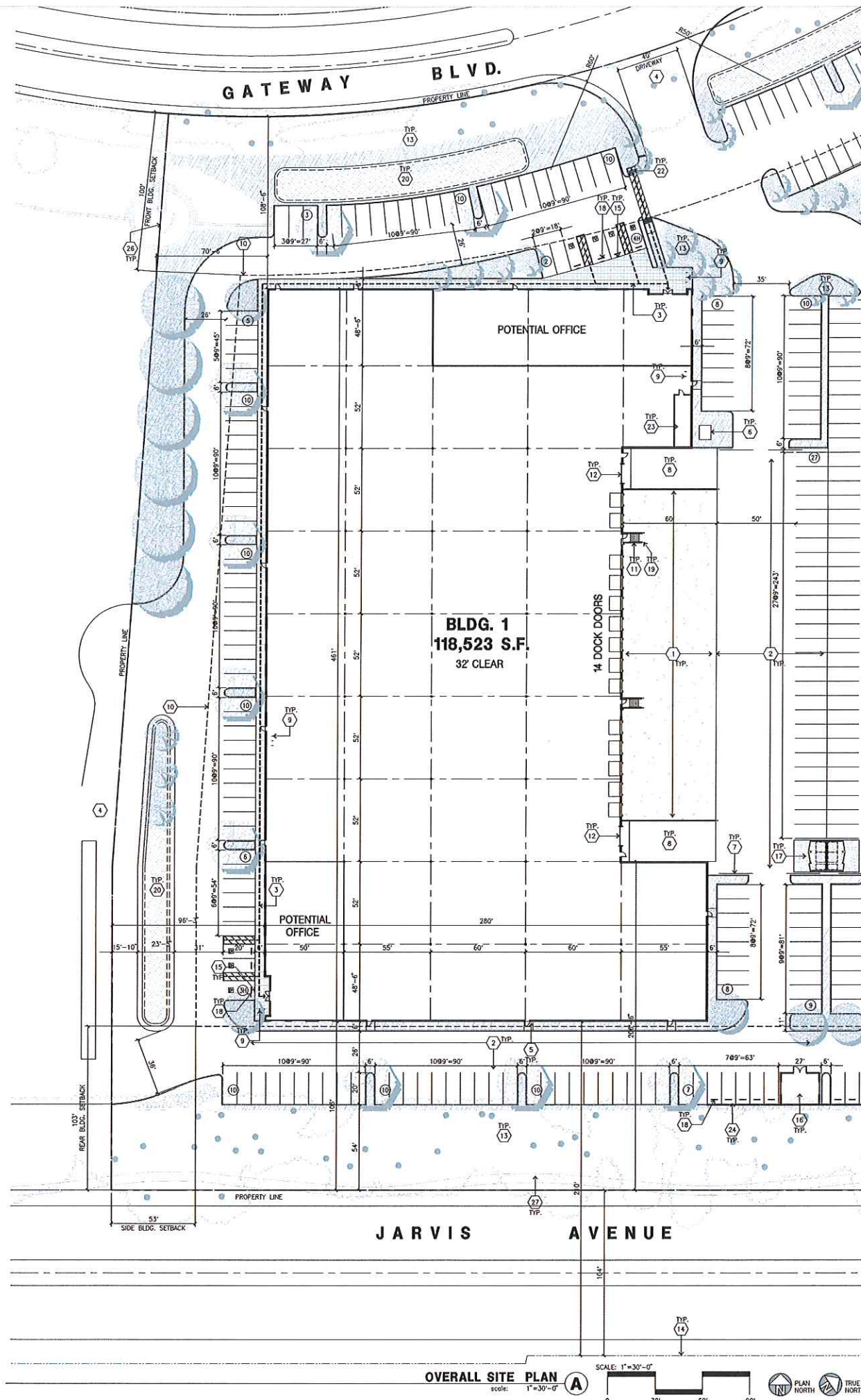
**Legal Description**  
 SEE CIVIL DRAWINGS FOR  
 THE LEGAL DESCRIPTION

**Applicant's Representative**  
 HPA, INC. OAKLAND OFFICE  
 383 4TH STREET, SUITE 101,  
 OAKLAND, CA 94607  
 CONTACT: TERESA GOODWIN  
 PHONE: (949) 862-2111

**TABULATION**

SITE AREA	BLDG.1	BLDG.2	BLDG.3	TOTAL
In s.f.				1,006,106 s.f.
In acres				23.10 ac
<b>BUILDING AREA</b>				
Office - 1st floor	5,000	5,000	3,000	13,000 s.f.
Office - 2nd floor	5,000	5,000	3,000	13,000 s.f.
Manufacturing	69,410	141,145	38,364	248,919 s.f.
Warehouse (33% max)	39,113	74,444	21,851	135,408 s.f.
Footprint	113,523	220,589	63,215	397,327 s.f.
TOTAL	118,523	225,589	66,215	410,327 s.f.
NOTE Warehouse/Distribution Operations not to exceed 33% of site use				
<b>COVERAGE</b>				39.5%
<b>AUTO PARKING REQUIRED</b>				
Office: 1/200 s.f.	50	50	30	130 stalls
Whse & Mg: 1/1,000 s.f.	109	216	61	386 stalls
TOTAL	159	266	91	516 stalls
<b>AUTO PARKING PROVIDED</b>				
Standard (9' x 20')	165	258	91	514 stalls
Accessible parking (9'x20')	7	8	6	21 stalls
TOTAL	172	266	97	535 stalls
<b>BICYCLE PARKING REQUIRED</b>				
Visitors 5% of autos	9	14	5	28 spaces
Long Term 5% of autos	9	14	5	28 spaces
<b>ZONING ORDINANCE FOR CITY</b>				
M1-1-High-Technology Park General Plan: Special Industrial				
<b>SETBACK MINIMUMS ALLOWED</b>				
Building Front - Gateway Blvd. - 100' Side - 53' Rear - Jarvis Ave. - 103'				
<b>LANDSCAPE REQUIREMENT</b>				
Percentage				25%
<b>LANDSCAPE PROVIDED</b>				
Landscape area				258,509 s.f.
Percentage				25.69%

**VICINITY MAP**



**OVERALL SITE PLAN**  
 scale: 1"=30'-0"  
 SCALE: 1"=30'-0"  
 PLAN NORTH TRUE NORTH

**SITE PLAN KEYNOTES**

- HEAVY BROOM FINISH CONCRETE PAVEMENT.
- ASPHALT CONCRETE.
- CONCRETE WALKWAY, MEDIUM BROOM FINISH
- DRIVEWAY APRONS.
- 5'-6"3/4"-6"X4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH
- APPROXIMATE LOCATION OF TRANSFORMER TO BE PAINTED GREEN TO MATCH LANDSCAPING
- POTENTIAL FUTURE GATES TO REMAIN OPEN DURING OPERATING HOURS FOR ACCESS TO TRASH ENCLOSURES FOR COLLECTION AS REQUIRED BY REPUBLIC SERVICES CONCRETE RAMP
- CYCLOPS 2170-3 INVERTED U BIKE RACK
- SETBACK MINIMUMS
- EXTERIOR STEEL STAR.
- 12' X 14' DRIVE-IN DOOR
- LANDSCAPE ALL LANDSCAPE AREAS INDICATED BY SHADING
- RESIDENTIAL PROPERTY LINE
- HANDICAP PARKING STALL SIGN
- PUMP ROOM, SEE A-D.1
- TRASH ENCLOSURE, SEE A-D.1
- PRE-CAST CONC. WHEEL STOP.
- CONC. FILLED GUARD POST 6" DIA. UNCLD. 42" H
- STORM TREATMENT SEE CIVIL
- EXISTING ELECTRICAL PAD AND EQUIPMENT TO REMAIN
- TRUNCATED DOME SEE CIVIL
- ELECTRICAL ROOM
- POTENTIAL SOUND WALL LOCATION
- EASEMENT, SEE CIVIL
- EXISTING FOUNTAIN AND MOAT
- MEANDERING SIDEWALKS
- EXISTING WALL AROUND EXISTING EQUIPMENT

**SITE PLAN GENERAL NOTES**

- THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY TBD
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL FACE OF CONCRETE CURB OR GRID LINE U.H.O.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM IF REQUIRED.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.H.O.
- ALL BUILDINGS SHALL HAVE FIRE SPRINKLERS INSTALLED.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND CITY ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMITS.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO THE CITY ENGINEER.
- KNOX BOXES WILL BE INSTALLED FOR ALL LEASE SPACES.
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM THE CITY ENGINEER.
- ALL ROOF MOUNTED EQUIPMENT SHALL BE FULLY SCREENED FROM PUBLIC VIEW BY THE ARCHITECTURAL ELEMENTS OF THE BUILDING
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
- WALL HEIGHT INDICATED IS TAKEN FROM THE FINISHED FLOOR OF THE BUILDING

**SITE PLAN GENERAL NOTES**

- CONCRETE PAVING - SEE "C" DRWS. FOR THICKNESS
- STANDARD PARKING STALL 9'-0" X 20'
- HANDICAP PARKING STALL 9' X 20' + 5' W/ ACCESSIBLE AISLE
- VAN ACCESSIBLE HANDICAP STALL 12' X 20' + 5' W/ ACCESSIBLE AISLE
- PATH OF TRAVEL
- LANDSCAPE AREAS

**HPA**  
 architecture

hpa, inc.  
 18831 bardeen avenue, - sta. #100  
 irvine, ca  
 92612  
 tel: 949-863-1770  
 fax: 949-863-0851  
 email: hpa@hparchs.com



Owner:

CLARION PARTNERS

PANATTONI

Project:

**Newark Gateway Blvd**

Newark, CA 94560

Consultants:

K&W

Civil: K&W  
 Structural: K&W  
 Mechanical: K&W  
 Plumbing: K&W  
 Electrical: K&W  
 Landscape: Vista Parks  
 Fire Protection: Vista Parks  
 Soils Engineer: Vista Parks

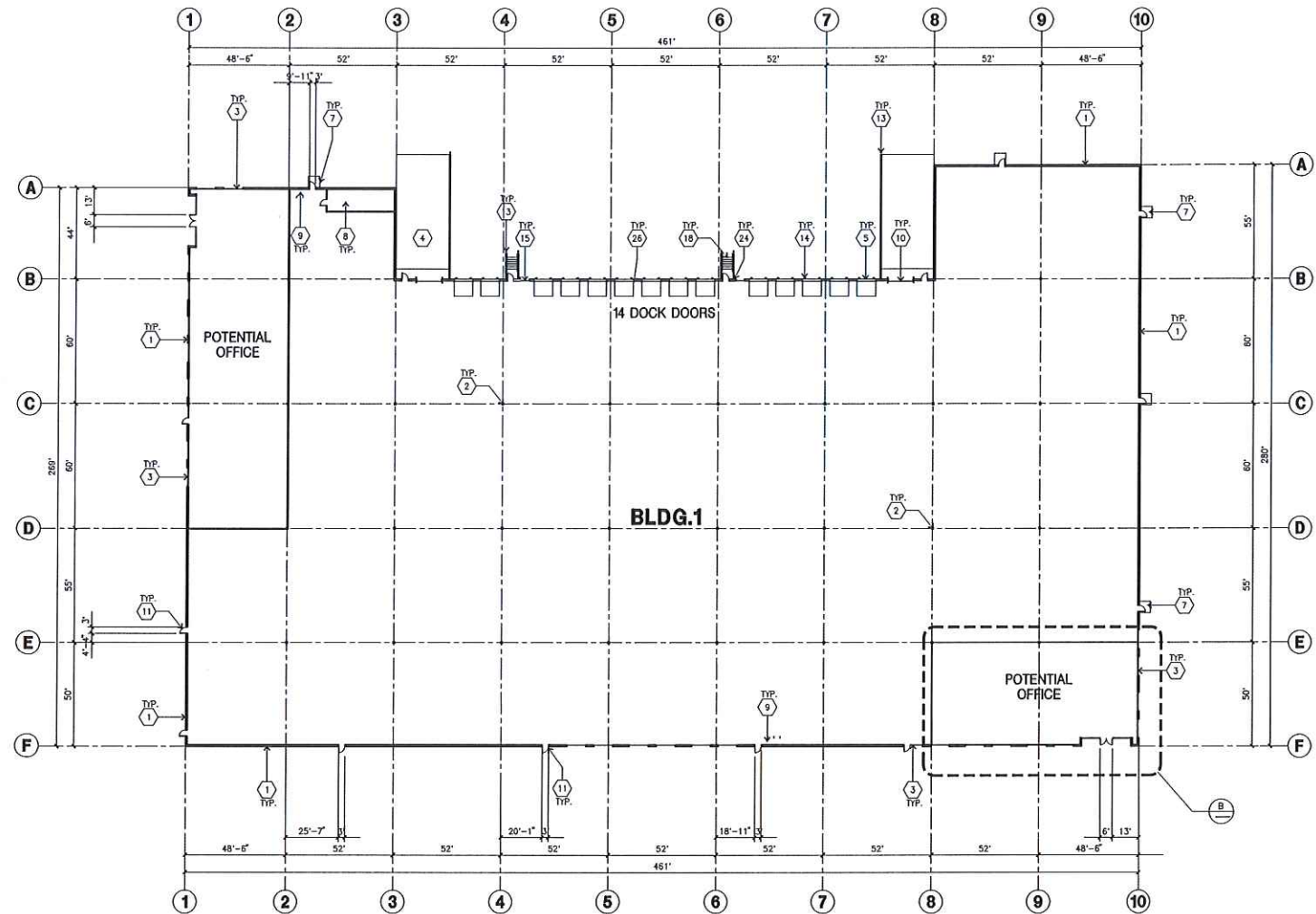
Title: OVERALL SITE PLAN

Project Number: 17219  
 Drawn by: Y.L.  
 Date: 11/08/17  
 Revision:

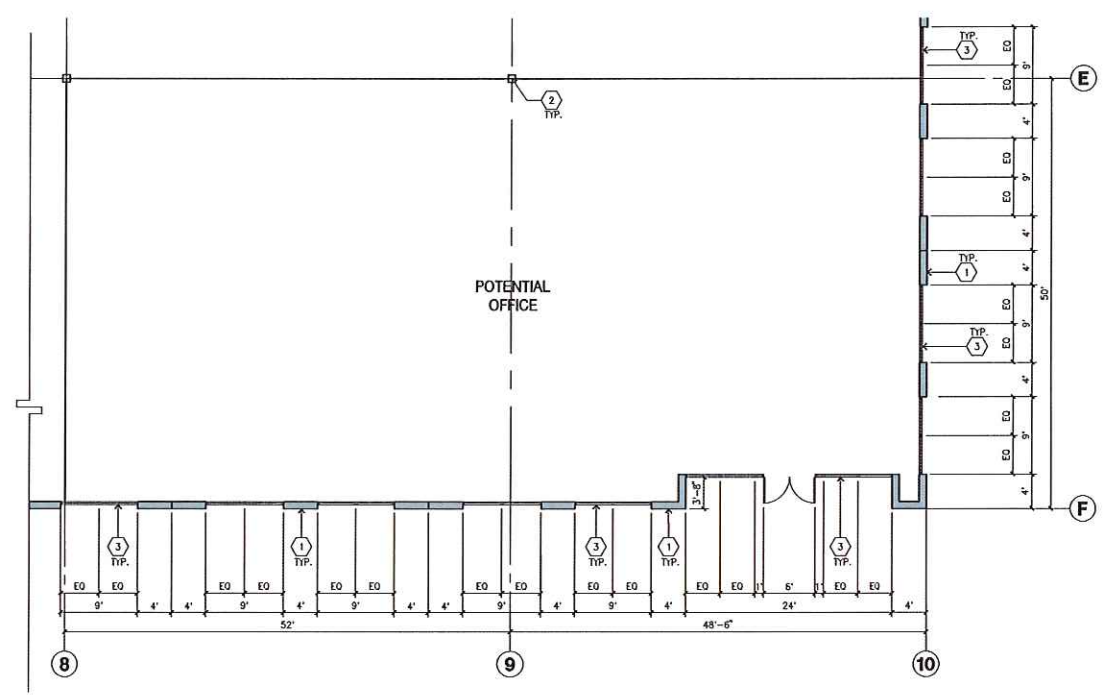
Sheet:

**1-DAB-1.1**

**EXHIBIT A**



**OVERALL FLOOR PLAN**  
 scale: 1"=30'-0"



**ENLARGED FLOOR PLAN**  
 scale: 1/8"=1'-0"



**KEYNOTES - FLOOR PLAN**

- 1 CONCRETE TILT-UP PANEL. SEE "S" DWGS. FOR THICKNESS AND STEEL REQUIREMENTS.
- 2 STRUCTURAL STEEL COLUMN. SEE "S" DRAWINGS FOR SIZE.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC. TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP. SEE "S" DWG FOR DETAIL.
- 5 9'-0" X 10' TRUCK DOOR. SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED, EXPOSURE "C".
- 6 5'-8 1/2" - 6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12' MAX.
- 7 ELECTRICAL ROOM.
- 8 INTERIOR BIKE RACK.
- 9 12' X 14' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED, EXPOSURE "C".
- 10 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST CITY REQUIRED WIND SPEED, EXPOSURE "C".
- 11 CONC. FILLED GUARD POST. 6" DIA. U.N.O.D. 48"H.
- 12 DOCK DOOR BUMPER.
- 13 LOUVERED OPENING FOR VENTILATION. SEE "M" DWGS.
- 14 STEEL STAIR.
- 15 INTERIOR ROOF DRAIN AND 2 OVERFLOW SCUPPERS. INSTALL CONCRETE BOLLARD PROTECTION AT OPEN AREAS.
- 16 EXTERIOR DOWNSPOUT WITH 2 OVERFLOW SCUPPERS.
- 17 CHEVRON BRACE FRAME, TO BE DETERMINED.
- 18 Z GUARD.
- 19 INTERIOR ROOF DRAIN & OVERFLOW DRAIN.

**GENERAL NOTES-FLOOR PLAN**

- A. THIS BUILDING IS DESIGNED FOR HIGH FILE STORAGE WITH FIRE ACCESS MAN DOORS AT APPROXIMATELY 100'. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY BACKING/COVERER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. SEE CIVIL FOR BUILDING FLOOR SLOPE.
- D. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- E. PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.
- F. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.D.
- G. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- H. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAPPERED INCLUDING CARS AND TRUCKS.
- I. ALL MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN.
- J. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.



hpa, inc.  
 18831 bardeen avenue, - ste. #100  
 irvine, ca  
 92612  
 tel: 949-863-1770  
 fax: 949-863-0651  
 email: hpa@hparchs.com

Owner:

CLARION PARTNERS

PANATTONI

Project:

Newark  
 Gateway Blvd

Newark, CA 94560

Consultants:

Civil: K&W  
 Structural:  
 Mechanical:  
 Plumbing:  
 Electrical:  
 Landscape: Vista Parks  
 Fire Protection:  
 Soils Engineer:

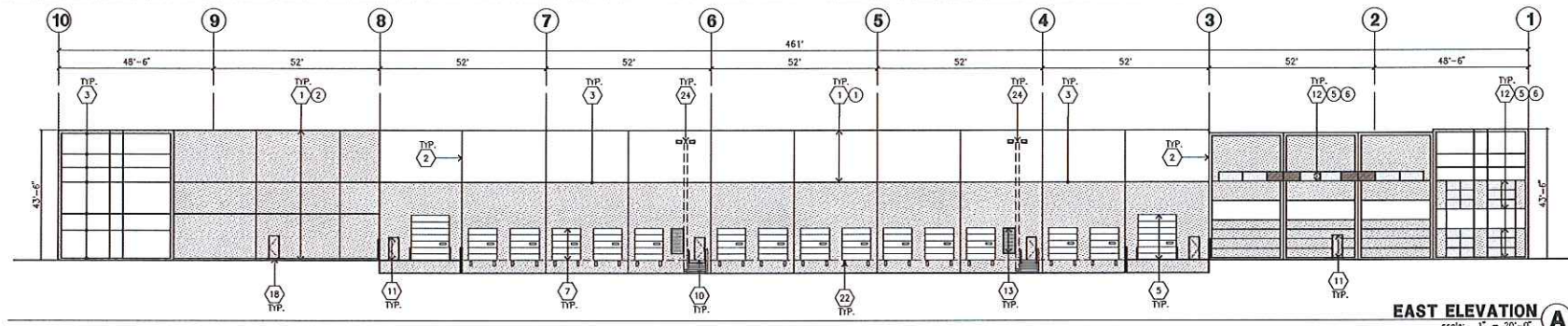
Title: OVERALL FLOOR PLAN

Project Number: 17219  
 Drawn by: Y.L.  
 Date: 11/08/17  
 Revision:

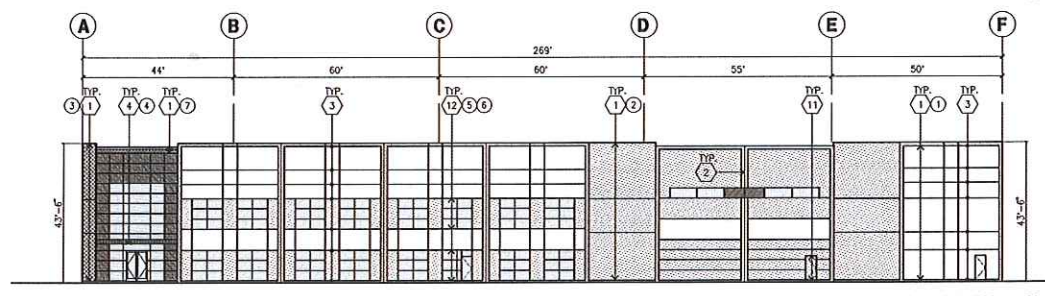
Sheet:

1-DAB-2.1

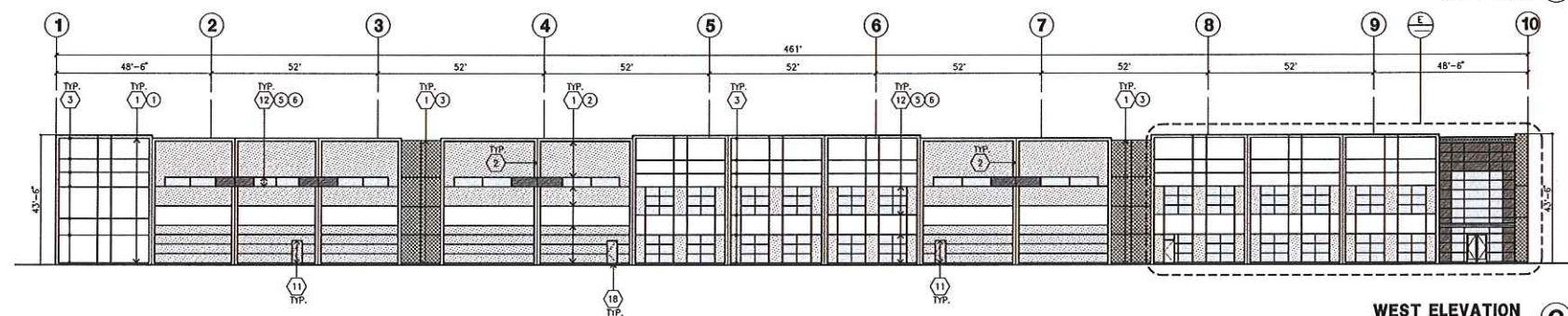
EXHIBIT A p.3



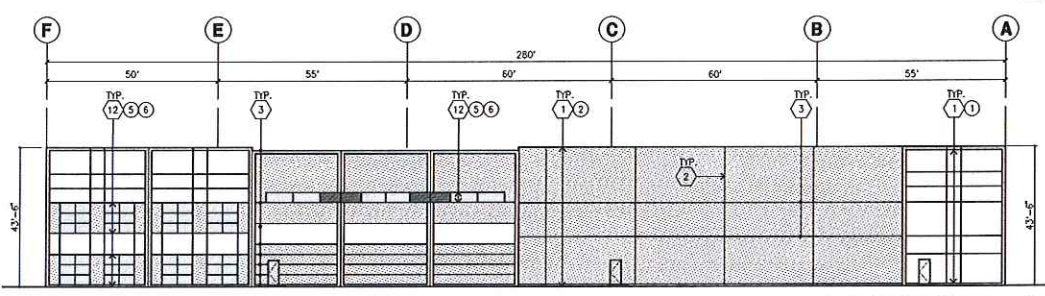
**EAST ELEVATION**  
scale: 1" = 20'-0"



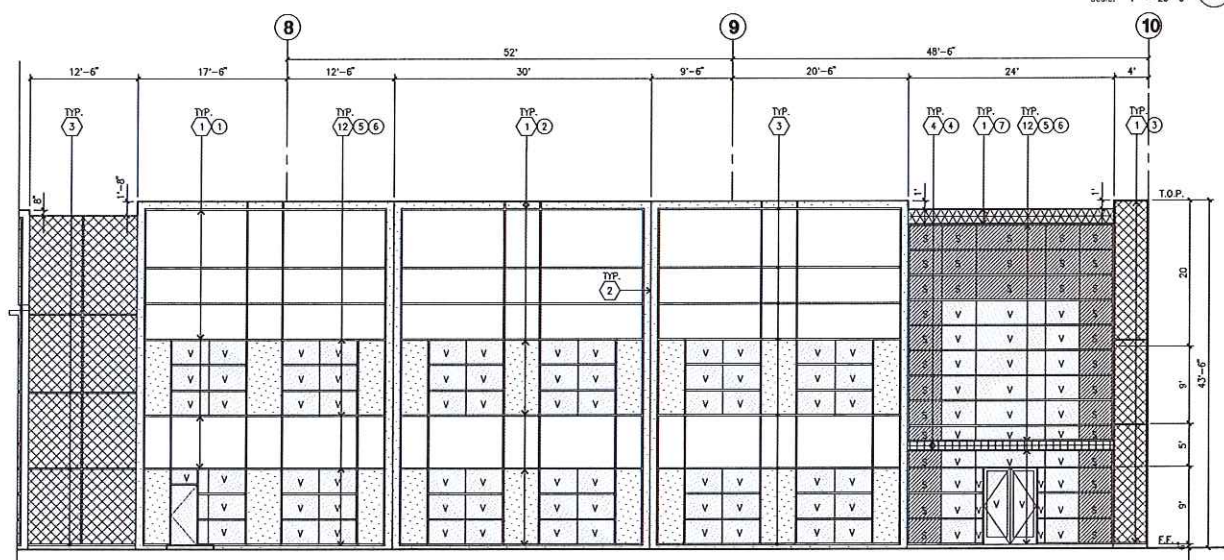
**NORTH ELEVATION**  
scale: 1" = 20'-0"



**WEST ELEVATION**  
scale: 1" = 20'-0"



**SOUTH ELEVATION**  
scale: 1" = 20'-0"



**ENLARGE WEST ELEVATION**  
scale: 1/8" = 1'-0"

**KEYNOTES - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL(PAINTED). SEE "S" DRAWINGS. FINISH GRADE VARIES. SEE "C" DRAWINGS. WATERPROOF ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN. NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS.
- 2 PANEL JOINT
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR.
- 4 METAL CANOPY
- 5 12"W X 14"H OVERHEAD DOOR @ DRIVE THRU. SEE DOOR SCHEDULE.
- 6 PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. DESIGN TO RESIST CITY REQUIRED WIND EXPOSURE "C"
- 7 OVERHEAD DOOR @ DOCK HIGH. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. DESIGN TO RESIST CITY REQUIRED WIND EXPOSURE "C"
- 8 STEEL STAR AND METAL PIPE RAILING. PROVIDE NON SKID NIGORS TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 9 HOLLOW METAL DOORS TO BE PAINTED TO MATCH BUILDING. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 10 ALUMINUM STOREFRONT FRAMING WITH TENUFERED GLAZING. DESIGN TO RESIST CITY REQUIRED WIND EXPOSURE "C"
- 11 4"W. X 8" H METAL LOUVER. PAINT TO MATCH BUILDING COLOR
- 12 5'-6" X 5'-6" CONCRETE LANDING PAD
- 13 EXTERIOR METAL DOWNSPOUT/ OVERFLOW, SCUPPER. PAINTED TO MATCH BLDG
- 14 DOCK BUMPER
- 15 INTERIOR ROOF DRAIN & 2 OVERFLOW SCUPPERS

**GENERAL NOTES - ELEVATIONS**

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND UNTELS SHALL BE DESIGNED TO RESIST CITY REQUIRED EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE. I. HIGH PERFORMANCE GLASS. ALL CONCRETE OPENING ARE TO BE PRE-GUARANTEED THAT GLASS CAN BE ORDERED WITHIN 30 DAYS OF START OF GRADING. THIS IS INCLUDE TIME REQUIRED FOR SHOP DRAWING REVIEW. PREFERENCE IS FOR MEDIUM PERFORMANCE GLASS

**COLOR SCHEDULE - ELEVATIONS**

- EXTERIOR CONCRETE WALLS TO HAVE ONE COAT OF PRIMER AND ONE FINISH COAT OF PAINT
- 1 CONCRETE TILT-UP PANEL. PAINT: FRAZZE 001 WHITE
  - 2 CONCRETE TILT-UP PANEL. PAINT: FRAZZE CL3171W SILVER LINING
  - 3 CONCRETE TILT-UP PANEL. PAINT: FRAZZE CL3173W EXCALIBUR
  - 4 CANOPY. COMPOSITE METAL PANEL REINFORCED 500K BRIGHT SILVER METALLIC
  - 5 MULLIONS. COLOR: CLEAR ANODIZED MULLION
  - 6 GLAZING. COLOR: BLUE GLAZING
  - 7 TOP BAND. PAINT: MATCH CLARION CP\_RUST PMS 7522 C; PMS 7599 U; 06598020 1858453 B95435

**GLAZING LEGEND**

- SPANDREL GLASS
- VISION GLASS



hpa, inc.  
18831 bardeen avenue, - sta. #1100  
irvine, ca 92612  
tel: 949-863-1770  
fax: 949-863-0851  
email: hpa@hparchs.com



Owner:  
CLARION PARTNERS



Project:  
Newark  
Gateway Blvd

Newark, CA 94560

Consultants:  
Civil: K & W  
Structural:  
Mechanical:  
Plumbing:  
Electrical:  
Landscape: Vista Parks  
Fire Protection:  
Soils Engineer:

Title: ELEVATIONS

Project Number: 17219  
Drawn by: Y.L.  
Date: 11/08/17  
Revision:

Sheet:  
1-DAB-3.1

EXHIBIT A04

**PROJECT INFORMATION**

**Project Address**  
 BUILDING 1: 7400 GATEWAY BLVD, NEWARK, CA  
 BUILDING 2: 7300 GATEWAY BLVD, NEWARK, CA  
 BUILDING 3: 7200 GATEWAY BLVD, NEWARK, CA

**Owner/Applicant**  
 PANATTONI DEVELOPMENT COMPANY, INC.  
 8775 FOLSOM BLVD, #200 SACRAMENTO,  
 CA 95826  
 PHONE: (916) 378-1127  
 CONTACT: TIMOTHY W. SCHAEFLER

**Assessor's Parcel Number**  
 537-0853-054  
 537-0853-055  
 537-0853-056

**Zoning**  
 MF-1-HIGH-TECHNOLOGY PARK  
 GENERAL PLAN: SPECIAL INDUSTRIAL

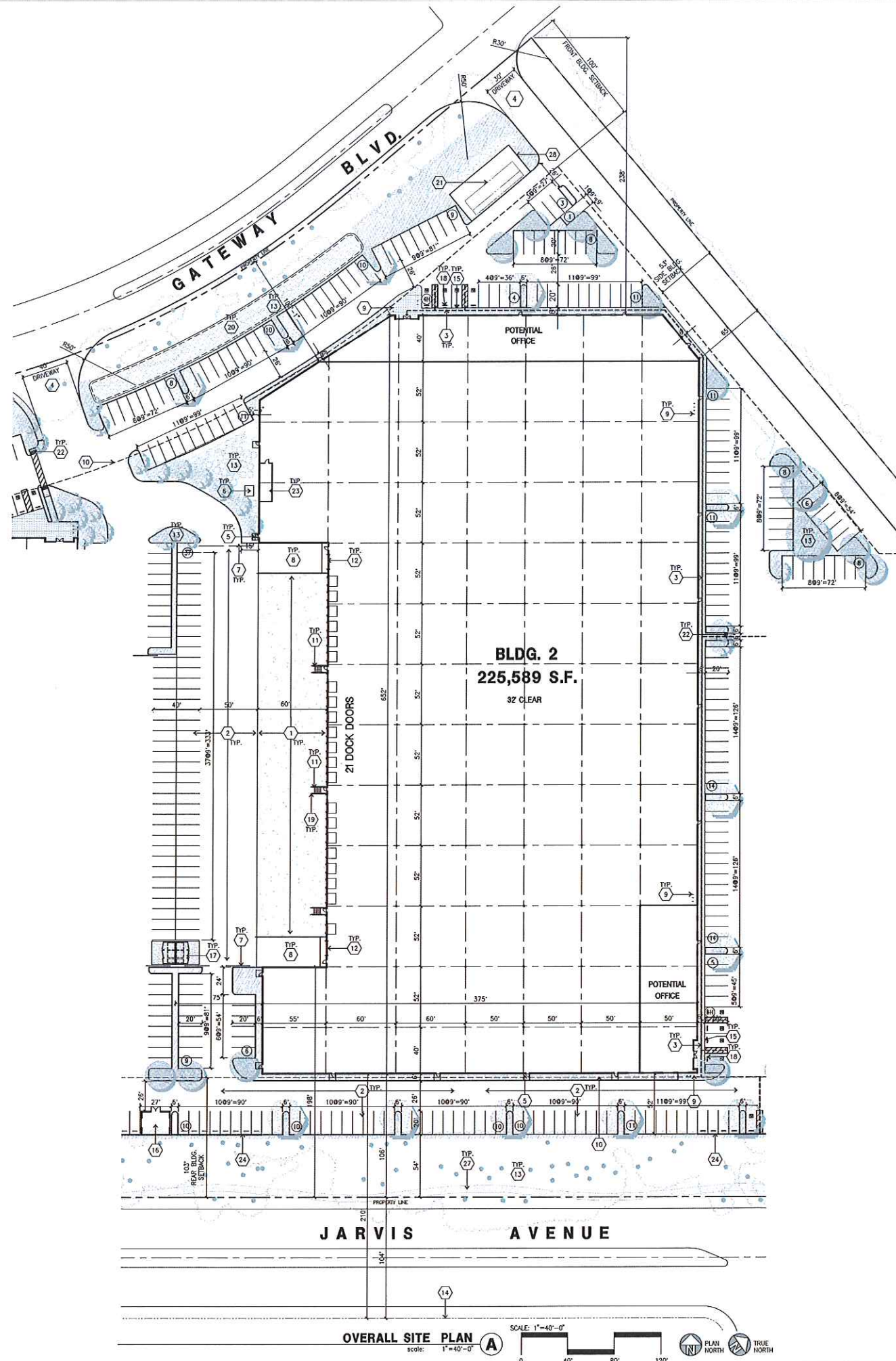
**Legal Description**  
 SEE CIVIL DRAWINGS FOR  
 THE LEGAL DESCRIPTION

**Applicant's Representative**  
 HPA, INC. OAKLAND OFFICE  
 383 4TH STREET, SUITE 101,  
 OAKLAND, CA 94607  
 PHONE: (949) 862-2111

**TABULATION**

SITE AREA	BLDG.1	BLDG.2	BLDG.3	TOTAL
In s.f.				1,006,106 s.f.
In acres				23.10 ac
<b>BUILDING AREA</b>				
Office - 1st floor	5,000	5,000	3,000	13,000 s.f.
Office - 2nd floor	5,000	5,000	3,000	13,000 s.f.
Manufacturing	69,410	141,145	38,364	248,919 s.f.
Warehouse (33% max) footprint	39,113	74,444	21,851	135,408 s.f.
TOTAL	118,523	225,589	66,215	410,327 s.f.
NOTE: Warehouse/Distribution Operations not to exceed 33% of site use				
<b>COVERAGE</b>				39.5%
<b>AUTO PARKING REQUIRED</b>				
Office: 1/200 s.f.	50	50	30	130 stalls
Whse & Mg: 1/1,000 s.f.	109	216	61	386 stalls
TOTAL	159	266	91	516 stalls
<b>AUTO PARKING PROVIDED</b>				
Standard (9' x 20')	165	258	91	514 stalls
Accessible parking (9'x20')	7	8	6	21 stalls
TOTAL	172	266	97	535 stalls
<b>BICYCLE PARKING REQUIRED</b>				
Visitors 5% of autos	9	14	5	28 spaces
Long Term 5% of autos	9	14	5	28 spaces
<b>ZONING ORDINANCE FOR CITY</b>				
MF-1-High-Technology Park General Plan: Special Industrial				
<b>SETBACK MINIMUMS ALLOWED</b>				
Building				
Front - Gateway Blvd. - 100'				
Side - 53'				
Rear - Jarvis Ave. - 103'				
<b>LANDSCAPE REQUIREMENT</b>				25%
Percentage				
<b>LANDSCAPE PROVIDED</b>				25.69%
Landscape area				258,509 s.f.
Percentage				

**VICINITY MAP**



**SITE PLAN KEYNOTES**

- HEAVY BROOM FINISH CONCRETE PAVEMENT.
- ASPHALT CONCRETE.
- CONCRETE WALKWAY, MEDIUM BROOM FINISH
- DRIVEWAY APRONS.
- 5'-6" x 5'-6" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH
- APPROXIMATE LOCATION OF TRANSFORMER TO BE PAINTED GREEN TO MATCH LANDSCAPING
- POTENTIAL FUTURE GATES TO REMAIN OPEN DURING OPERATING HOURS FOR ACCESS TO TRASH ENCLOSURES FOR COLLECTION AS REQUIRED BY REPUBLIC SERVICES CONCRETE RAMP
- CYCLOPS 2170-3 INVERTED U BIKE RACK
- SETBACK MINIMUMS
- EXTERIOR STEEL STAIR.
- 12' X 14' DRIVE-IN DOOR
- LANDSCAPE: ALL LANDSCAPE AREAS INDICATED BY SHADING
- RESIDENTIAL PROPERTY LINE
- HANDICAP PARKING STALL SIGN
- PUMP ROOM, SEE A-D-1
- TRASH ENCLOSURE, SEE A-D-1
- PRE-CAST CONC. WHEEL STOP.
- CONC. FILLED GUARD POST "6 DIA. U.N.O. 42" H
- STORM TREATMENT SEE CIVIL
- EXISTING ELECTRICAL PAD AND EQUIPMENT TO REMAIN
- TRUNCATED DOME SEE CIVIL
- ELECTRICAL ROOM
- POTENTIAL SOUND WALL LOCATION
- EASEMENT, SEE CIVIL
- EXISTING FOUNTAIN AND MOAT
- MEANDERING SIDEWALKS
- EXISTING WALL AROUND EXISTING EQUIPMENT

**SITE PLAN GENERAL NOTES**

- THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY TBD
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM IF REQUIRED.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
- ALL BUILDINGS SHALL HAVE FIRE SPRINKLERS INSTALLED.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND CITY ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMITS.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO THE CITY ENGINEER.
- KNOX BOXES WILL BE INSTALLED FOR ALL LEASE SPACES.
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM THE CITY ENGINEER.
- ALL ROOF MOUNTED EQUIPMENT SHALL BE FULLY SCREENED FROM PUBLIC VIEW BY THE ARCHITECTURAL ELEMENTS OF THE BUILDING (6" HIGH CURB)
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
- WALL HEIGHT INDICATED IS TAKEN FROM THE FINISHED FLOOR OF THE BUILDING

**SITE PLAN GENERAL NOTES**

- CONCRETE PAVING - SEE "C" DRWS. FOR THICKNESS
- STANDARD PARKING STALL 9'-0" X 20'
- HANDICAP PARKING STALL, 9' X 20' + 5' W/ ACCESSIBLE AISLE
- VAN ACCESSIBLE HANDICAP STALL, 12' X 20' + 5' W/ ACCESSIBLE AISLE
- PATH OF TRAVEL
- LANDSCAPE AREAS



hpa, inc.  
 18831 bardeen avenue, - sta. #100  
 Irvine, ca  
 92612  
 tel: 949-863-1770  
 fax: 949-863-0851  
 email: hpa@hpaarch.com



Owner:

CLARION PARTNERS

PANATTONI

Project:  
**Newark Gateway Blvd**

Newark, CA 94560

Consultants:

Civil: K & W  
 Structural:  
 Mechanical:  
 Plumbing:  
 Electrical:  
 Landscape: Veta Parks  
 Fire Protection:  
 Soils Engineer:

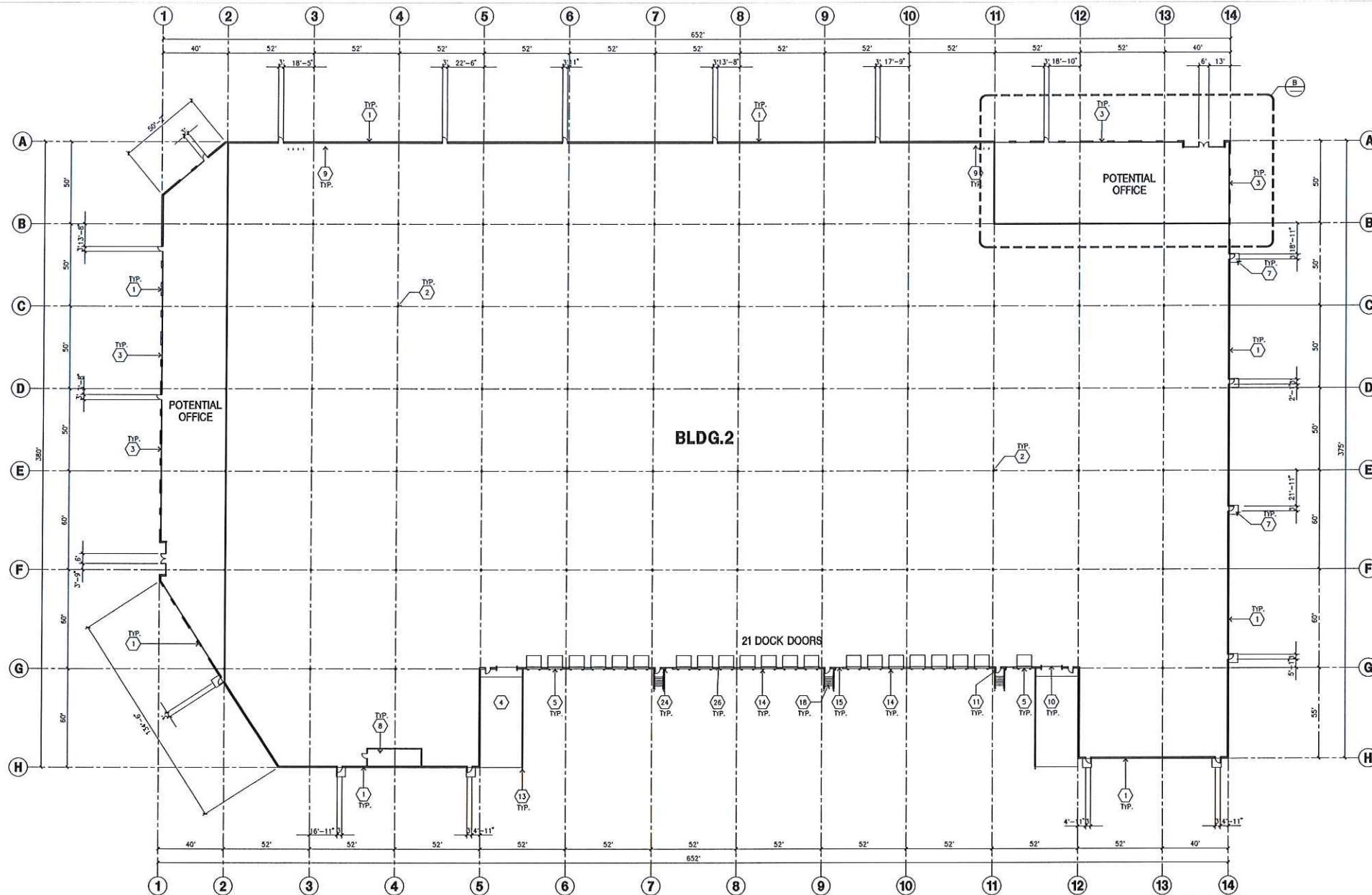
Title: OVERALL SITE PLAN

Project Number: 17219  
 Drawn by: YL  
 Date: 11/08/17  
 Revision:

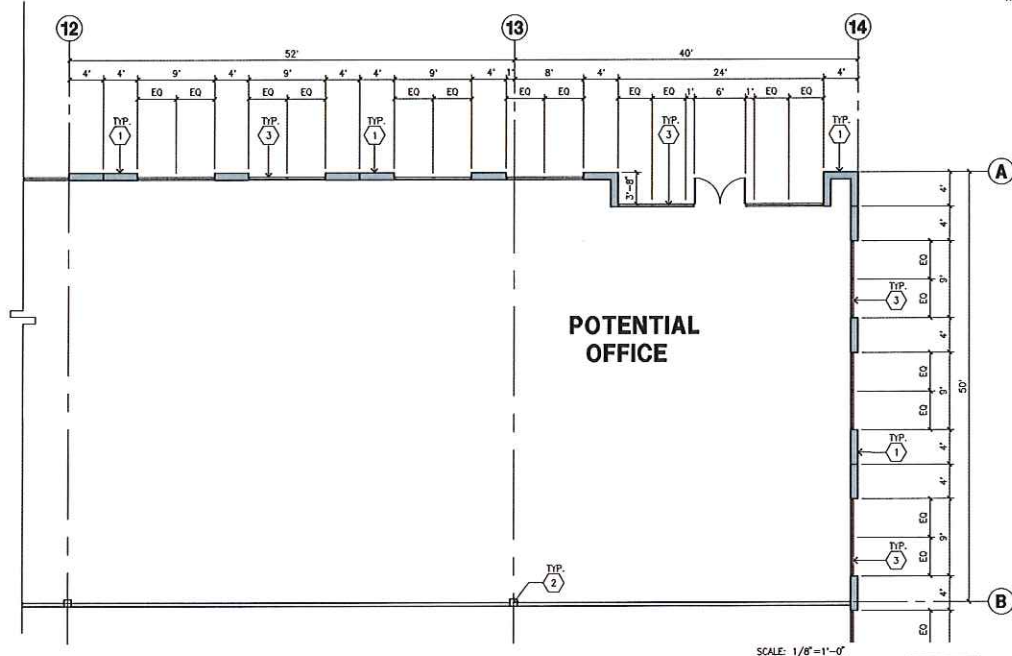
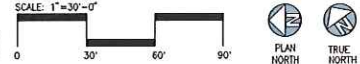
Sheet:

2-DAB-1.1

EXHIBIT A p.5



**OVERALL FLOOR PLAN**  
 scale: 1" = 30'-0"



**ENLARGED FLOOR PLAN**  
 scale: 1/8" = 1'-0"



**KEYNOTES - FLOOR PLAN**

- 1 CONCRETE TILT-UP PANEL. SEE "S" DWGS. FOR THICKNESS AND STEEL REQUIREMENTS.
- 2 STRUCTURAL STEEL COLUMN. SEE "S" DRAWINGS FOR SIZE.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP. SEE "S" DWG FOR DETAIL.
- 5 9'-0" X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE, DESIGNED TO RESIST CITY REQUIRED WIND SPEED, EXPOSURE "C".
- 6 5'-6"x5'-6" CONC. TRUCK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FRESH. SLOPE TO BE 1/4" : 12' MAX.
- 7 ELECTRICAL ROOM
- 8 INTERIOR BIKE RACK
- 9 12' X 14' DRIVE THRU SECTIONAL O.H., STANDARD GRADE, DESIGNED TO RESIST CITY REQUIRED WIND SPEED, EXPOSURE "C".
- 10 3'X7' HOLLOW METAL EXTERIOR MAIN DOOR, DESIGNED TO RESIST CITY REQUIRED WIND SPEED, EXPOSURE "C".
- 11 CONC. FILLED GUARD POST, 6" DIA. U.N.O., 48" H.
- 12 DOCK DOOR BUMPER
- 13 LOWERED OPENING FOR VENTILATION. SEE "M" DWGS
- 14 STEEL STAR
- 15 INTERIOR ROOF DRAIN AND 2 OVERFLOW SCUPPERS. INSTALL CONCRETE BOLLARD PROTECTION AT OPEN AREAS.
- 16 EXTERIOR DOWNSPOUT WITH 2 OVERFLOW SCUPPERS.
- 17 CHEVRON BRACE FRAME, TO BE DETERMINED
- 18 Z GUARD.
- 19 INTERIOR ROOF DRAIN & OVERFLOW DRAIN.

**GENERAL NOTES-FLOOR PLAN**

- A. THIS BUILDING IS DESIGNED FOR HIGH PALE STORAGE WITH FIRE ACCESS MAIN DOORS AT APPROXIMATELY 150'. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. SEE CIVIL FOR BUILDING FLOOR SLOPE
- D. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- E. PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT
- F. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- G. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- H. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAPPERED INCLUDING CARS AND TRUCKS.
- I. ALL MAIN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN.
- J. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.



hpa, inc.  
 18831 bardeen avenue, - ste. #100  
 irvine, ca 92612  
 tel: 949-863-1770  
 fax: 949-863-0851  
 email: hpa@hparchs.com



**Owner:**

**CLARION PARTNERS**



**Project:**  
 Newark  
 Gateway Blvd

Newark, CA 94560

**Consultants:**

- Civil: K&W
- Structural: K&W
- Mechanical: K&W
- Plumbing: K&W
- Electrical: K&W
- Landscaping: Vista Parks
- Fire Protection: K&W
- Soils Engineer: K&W

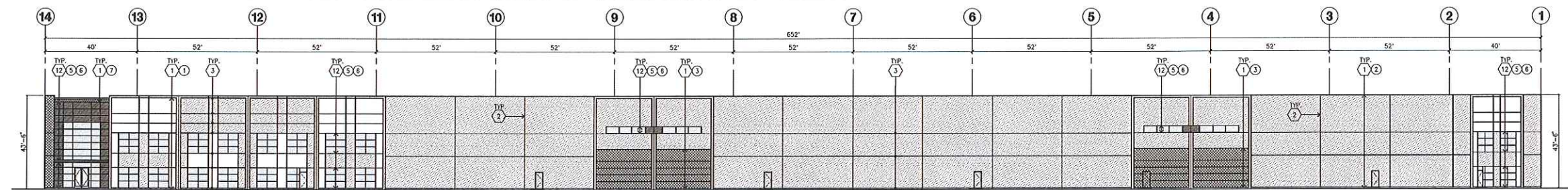
**Title:** OVERALL FLOOR PLAN

**Project Number:** 17219  
**Drawn by:** Y.L.  
**Date:** 11/08/17  
**Revision:**

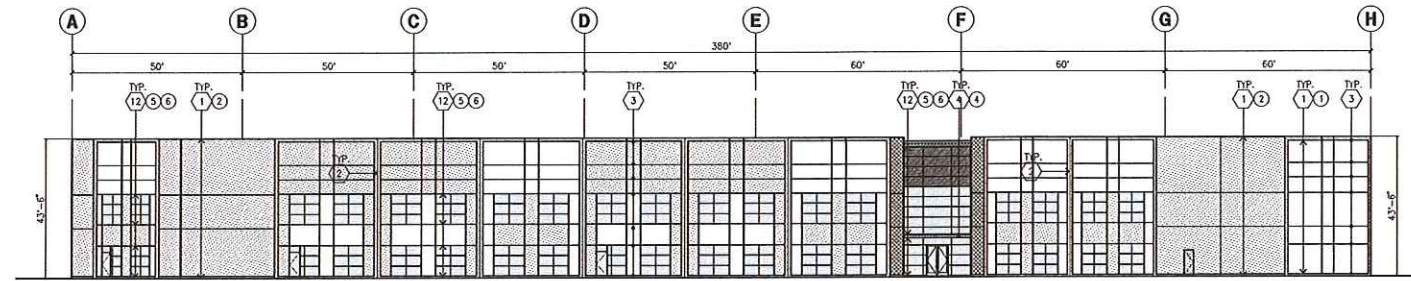
**Sheet:**

**2-DAB-2.1**

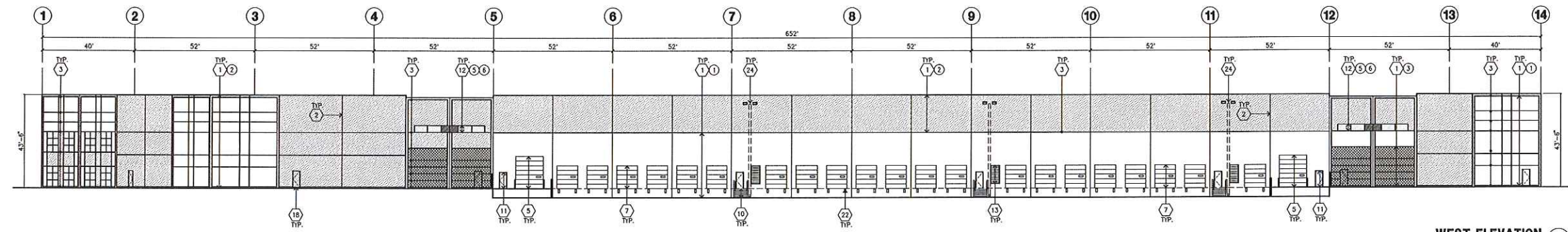
**EXHIBIT A-C**



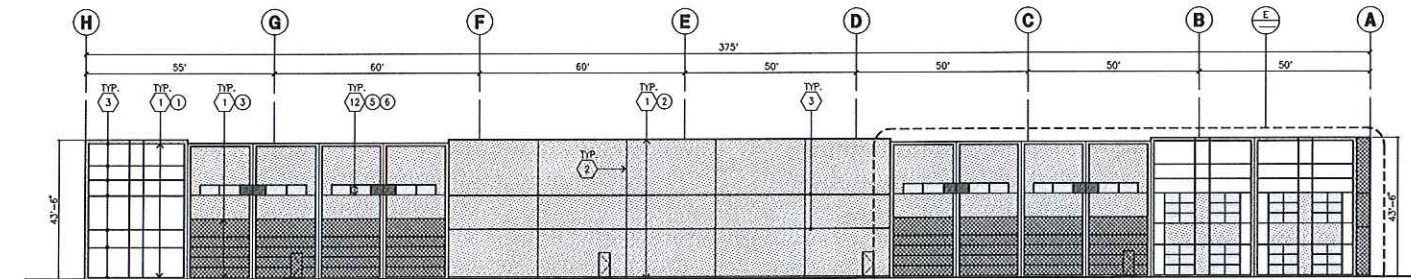
**EAST ELEVATION**  
scale: 1" = 20'-0"



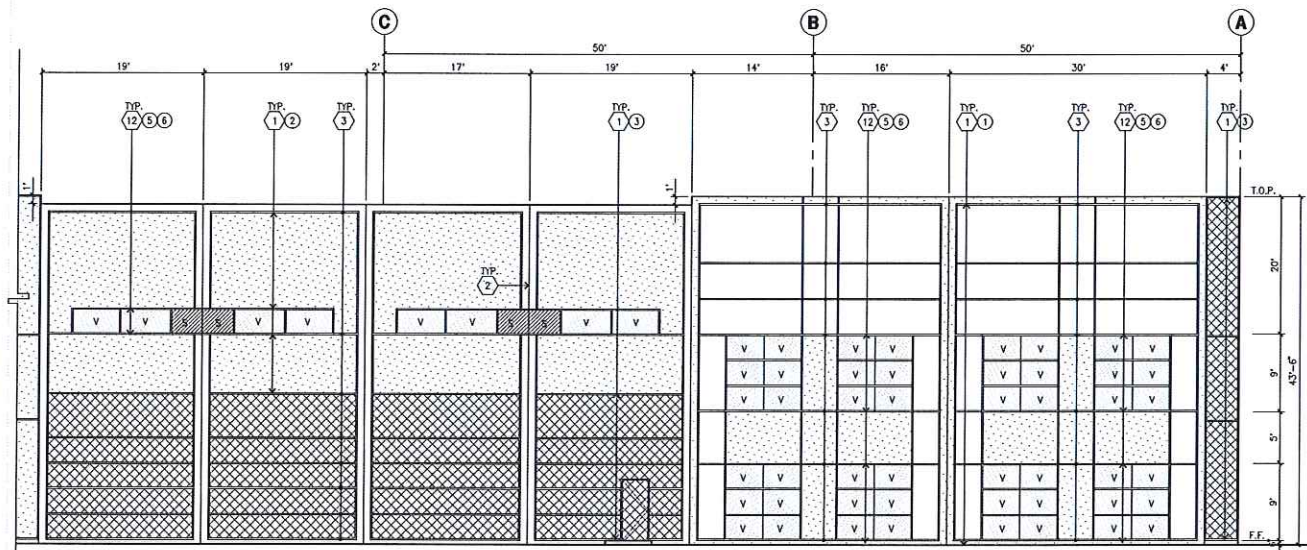
**NORTH ELEVATION**  
scale: 1" = 20'-0"



**WEST ELEVATION**  
scale: 1" = 20'-0"



**SOUTH ELEVATION**  
scale: 1" = 20'-0"



**ENLARGE SOUTH ELEVATION**  
scale: 1/8" = 1'-0"

**KEYNOTES - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL(PAINTED). SEE "S" DRAWINGS. FINISH GRADE MARKS. SEE "C" DRAWINGS. WATERPROOF ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. FRODOE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN. NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS.
- 2 PANEL JOINT
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR.
- 4 METAL CANOPY
- 5 12W X 14H OVERHEAD DOOR @ DRIVE THRU. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. DESIGN TO RESIST CITY REQUIRED WIND EXPOSURE "C"
- 7 OVERHEAD DOOR @ DOCK HIGH. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. DESIGN TO RESIST CITY REQUIRED WIND EXPOSURE "C"
- 10 STEEL STAIR AND METAL PIPE RAILING. PROVIDE NON SKID FINISH TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 11 HOLLOW METAL DOORS TO BE PAINTED TO MATCH BUILDING. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 12 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING. DESIGN TO RESIST CITY REQUIRED WIND EXPOSURE "C"
- 13 4"W. X 8" H METAL LOUVER. PAINT TO MATCH BUILDING COLOR
- 16 5'-6" X 5'-6" CONCRETE LANDING PAD
- 19 EXTERIOR METAL DOWNSPOUT/ OVERFLOW, SCUPPER. PAINTED TO MATCH BLDG
- 22 DOCK BUMPER
- 24 INTERIOR ROOF DRAIN & 2 OVERFLOW SCUPPERS

**GENERAL NOTES - ELEVATIONS**

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL= TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST CITY REQUIRED EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE. HIGH PERFORMANCE GLASS
- L. ALL CONCRETE OPENING ARE TO BE PRE-GUARANTEED THAT GLASS CAN BE ORDERED WITHIN 30 DAYS OF START OF GRADING. THIS IS INCLUDE TIME REQUIRED FOR SHOP DRAWING REVIEW. PREFERENCE IS FOR MEDIUM PERFORMANCE GLASS

**COLOR SCHEDULE - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL. PAINT: FRAZZEE 001 WHITE
- 2 CONCRETE TILT-UP PANEL. PAINT: FRAZZEE CL3171W SILVER LINING
- 3 CONCRETE TILT-UP PANEL. PAINT: FRAZZEE CL3173W EXCALIBUR
- 4 CANOPY. COMPOSITE METAL PANEL KEYNOBOND 500X. BRIGHT SILVER METALLIC. COLOR: CLEAR ANODIZED MULLION
- 5 MULLIONS. COLOR: BLUE GLAZING
- 6 GLAZING. PAINT: MATCH CLARION CP RUST PMS 3592 C, PMS 3599 U 0856920 1856453 895435
- 7 TOP BAND.

**GLAZING LEGEND**

- [Pattern] SPANDREL GLASS
- [Pattern] VISION GLASS



hpa, inc.  
18831 bardeen avenue, - ste. #100  
irvine, ca  
92612  
tel: 949-863-1770  
fax: 949-863-0851  
email: hpa@hparchs.com



Owner:

CLARION PARTNERS

PANATTONI

Project:  
**Newark Gateway Blvd**

Newark, CA 94560

Consultants:

- Civil: K&W
- Structural: K&W
- Mechanical: K&W
- Plumbing: K&W
- Electrical: K&W
- Landscapes: Vista Parks
- Fire Protection: Vista Parks
- Soils Engineer: Vista Parks

Title: **ELEVATIONS**

Project Number: 17219  
Drawn by: Y.L.  
Date: 11/08/17  
Revision:

Sheet:  
**2-DAB-3.1**

**EXHIBIT A-07**

**PROJECT INFORMATION**

**Project Address**  
 BUILDING 1: 7400 GATEWAY BLVD, NEWARK, CA  
 BUILDING 2: 7300 GATEWAY BLVD, NEWARK, CA  
 BUILDING 3: 7200 GATEWAY BLVD, NEWARK, CA

**Assessor's Parcel Number**  
 537-0853-054  
 537-0853-055  
 537-0853-056

**Zoning**  
 MT-1-HIGH-TECHNOLOGY PARK  
 GENERAL PLAN: SPECIAL INDUSTRIAL

**Legal Description**  
 SEE CIVIL DRAWINGS FOR THE LEGAL DESCRIPTION

**Owner/Applicant**  
 PANATTONI DEVELOPMENT COMPANY, INC.  
 8775 FOLSOM BLVD, #200 SACRAMENTO, CA 95826  
 PHONE: (916)-379-1127  
 CONTACT: TIMOTHY W. SCHWEDLER

**Applicant's Representative**  
 HPA, INC. OAKLAND OFFICE  
 383 4TH STREET, SUITE 101, OAKLAND, CA 94607  
 CONTACT: TERESA COODWIN  
 PHONE: (949) 862-2111

**TABULATION**

SITE AREA	BLDG.1	BLDG.2	BLDG.3	TOTAL
In s.f.				1,006,106 s.f.
In acres				23.10 ac
<b>BUILDING AREA</b>				
Office - 1st floor	5,000	5,000	3,000	13,000 s.f.
Office - 2nd floor	5,000	5,000	3,000	13,000 s.f.
Manufacturing	69,410	141,145	38,364	248,919 s.f.
Warehouse (33% max)	39,113	74,444	21,851	135,408 s.f.
Footprint	113,523	220,589	63,215	397,327 s.f.
TOTAL	118,523	225,589	66,215	410,327 s.f.
NOTE: Warehouse/Distribution Operations not to exceed 33% of site use				
<b>COVERAGE</b>				39.5%
<b>AUTO PARKING REQUIRED</b>				
Office: 1/200 s.f.	50	50	30	130 stalls
Whse & Mfg: 1/1,000 s.f.	109	218	61	386 stalls
TOTAL	159	266	91	516 stalls
<b>AUTO PARKING PROVIDED</b>				
Standard (9' x 20')	165	258	91	514 stalls
Accessible parking (9'x20')	7	8	6	21 stalls
TOTAL	172	266	97	535 stalls
<b>BICYCLE PARKING REQUIRED</b>				
Visitors 5% of autos	9	14	5	28 spaces
Long Term 5% of autos	9	14	5	28 spaces
<b>ZONING ORDINANCE FOR CITY</b>				
MT-1-High-Technology Park General Plan: Special Industrial				
<b>SETBACK MINIMUMS ALLOWED</b>				
<i>Building</i>				
Front - Gateway Blvd. - 100'				
Side - 53'				
Rear - Jarvis Ave. - 103'				
<b>LANDSCAPE REQUIREMENT</b>				
Percentage				25%
<b>LANDSCAPE PROVIDED</b>				
Landscape area				258,509 s.f.
Percentage				25.69%

**VICINITY MAP**



**SITE PLAN GENERAL NOTES**

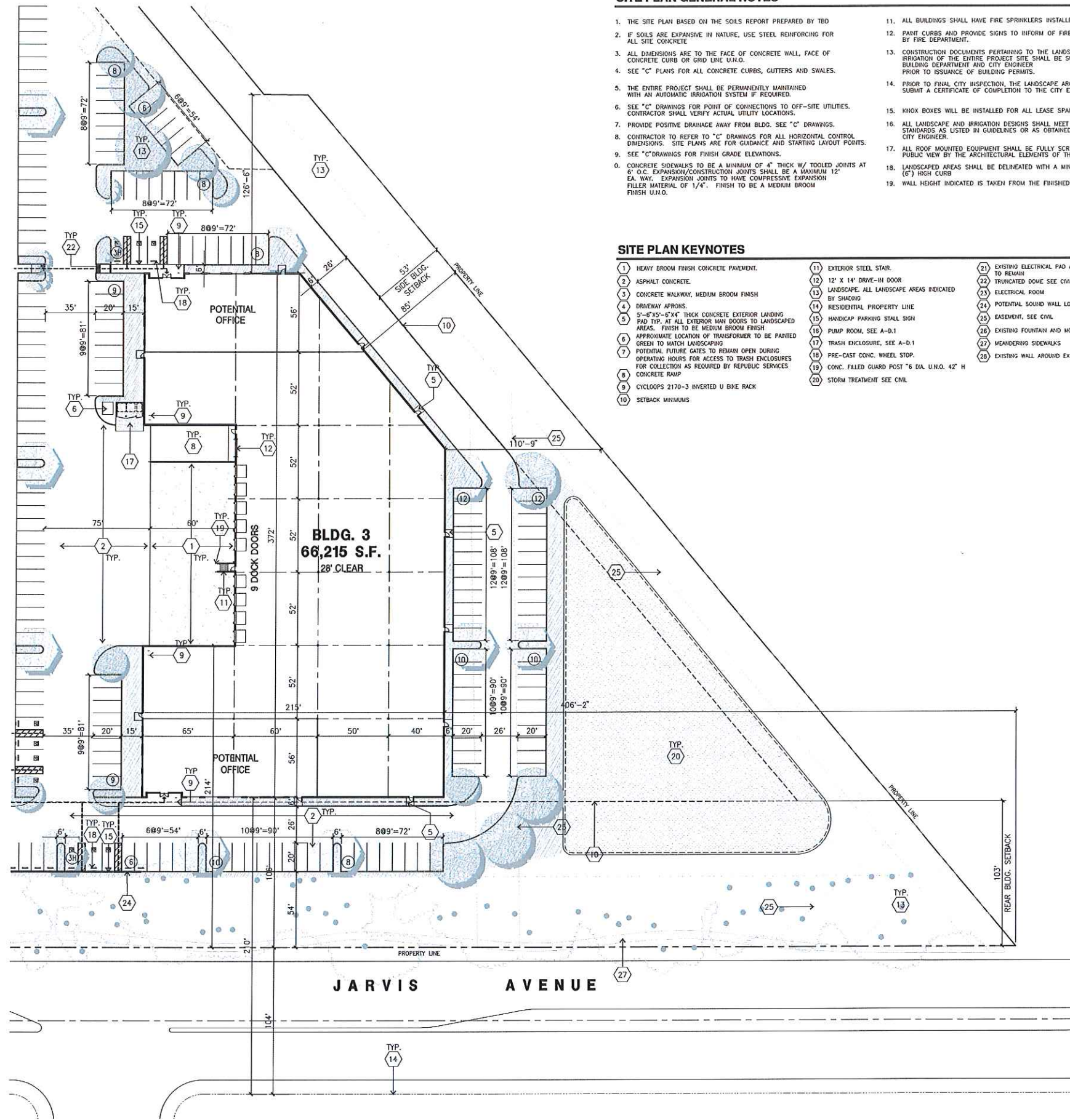
- CONCRETE PAVING - SEE "C" DRWS. FOR THICKNESS
- STANDARD PARKING STALL 9'-0" X 20'
- HANDICAP PARKING STALL 9' X 20' + 5' W/ ACCESSIBLE AISLE
- VAN ACCESSIBLE HANDICAP STALL 12' X 20' + 5' W/ ACCESSIBLE AISLE
- PATH OF TRAVEL
- LANDSCAPE AREAS

**SITE PLAN GENERAL NOTES**

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY TBD
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.A.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM IF REQUIRED.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.A.O.
11. ALL BUILDINGS SHALL HAVE FIRE SPRINKLERS INSTALLED.
12. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
13. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND CITY ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMITS.
14. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO THE CITY ENGINEER.
15. KNOX BOXES WILL BE INSTALLED FOR ALL LEASE SPACES.
16. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM THE CITY ENGINEER.
17. ALL ROOF MOUNTED EQUIPMENT SHALL BE FULLY SCREENED FROM PUBLIC VIEW BY THE ARCHITECTURAL ELEMENTS OF THE BUILDING.
18. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
19. WALL HEIGHT INDICATED IS TAKEN FROM THE FINISHED FLOOR OF THE BUILDING

**SITE PLAN KEYNOTES**

- |  |   |   |
|--|---|---|
| 1. HEAVY BROOM FINISH CONCRETE PAVEMENT.   | 11. EXTERIOR STEEL STAIR.                               | 21. EXISTING ELECTRICAL PAD AND EQUIPMENT TO REMAIN |
| 2. ASPHALT CONCRETE.   | 12. 12' X 14' DRIVE-IN DOOR                             | 22. TRUNCATED DOME SEE CIVIL                        |
| 3. CONCRETE WALKWAY, MEDIUM BROOM FINISH   | 13. LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING | 23. ELECTRICAL ROOM                                 |
| 4. DRIVEWAY APRONS.  | 14. RESIDENTIAL PROPERTY LINE                           | 24. POTENTIAL SOUND WALL LOCATION                   |
| 5. 5'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH | 15. HANDICAP PARKING STALL SIGN                         | 25. EASEMENT, SEE CIVIL                             |
| 6. APPROXIMATE LOCATION OF TRANSFORMER TO BE PAINTED GREEN TO MATCH LANDSCAPING  | 16. PUMP ROOM, SEE A-D-1                                | 26. EXISTING FOUNTAIN AND MOAT                      |
| 7. POTENTIAL FUTURE GATES TO REMAIN OPEN DURING OPERATING HOURS FOR ACCESS TO TRASH ENCLOSURES FOR COLLECTION AS REQUIRED BY REPUBLIC SERVICES | 17. TRASH ENCLOSURE, SEE A-D-1                          | 27. MEANDERING SIDEWALKS                            |
| 8. CONCRETE RAMP   | 18. PRE-CAST CONC. WHEEL STOP.                          | 28. EXISTING WALL AROUND EXISTING EQUIPMENT         |
| 9. CYCLOPS 2170-3 INVERTED U BIKE RACK   | 19. CONC. FILLED GUARD POST 6" DIA. UNO. 42" H          |   |
| 10. SETBACK MINIMUMS   | 20. STORM TREATMENT SEE CIVIL                           |   |



OVERALL SITE PLAN  
 SCALE: 1"=30'-0"  
 0 30' 60' 90'  
 PLAN NORTH TRUE NORTH

**HPA**  
 architecture

hpa, inc.  
 18831 bardeen avenue, - sta. #100  
 irvine, ca  
 92612  
 tel: 949-863-1770  
 fax: 949-863-0851  
 email: hpa@hparchs.com

REGISTERED ARCHITECT  
 LONG BEACH  
 C-29451  
 3-31-19  
 RENEWAL DATE

Owner:  
 CLARION PARTNERS  
 PANATTONI

Project:  
 Newark Gateway Blvd  
 Newark, CA 94560

Consultants:  
 Civil: K & W  
 Structural:  
 Mechanical:  
 Plumbing:  
 Electrical:  
 Landscape: Vista Parks  
 Fire Protection:  
 Soils Engineer:

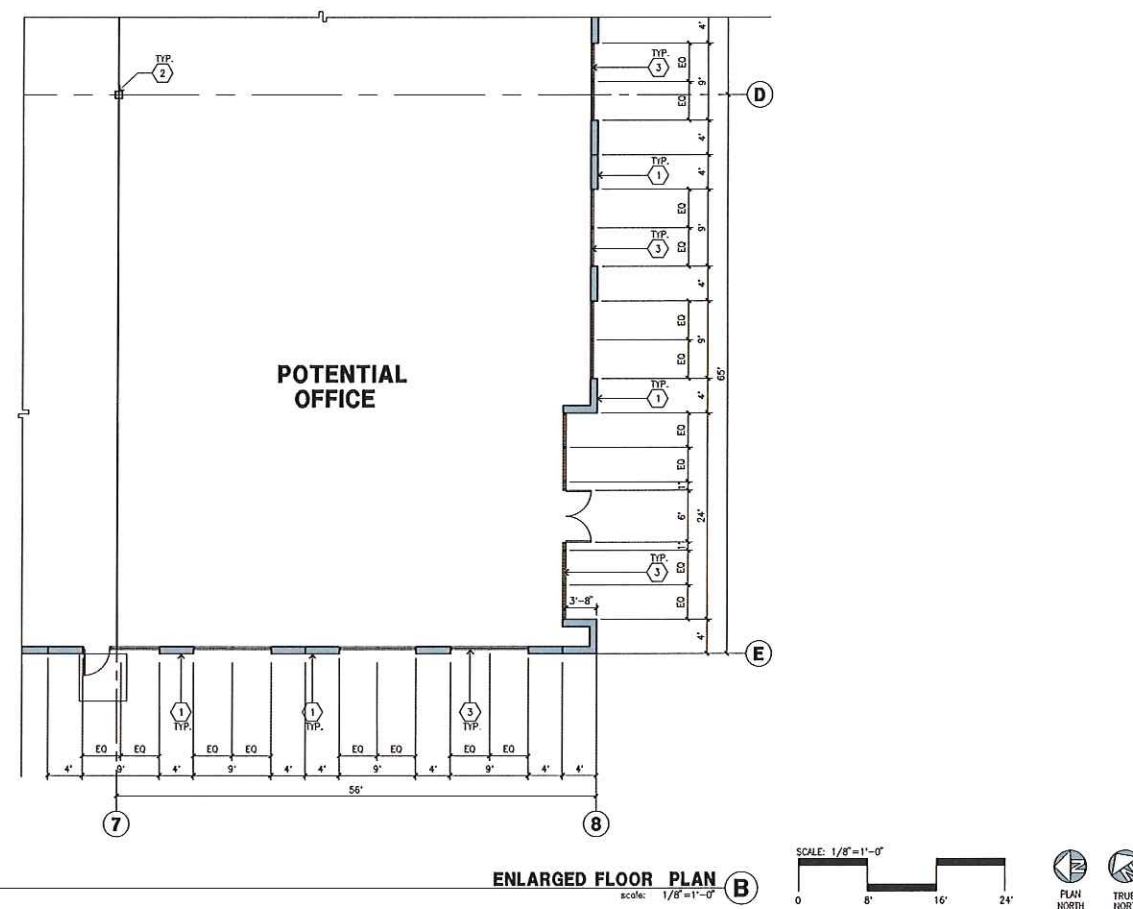
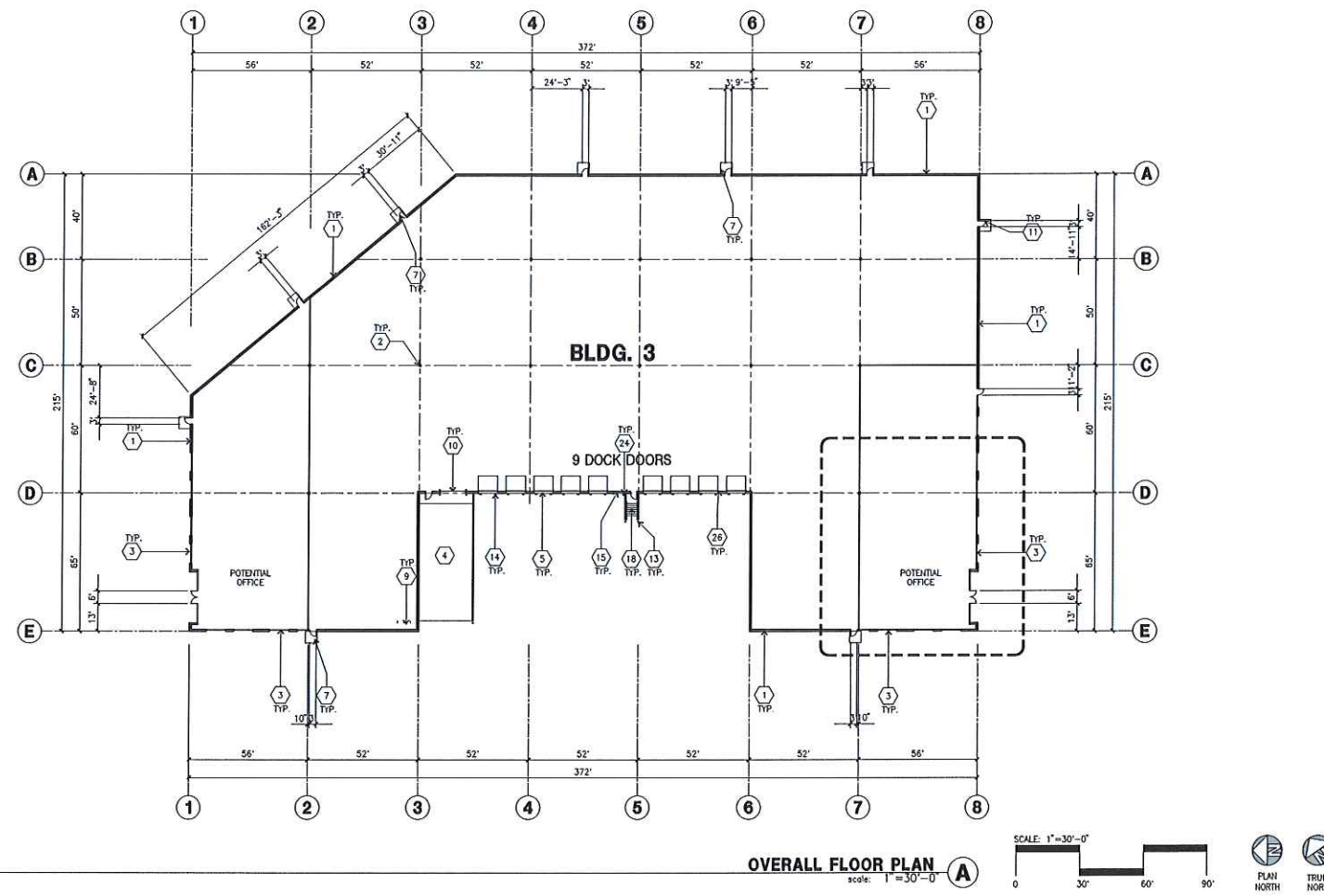
Title: OVERALL SITE PLAN

Project Number: 17219  
 Drawn by: Y.L.  
 Date: 11/08/17  
 Revision:

Sheet:  
 3-DAB-1.1

EXHIBIT A08





**KEYNOTES - FLOOR PLAN**

- 1 CONCRETE TILT-UP PANEL. SEE "S" DWGS. FOR THICKNESS AND STEEL REQUIREMENTS.
- 2 STRUCTURAL STEEL COLUMN. SEE "S" DRAWINGS FOR SIZE.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP. SEE "S" DWG FOR DETAIL.
- 5 9'-0" X 10' TRUCK DOOR. SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED, EXPOSURE "C".
- 6 5'-0" X 5'-0" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12' MAX.
- 7 ELECTRICAL ROOM
- 8 INTERIOR BIKE RACK
- 9 12" X 14" DRIVE THRU. SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED, EXPOSURE "C".
- 10 32" HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST CITY REQUIRED WIND SPEED, EXPOSURE "C".
- 11 CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 48"H.
- 12 DOCK DOOR BUMPER
- 13 LOUVERED OPENING FOR VENTILATION. SEE "M" DWGS
- 14 STEEL STAIR
- 15 INTERIOR ROOF DRAIN AND 2 OVERFLOW SCUPPERS. INSTALL CONCRETE BOLLARD PROTECTION AT OPEN AREAS.
- 16 EXTERIOR DOWNSPOUT WITH 2 OVERFLOW SCUPPERS.
- 17 CHEVRON BRACE FRAME. TO BE DETERMINED
- 18 2 GUARD.
- 19 INTERIOR ROOF DRAIN & OVERFLOW DRAIN.

**GENERAL NOTES-FLOOR PLAN**

- A. THIS BUILDING IS DESIGNED FOR HIGH FILE STORAGE WITH FIRE ACCESS MAN DOORS AT APPROXIMATELY 100'. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. SEE CIVIL FOR BUILDING FLOOR SLOPE.
- D. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- E. PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.
- F. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- G. SEE CIVIL DRAWINGS FOR FOOT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- H. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE ENRAGED INCLUDING CARS AND TRUCKS.
- I. ALL MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN.
- J. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.



hpa, inc.  
 18831 bardeen avenue, - ste. #100  
 irvine, ca  
 92612  
 tel: 949-863-1770  
 fax: 949-863-0651  
 email: hpa@hparchs.com



Owner:

CLARION PARTNERS



Project:  
**Newark Gateway Blvd**

Newark, CA 94560

Consultants:

Civil: K&W  
 Structural:  
 Mechanical:  
 Plumbing:  
 Electrical:  
 Landscape: Vista Parks  
 Fire Protection:  
 Soils Engineer:

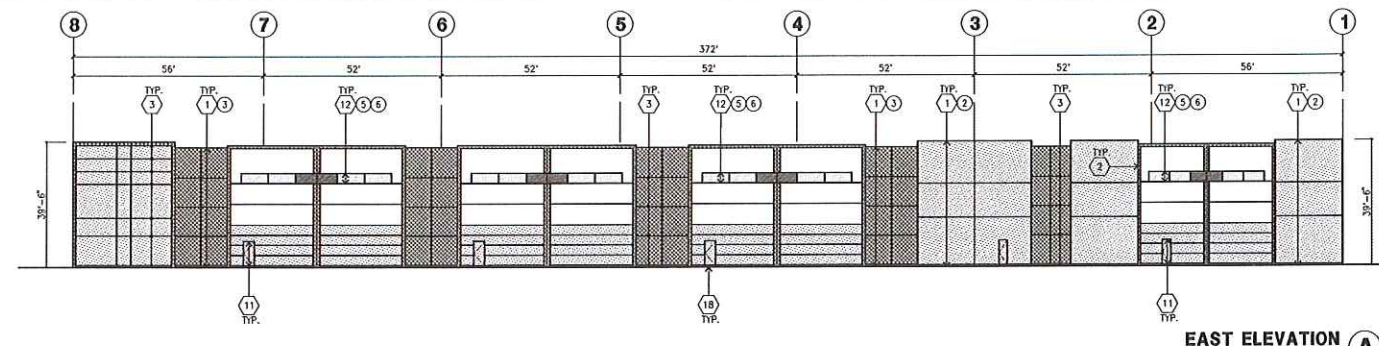
Title: **OVERALL FLOOR PLAN**

Project Number: 17219  
 Drawn by: Y.L.  
 Date: 11/08/17  
 Revision:

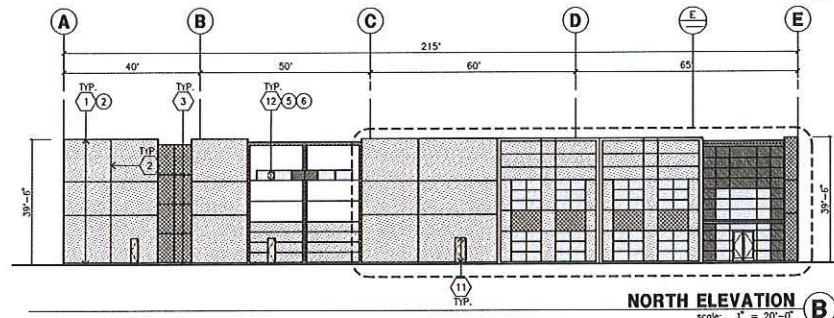
Sheet:

**3-DAB-2.1**

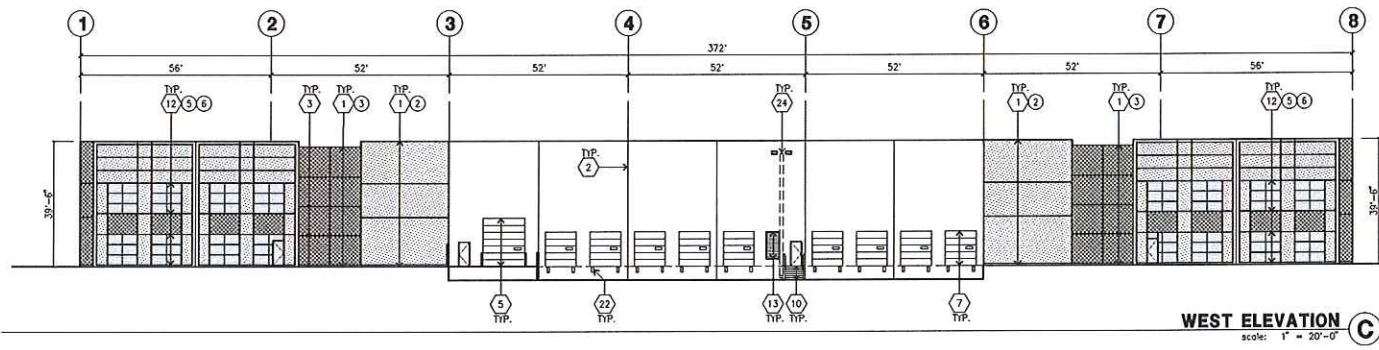
**EXHIBIT App**



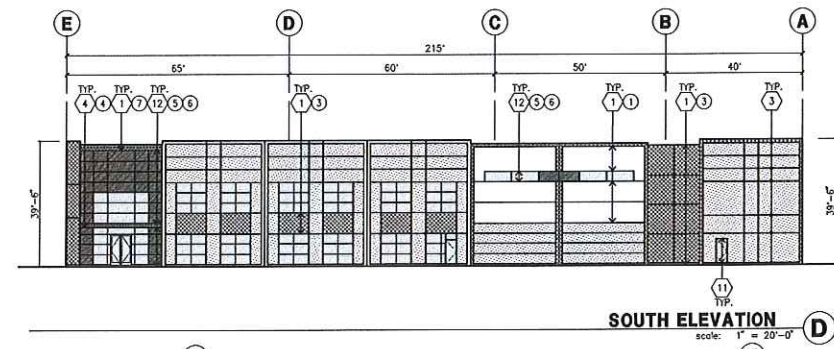
**EAST ELEVATION**  
scale: 1" = 20'-0"



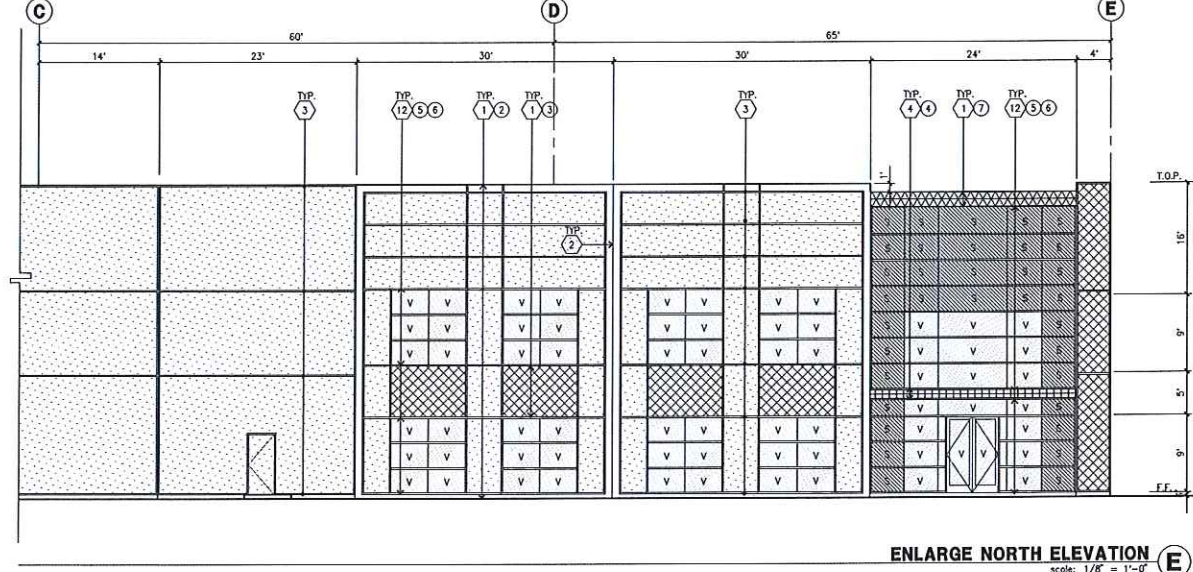
**NORTH ELEVATION**  
scale: 1" = 20'-0"



**WEST ELEVATION**  
scale: 1" = 20'-0"



**SOUTH ELEVATION**  
scale: 1" = 20'-0"



**ENLARGE NORTH ELEVATION**  
scale: 1/8" = 1'-0"

**KEYNOTES - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL(PAINTED). SEE "S" DRAWINGS. FINISH GRADE VARIES. SEE "C" DRAWINGS. WATERPROOF ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN. NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS.
- 2 PANEL JOINT
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR.
- 4 METAL CANOPY
- 5 12"W X 14"H OVERHEAD DOOR @ DRIVE THRU. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. DESIGN TO RESIST CITY REQUIRED WIND EXPOSURE "C"
- 6 OVERHEAD DOOR @ DOCK HIGH. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. DESIGN TO RESIST CITY REQUIRED WIND EXPOSURE "C"
- 10 STEEL STAR AND METAL PIPE RAILING. PROVIDE NON SKID NOSE TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 11 HOLLOW METAL DOORS TO BE PAINTED TO MATCH BUILDING. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 12 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING DESIGN TO RESIST CITY REQUIRED WIND EXPOSURE "C"
- 13 4"W X 8" H METAL LOUVER. PAINT TO MATCH BUILDING COLOR
- 18 5'-6" X 5'-6" CONCRETE LANDING PAD
- 19 EXTERIOR METAL DOWNSPOUT/ OVERFLOW, SCUPPER PAINTED TO MATCH BLD'G
- 22 DOCK BUMPER
- 24 INTERIOR ROOF DRAIN & 2 OVERFLOW SCUPPERS

**GENERAL NOTES - ELEVATIONS**

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND UNITS SHALL BE DESIGNED TO RESIST CITY REQUIRED EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- I. HIGH PERFORMANCE GLASS  
ALL CONCRETE OPENING ARE TO BE PRE-GUARANTEED THAT GLASS CAN BE ORDERED WITHIN 30 DAYS OF START OF GRADING. THIS IS INCLUDE TIME REQUIRED FOR SHOP DRAWING REVIEW. PREFERENCE IS FOR MEDIUM PERFORMANCE GLASS

**COLOR SCHEDULE - ELEVATIONS**

- EXTERIOR CONCRETE WALLS TO HAVE ONE COAT OF PRIMER AND ONE FINISH COAT OF PAINT
- 1 CONCRETE TILT-UP PANEL. PAINT: FRAZEE 001 WHITE
  - 2 CONCRETE TILT-UP PANEL. PAINT: FRAZEE CL3171W SILVER LINING
  - 3 CONCRETE TILT-UP PANEL. PAINT: FRAZEE CL3173W EXCALIBUR
  - 4 CANOPY. COMPOSITE METAL PANEL SERRAVALLO 300AL BRIGHT SILVER METALLIC
  - 5 MULLIONS. COLOR: CLEAR ANODIZED MULLION
  - 6 GLAZING. COLOR: BLUE GLAZING
  - 7 TOP BAND. PAINT: MATCH CLARION CP RUST PMS 7552 C. PMS 7559 U 0(85)9(8)20 185(8)453 895435

**GLAZING LEGEND**

- SPANDREL GLASS
- VISION GLASS

**HPA**  
architecture

hpa, inc.  
18831 bardeen avenue, - sta. #100  
irvine, ca 92612  
tel: 949-853-1770  
fax: 949-853-0851  
email: hpa@hparchs.com

REGISTERED ARCHITECT  
CALIFORNIA  
C-29451  
3-31-19  
RENEWAL  
DATE

Owner:

CLARION PARTNERS

PANATTONI

Project:

**Newark Gateway Blvd**

Newark, CA 94560

Consultants:

Civil: K & W  
Structural: K & W  
Mechanical: K & W  
Plumbing: K & W  
Electrical: K & W  
Landscape: K & W  
Fire Protection: K & W  
Soils Engineer: K & W

Title: **ELEVATIONS**

Project Number: 17219  
Drawn by: Y.L.  
Date: 11/08/17  
Revision:

Sheet:

**3-DAB-3.1**

**EXHIBIT A p.10**

Owner:

CLARION PARTNERS

PANATTONI

Project:  
**Newark  
Gateway Blvd**

Newark, CA 94560

Consultants:

Civil: K & W  
Structural:  
Mechanical:  
Plumbing:  
Electrical:  
Landscape: Vista Parks  
Fire Protection:  
Soils Engineer:

Title: PUMP ROOM

Project Number: 17219  
Drawn by: Y.L.  
Date: 11/08/17  
Revision:

Sheet:

**A-D.1**

**EXHIBIT** Apr 11

**KEYNOTES - PUMP HOUSE**

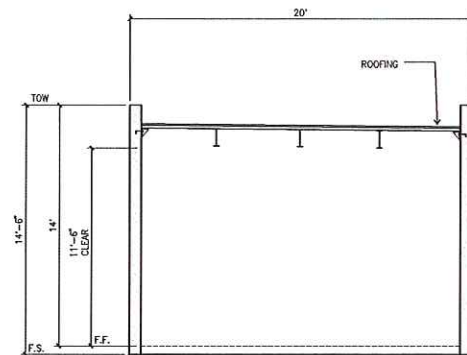
- 1 CONCRETE TILT-UP SCREEN WALL (14) FT. HIGH MIN., PAINTED BOTH SIDES.
- 2 ROOF LINE BEYOND
- 3 PANEL REVEAL PAINTED TO MATCH BUILDING.
- 4 3x7' PAIR OF DOORS

**GENERAL NOTES - PUMP HOUSE**

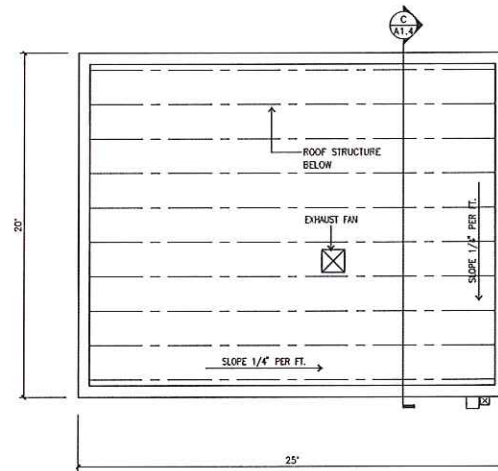
- A. CONTRACTOR TO VERIFY ALL GRADES W/ CURRENT "C" PLAN & VERIFY SITE CONDITIONS. VERIFY ALL TOP OF WALL HEIGHTS(T.O.W.) & FINISH SURFACE GRADES.
- B. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS U.N.O.
- C. T.O.W. = TOP OF WALL ELEVATION
- D. F.F. = FINISH FLOOR
- E. F.S. = FINISH SURFACE
- F. NOTE USED
- G. CONTRACTOR TO VERIFY ALL CIVIL AND STRUCTURAL DRAWINGS FOR PUMP HOUSE HEIGHT. CONTRACTOR TO ADJUST PUMP HOUSE HEIGHT AND FOOTING IN THE FIELD.
- H. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPUNDED-ON
- J. NOT USED
- K. ROOF IS TO BE TYP TO MATCH THE BUILDING OVER SHEATHING OVER ROOF FRAMING, CLASS A ROOF

**COLOR SCHED. - PUMP HOUSE**

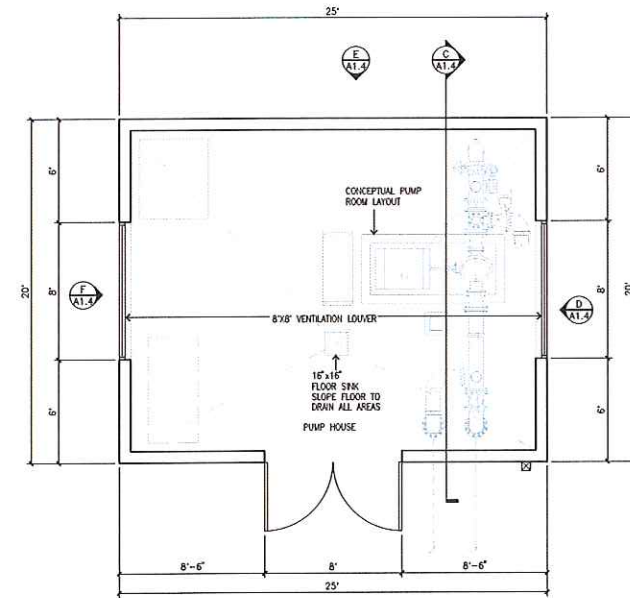
- 1 CONC. TILT-UP PANEL PAINT \_FRAZEE\_001 WHITE
- 2 CONC. TILT-UP PANEL PAINT \_FRAZEE\_CL3171W SILVER LINING
- 3 DOORS PAINT \_FRAZEE\_CL3171W SILVER LINING



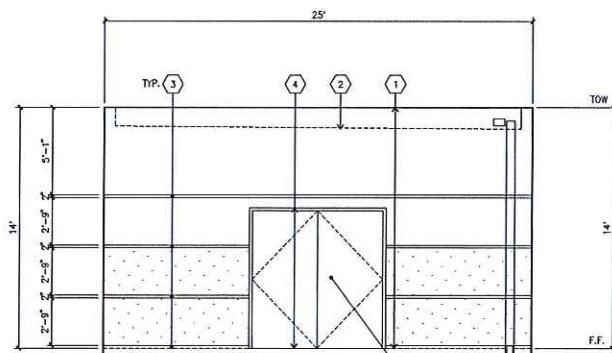
**PUMP HOUSE SECTION C**  
scale: 1/4"=1'-0"



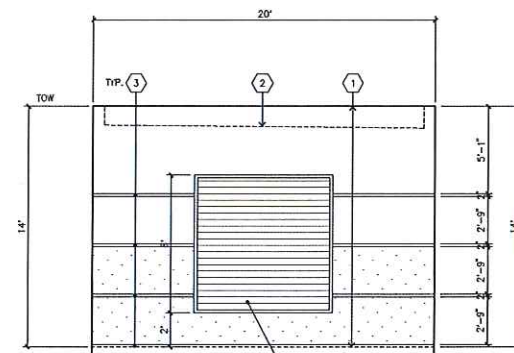
**PUMP HOUSE ROOF PLAN B**  
scale: 1/4"=1'-0"



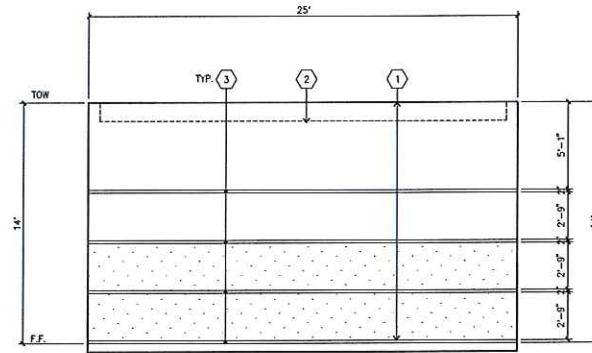
**PUMP HOUSE FLOOR PLAN A**  
scale: 1/4"=1'-0"



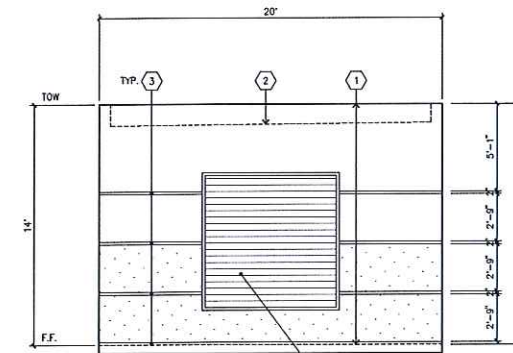
**SOUTH ELEVATION G**  
scale: 1/4"=1'-0"



**WEST ELEVATION F**  
scale: 1/4"=1'-0"



**NORTH ELEVATION E**  
scale: 1/4"=1'-0"



**EAST ELEVATION D**  
scale: 1/4"=1'-0"

Owner:

CLARION PARTNERS

PANATTONI

Project:  
**Newark  
Gateway Blvd**

Newark, CA 94560

Consultants:

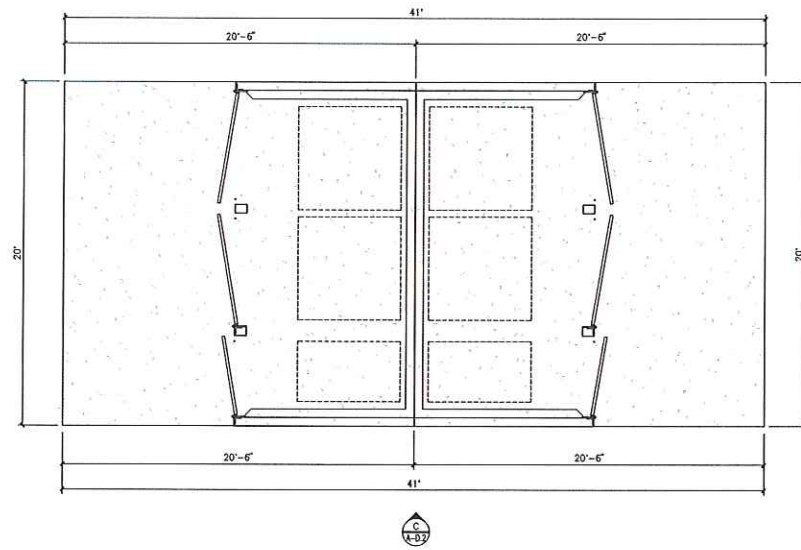
Civil: K&W  
Structural:  
Mechanical:  
Plumbing:  
Electrical:  
Landscapes: Vita Parks  
Fire Protection:  
Soils Engineer:

Title: **TRASH ENCLOSURE  
PLAN & ELEVATION**

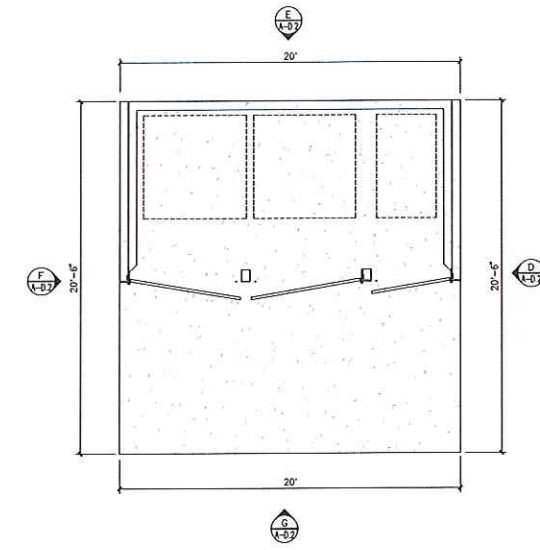
Project Number: 17219  
Drawn by: Y.L.  
Date: 11/08/17  
Revision:

Sheet:

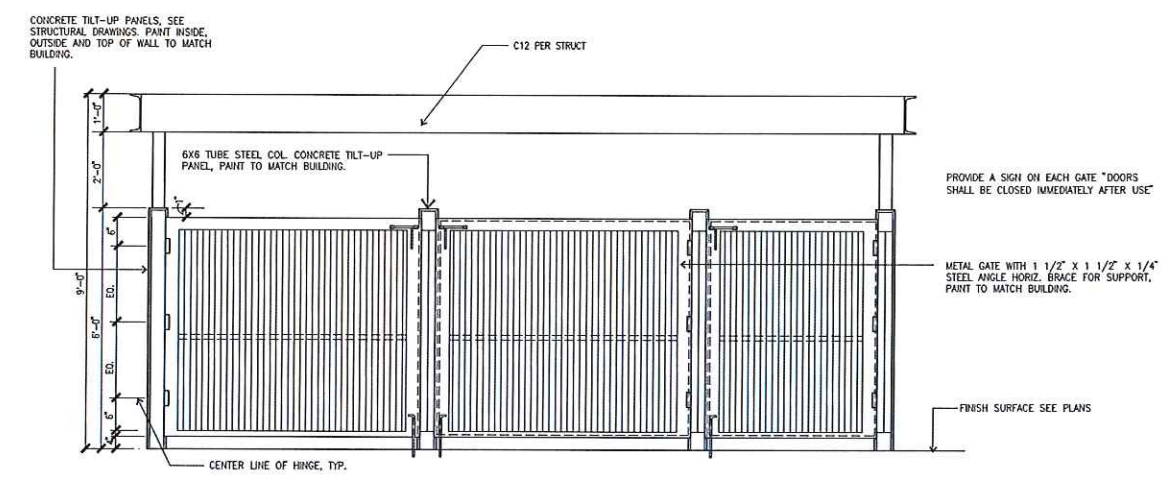
**A-D.2**



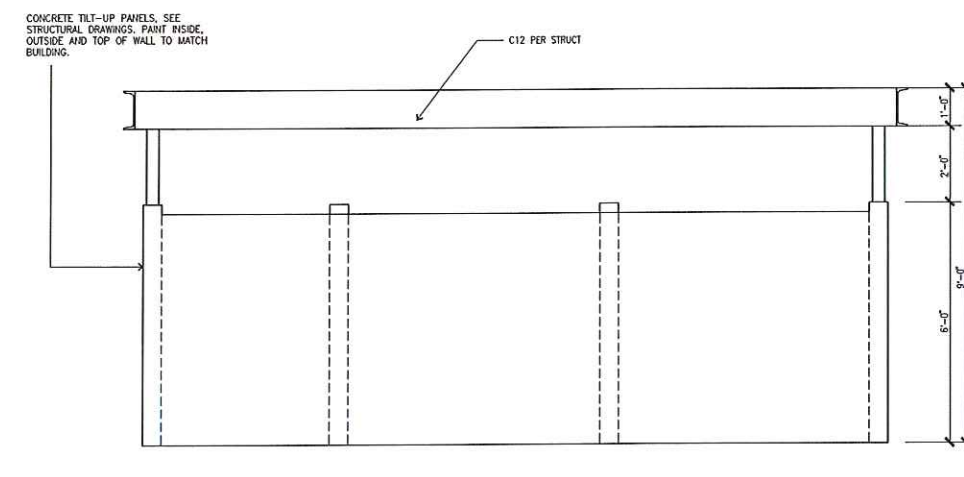
**TRASH ENCLOSURE FLOOR PLAN B**  
scale: 1/4"=1'-0"  
PLAN NORTH



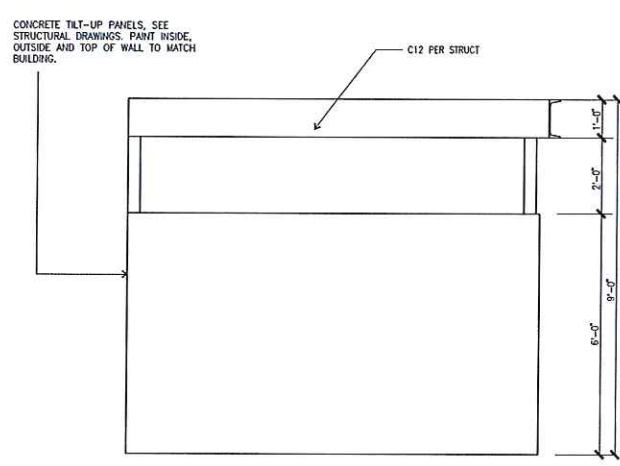
**TRASH ENCLOSURE FLOOR PLAN A**  
scale: 1/4"=1'-0"  
PLAN NORTH



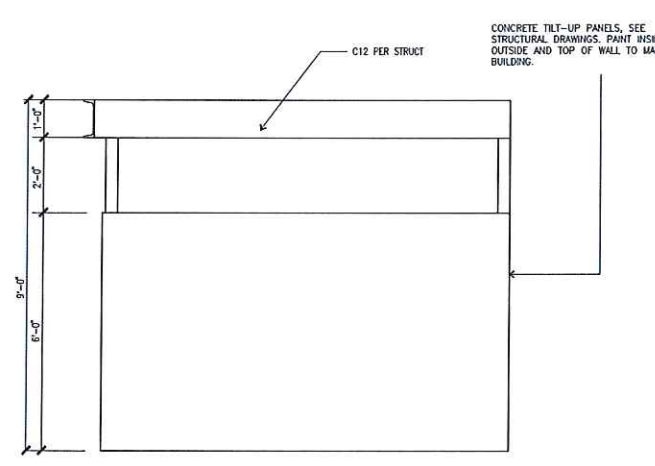
**SOUTH ELEVATION G**  
scale: NTS



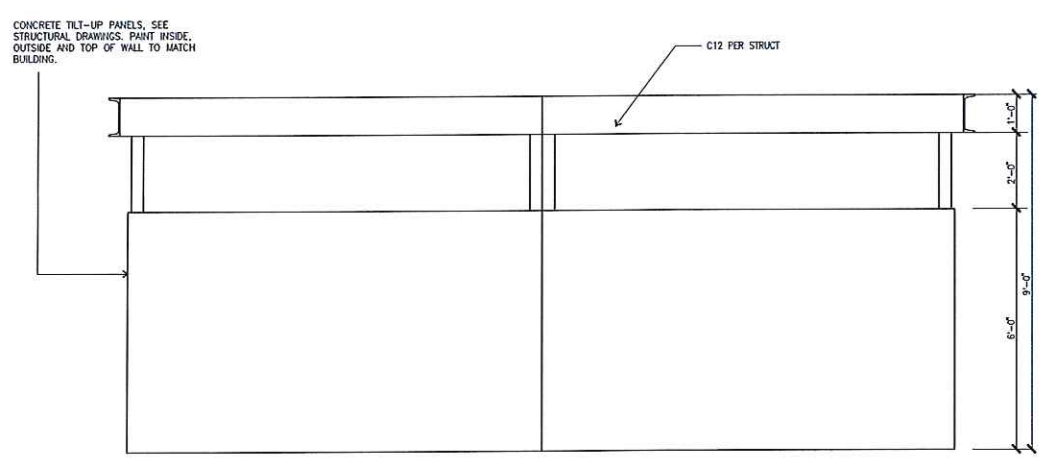
**NORTH ELEVATION E**  
scale: NTS



**WEST ELEVATION F**  
scale: NTS

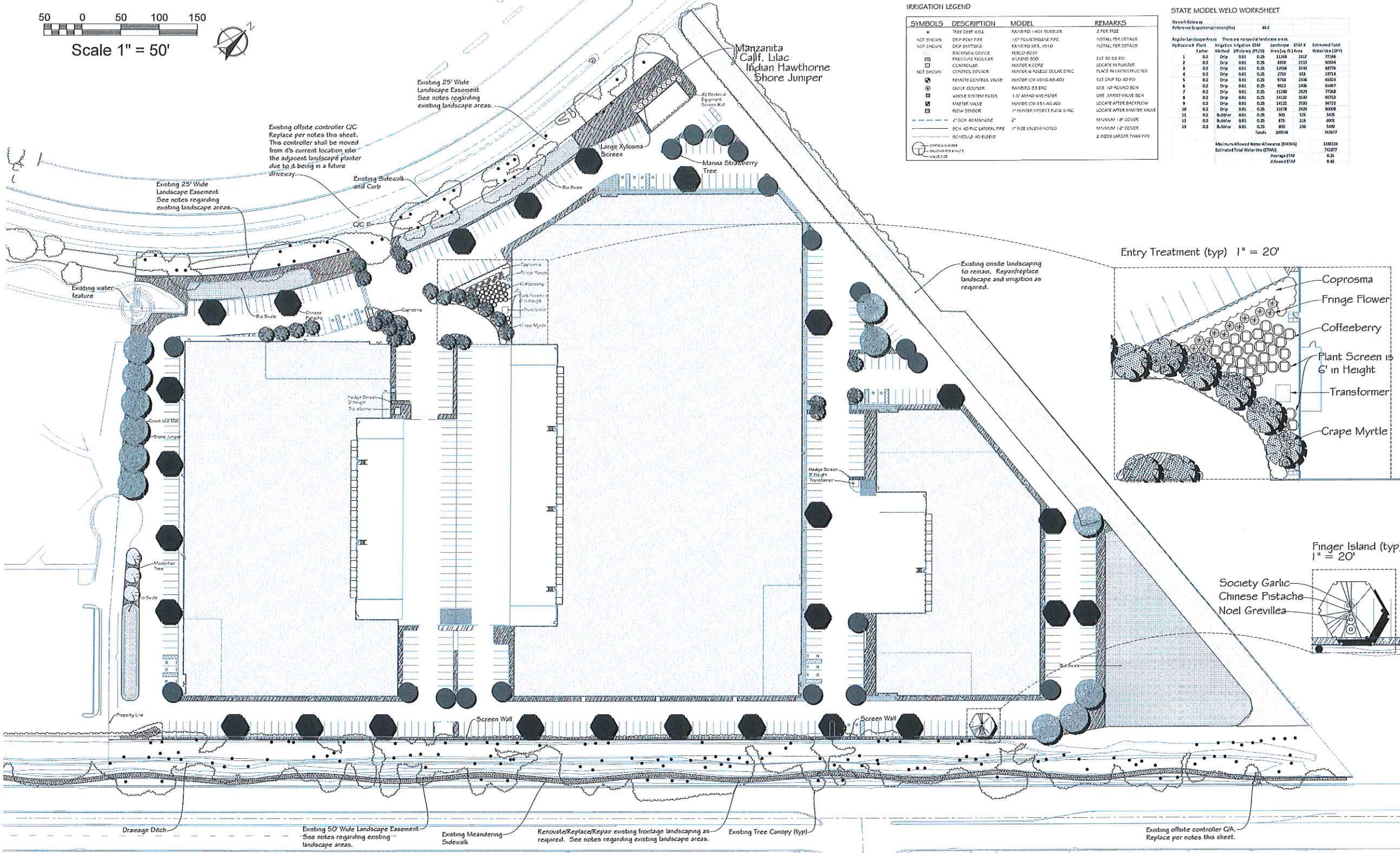
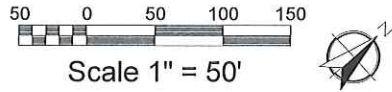


**EAST ELEVATION D**  
scale: NTS



**SOUTH ELEVATION C**  
scale: NTS

**EXHIBIT A-12**



**IRRIGATION LEGEND**

SYMBOLS	DESCRIPTION	MODEL	REMARKS
○	TRIP STOP VALVE	TRAVELER 1-1/2" TRIPSTOP	2 PER TREE
○	NOT SHOWN	1/2" PEX TRIPSTOP	INSTALL PER DETAILS
○	NOT SHOWN	DRIP ENTRY	INSTALL PER DETAILS
○	NOT SHOWN	BACKFLOW DEVICE	PER CODE
○	NOT SHOWN	PRESSURE REDUCER	WHERE NEEDED
○	NOT SHOWN	CONTROL DEVICE	MANUAL W/ COFFEE
○	NOT SHOWN	CONTROL DEVICE	MANUAL W/ KEYS
○	NOT SHOWN	REMOTE CONTROL VALVE	MANUAL W/ KEYS
○	NOT SHOWN	QUICK COUPLER	23" DIA
○	NOT SHOWN	WATER SYSTEM FILTER	1.5" ANNO W/5 FILTER
○	NOT SHOWN	METER VALVE	MANUAL W/ KEYS
○	NOT SHOWN	FLOW SENSOR	1" METER HYPERFLOW FLOW SENS
○	NOT SHOWN	2" SCH 40 MANHOLE	MINIMUM 18" COVER
○	NOT SHOWN	SCH 40 PVC LATERAL PIPE	MINIMUM 12" COVER
○	NOT SHOWN	SCHEDULE 40 SLEEVE	1" SIZE UNLESS NOTED
○	NOT SHOWN	2" SCH 40 MANHOLE	MINIMUM 18" COVER
○	NOT SHOWN	SCH 40 PVC LATERAL PIPE	MINIMUM 12" COVER
○	NOT SHOWN	SCHEDULE 40 SLEEVE	1" SIZE UNLESS NOTED
○	NOT SHOWN	2" SCH 40 MANHOLE	MINIMUM 18" COVER
○	NOT SHOWN	SCH 40 PVC LATERAL PIPE	MINIMUM 12" COVER
○	NOT SHOWN	SCHEDULE 40 SLEEVE	1" SIZE UNLESS NOTED

**STATE MODEL WELO WORKSHEET**

Newark Gateway  
Reference Easement/Restrictions (ft²)

Hydrozone #	Plant Factor	Irrigation Method	ETAP Area (ft²)	ETAP #	Estimated Total Water Use (GPD)
1	0.2	Drip	1108	211	7736
2	0.2	Drip	833	212	6664
3	0.2	Drip	1368	213	10944
4	0.2	Drip	273	63	18714
5	0.2	Drip	774	204	6192
6	0.2	Drip	921	205	7368
7	0.2	Drip	1120	206	8960
8	0.2	Drip	1412	207	11296
9	0.2	Drip	1412	208	11296
10	0.2	Drip	1178	209	9424
11	0.2	Rubbler	300	12	2400
12	0.3	Rubbler	175	218	4095
13	0.3	Rubbler	85	200	2025
					33324
					74297
					0.25
					9.46

Maximum Allowed Water Allowance (MVA) 133324  
Estimated Total Water Use (ETWU) 74297  
Average ETAP 0.25  
Allowed ETAP 9.46

**PRELIMINARY PLANT LEGEND**

**TREES**

BOTANICAL NAME	COMMON NAME	WUCOLS	CONTAINER	QTY	SPACING	MATURE SIZE HxW
Arbutus 'Manna'	Manna Tree	Low	15 Gallon	19	30' OC	30' X 30'
Lagerstroemia 'Dynamite'	Crape Myrtle	Low	24" Box	23	20' OC	20' X 20'
Patocia c. 'Keith Davy'	Chinese Pistache	Low	15 Gallon	26	35' OC	30' X 35'
Ginkgo 'Princeton Sentry'	Maidenhair Tree	Low	24" box	3	25' OC	50' X 20'
Quercus agrifolia	Coast Live Oak	Low	15 Gallon	12	35' OC	45 X 50'
Existing Tree	Vanes-See Arbonst Report					

**SHRUBS**

BOTANICAL NAME	COMMON NAME	WUCOLS	CONTAINER	SPACING	MATURE SIZE HxW
Arctostaphylos H. McMinn	Manzanita	Low	5 Gallon	6' OC	5' X 6'
Ceanothus 'Skyline'	California Lilac	Low	5 Gallon	5' OC	5' X 5'
Grevillea noelii	Noel Grevillea	Low	5 Gallon	5' OC	5' X 5'
Juniper Gold Coast	Gold Coast Juniper	Low	5 Gallon	4' OC	3' X 4'
Loropetalum 'Majestic Purple'	Fringe Flower	Low	5 Gallon	6' OC	5' X 6'
Prunus caroliniana compacta	Dwarf Cherry Laurel	Low	5 Gallon	4' OC	6' X 4'
Raphiolepis l. 'Pink Lady'	Indian Hawthorne	Low	5 Gallon	5' OC	4' X 5'
Rhamnus 'Blue Cascade'	Coffeeberry	Low	5 Gallon	6' OC	5' X 6'
Tulbaghia violacea	Society Garlic	Low	1 Gallon	2' OC	2' X 2'
Xylosma congestum	Xylosma	Low	5 Gallon	10' OC	10' X 10'

**GROUND COVER**

BOTANICAL NAME	COMMON NAME	WUCOLS	CONTAINER	SPACING	MATURE SIZE HxW
Coprosma fr. 'Verde Vista'	NCN	Low	1 Gallon	3' OC	1' X 4'
Juniper c. 'Blue Pacific'	Shore Juniper	Low	1 Gallon	4' OC	1' X 6'
Myoporum pink	NCN	Low	1 Gallon	3' OC	1' X 6'

**BIO SWALE FLOOR**

BOTANICAL NAME	COMMON NAME	WUCOLS	CONTAINER	SPACING	MATURE SIZE HxW
Muhlenbergia rigens	Deer Grass	Low	1 Gallon	4' OC	4' X 4'

Per Alameda Countywide Clean Water Program Technical Guidance Manual Appendix B

**EXISTING LANDSCAPE**

**PRELIMINARY IRRIGATION NOTES**

- IRRIGATION DESIGN SHALL FOLLOW THE CURRENT STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.
- A FULLY AUTOMATIC IRRIGATION SYSTEM THAT MEETS CURRENT WATER EFFICIENT LANDSCAPE ORDINANCE REQUIREMENTS SHALL BE INSTALLED INCLUDING THE FOLLOWING:  
AN ET (SMART) CONTROLLER AND ET SENSOR SHALL BE USED FOR WEATHER BASED IRRIGATION CONTROL.  
A MASTER VALVE AND FLOW SENSOR SHALL BE CONNECTED TO THE CONTROLLER.  
ALL PLANTER AREAS SHALL BE IRRIGATED WITH LOW VOLUME SPOT DRIP IRRIGATION.  
TREES SHALL RECEIVE DEEP WATER/FERTILIZATION TUBES AND DEEP WATER BUBBLERS ON THEIR OWN CONTROL VALVES.
- ALL WELO DOCUMENTATION SHALL BE SUBMITTED WITH LANDSCAPE IMPROVEMENT PLANS (CONSTRUCTION DOCUMENTS).  
IRRIGATION SYSTEM SHALL BE DESIGNED TO MEET OR EXCEED .45 ETAF EFFICIENCY PER WELO REQUIREMENTS.

**NEWARK BAY FRIENDLY LANDSCAPE GUIDE**

- THERE IS NO TURF (Ornate) PROPOSED FOR THIS PROJECT.
- LOW WATER USE TREES, SHRUBS AND GROUND COVER ARE BEING USED IN THE LANDSCAPE DESIGN.
- CONSTRUCTION DRAWINGS SHALL CONTAIN A WATERING SCHEDULE.
- LOW VOLUME IRRIGATION SYSTEM IS PROPOSED FOR THIS PROJECT.
- USE OF SEPARATE VALVES FOR SEPARATE PLANT USES AND WATER REQUIREMENTS.
- CONTROLLERS TO BE SET BETWEEN 10 PM AND 7 AM.
- NO SPRINKLERS ARE PROPOSED.
- A SOILS TEST SHALL BE SUFFLED. RECOMMENDATIONS SHALL BE FOLLOWED. COMPOSTED MATERIAL SHALL BE INCORPORATED AS THE SOIL CONDITIONER.
- ALL PLANTER AREAS SHALL RECEIVE A 3" LAYER OF RECYCLED MULCH.
- A WATER FEATURE IS EXISTING. IT IS BEING REDUCED IN SIZE.

**EXISTING LANDSCAPE NOTES**

- THE EXISTING LANDSCAPE AREAS ALONG GATEWAY BLVD. AND JARVIS AVE. SHALL BE EVALUATED FOR PLANT HEALTH, AND PLANT LOSS, INCLUDING TREES, SHRUBS, GROUND COVER AND TURF. AN ARBORIST REPORT SHALL BE PROVIDED FOR THE EXISTING TREES ALONG GATEWAY BLVD., JARVIS AVE. AND EXISTING ONSITE TREES.
- PLANT RENOVATION MEASURES SHALL INCLUDE DEAD PLANT REMOVAL AND PLANT REPLACEMENT OF LIKE SPECIES, OR WHEN PLANTS TO BE REPLACED ARE HIGH WATER USE, THEY WILL BE REPLACED WITH LOW WATER USE VARIETIES. TURF AREAS SHALL BE RENOVATED WHERE DEAD/DYING TURF IS OBSERVED.
- THE EXISTING IRRIGATION SYSTEMS SHALL BE SURVEYED BY RUNNING THE SYSTEM VIA THE EXISTING IRRIGATION CONTROLLERS IN ALL RELEVANT AREAS.
- CONTROL VALVES AND OTHER SYSTEM INFRASTRUCTURE SHALL BE REPAIRED/REPLACED AS REQUIRED TO BRING THE SYSTEM TO FULL FUNCTIONALITY.
- EXISTING SPRINKLER HEADS SHALL BE ADJUSTED TO PREVENT OVERSPRAY ONTO HARDSCAPE AREAS, AND REPLACED WHEN FAULTY.
- DRIP/BUBBLER SYSTEMS SHALL BE CHECKED AND REPAIRED/REPLACED AS REQUIRED.
- BROKEN IRRIGATION PIPES SHALL BE REPAIRED.
- IRRIGATION CONTROLLERS: C/C CONTROLLER ALONG GATEWAY BLVD. AND C/A CONTROLLER ALONG JARVIS AVE. SHALL BE REPLACED WITH IRRITROL MC-42E (BLUE) CONTROLLERS AND CLIMATE LOGIC WEATHER SENSORS TO BRING THE SYSTEM TO CURRENT WATER EFFICIENT LANDSCAPE ORDINANCE REQUIREMENTS.
- THE EXISTING IRRIGATION SYSTEM INSIDE THE NORTHEAST PROPERTY LINE WILL BE CONNECTED TO THE PROPOSED ONSITE IRRIGATION SYSTEM MAINLINE AND WILL BE CONTROLLED BY THE PROPOSED ONSITE IRRIGATION CONTROLLER.

**HPA architecture**

hpa, inc.  
18831 barden avenue, - sta. #100  
irvine, ca  
92612  
tel: 949-863-1770  
fax: 949-863-0651  
email: hpa@hpaarts.com

**Owner:**

CLARION PARTNERS  
PANATTONI

**VISTA PARKS LANDSCAPE ARCHITECTURE DESIGN BUILD**

854 Bryman Court, Sacramento, CA 95829  
PH: (916) 481-2227 FAX: (916) 481-2208

**Project:**

Newark Gateway Blvd  
Newark, CA 94560

**Consultants:**

Civil: K & W  
Structural:  
Mechanical:  
Plumbing:  
Electrical:  
Landscape: Vista Parks  
Fire Protection:  
Soils Engineer:

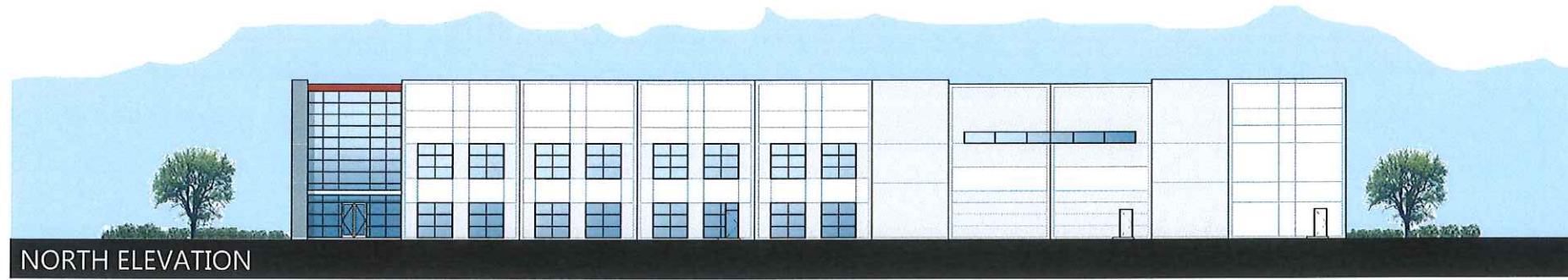
**Title:**

Project Number: 17219  
Drawn by: EJD  
Date: 10/21/17

**Revision:**

Sheet: CONCEPTUAL LANDSCAPE PLAN  
LP

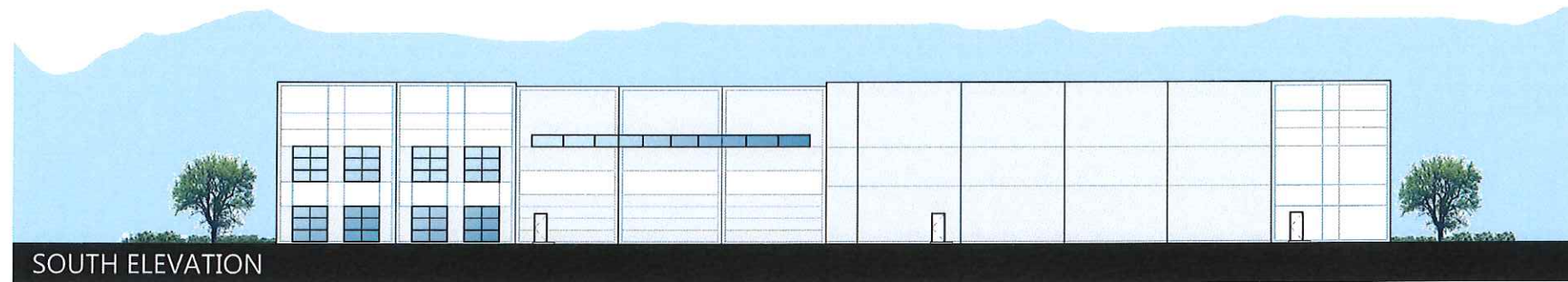
EXHIBIT A13



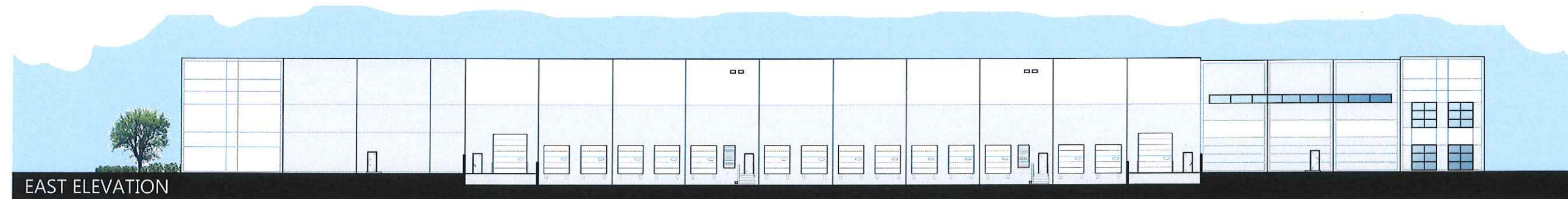
NORTH ELEVATION



WEST ELEVATION



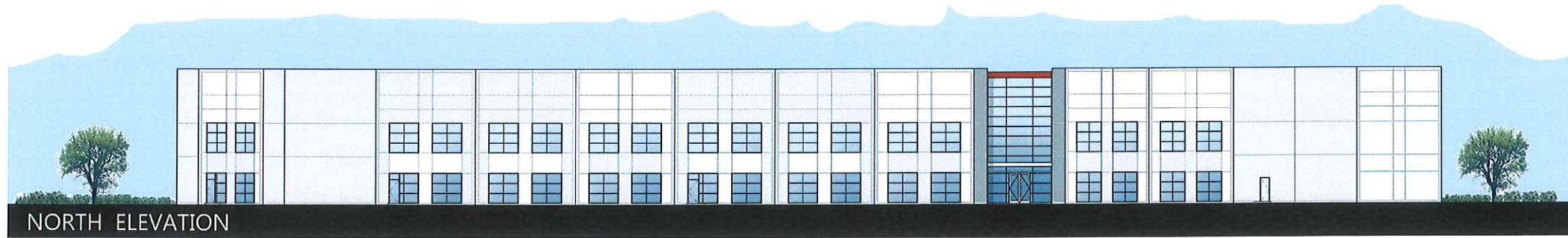
SOUTH ELEVATION



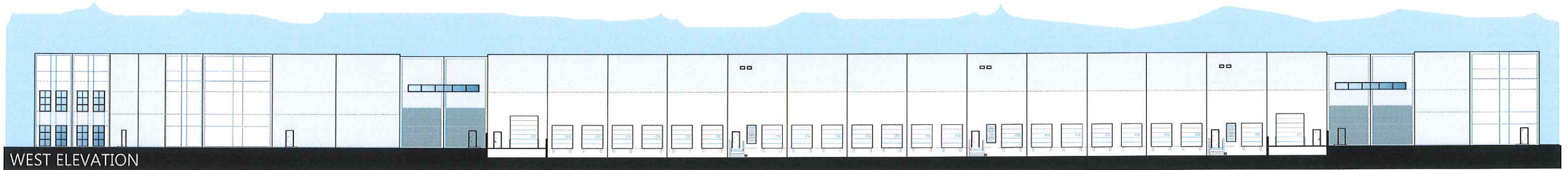
EAST ELEVATION

BLDG. 1  
7200 Gateway Boulevard  
NEWARK, CA

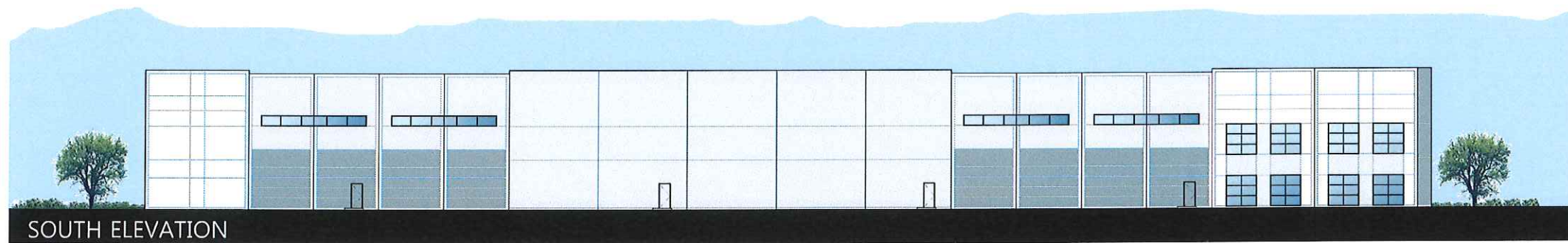




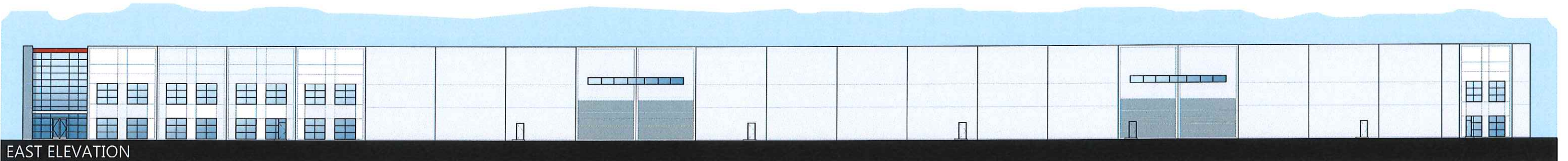
NORTH ELEVATION



WEST ELEVATION



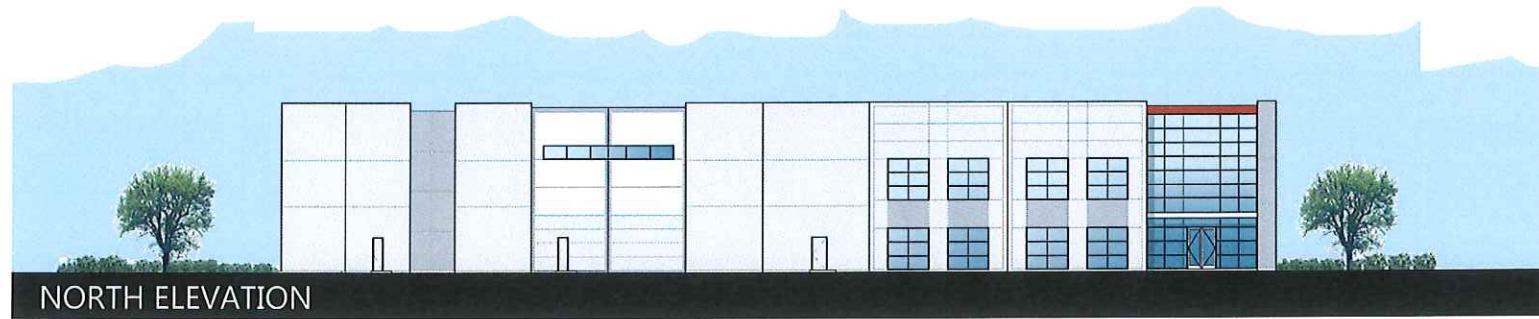
SOUTH ELEVATION



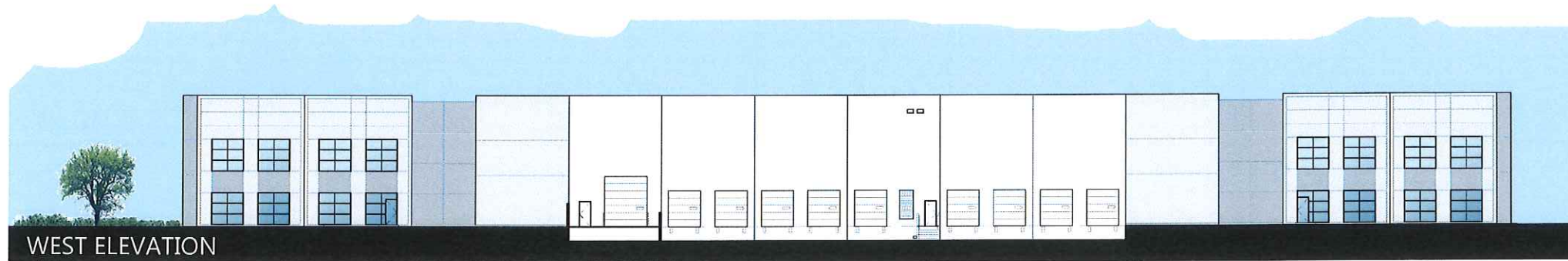
EAST ELEVATION

BLDG. 2  
7300 Gateway Boulevard  
NEWARK, CA





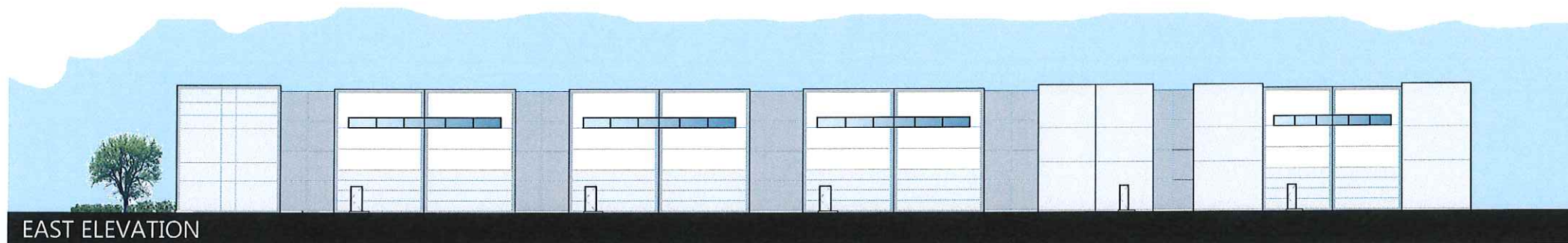
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



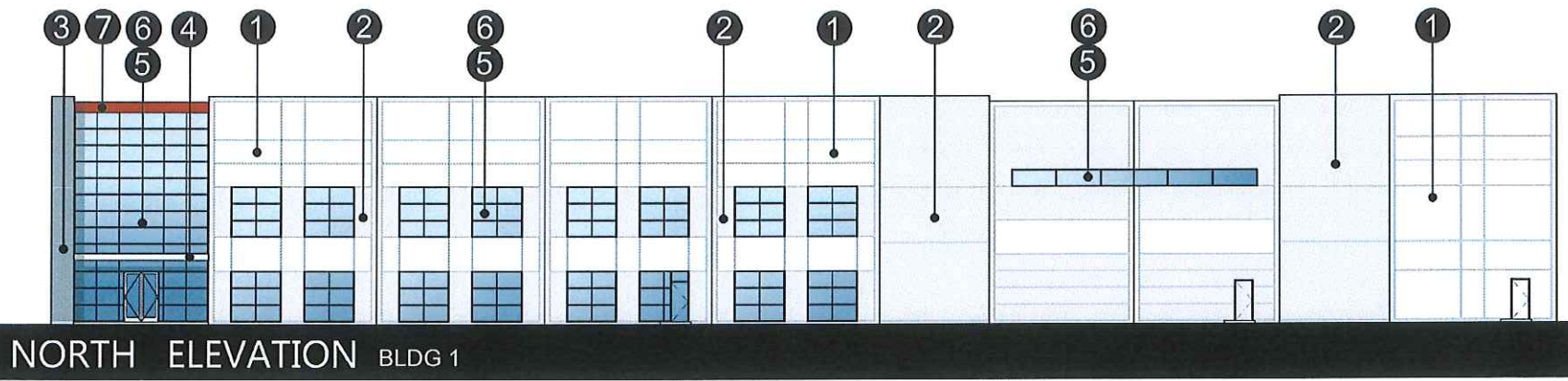
EAST ELEVATION

BLDG. 3  
7400 Gateway Boulevard  
NEWARK, CA

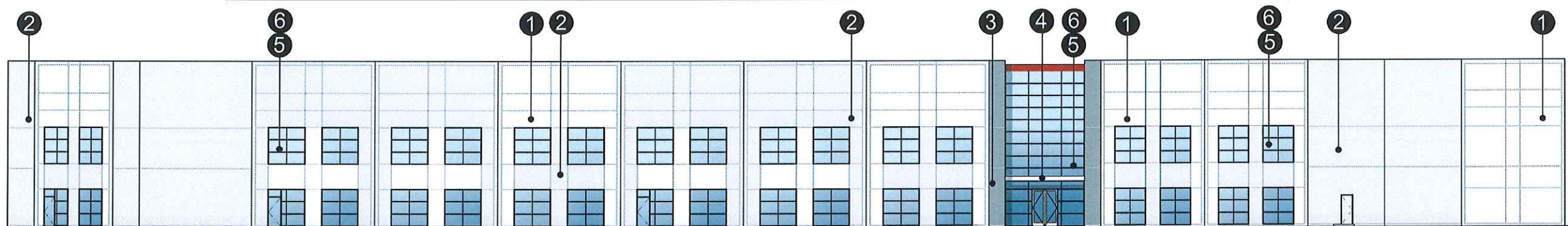
**EXHIBIT** *Ap16*  
PANATTONI®



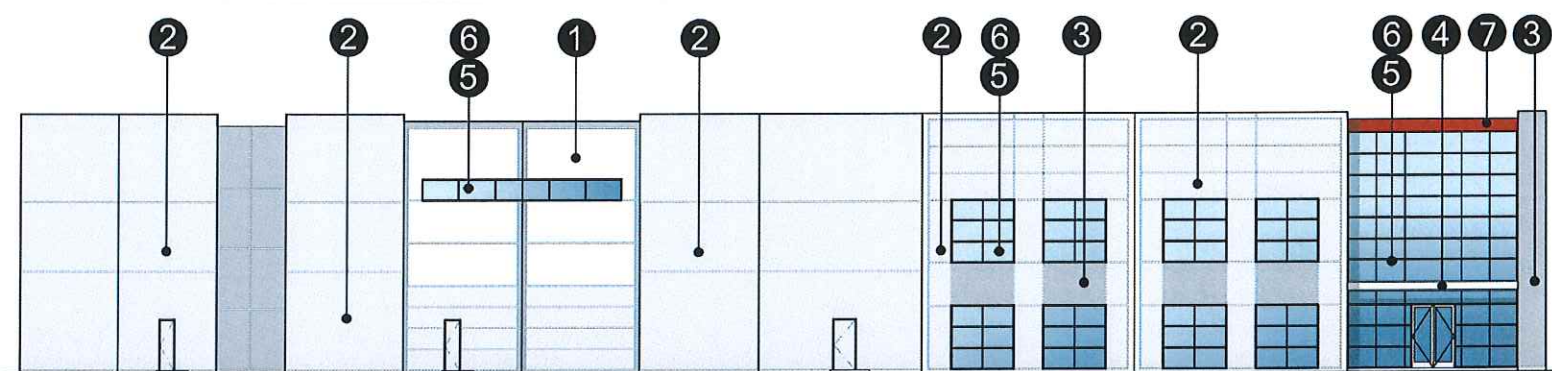




NORTH ELEVATION BLDG 1



NORTH ELEVATION BLDG 2



NORTH ELEVATION BLDG 3



Frazee 001  
White

Frazee CL 3171W  
Silver Lining

Frazee CL 3173W  
Excalibur

Composite Metal Panel  
Reynobond 500XL Bright  
Silver Metallic @ Canopy

Clear Anodized  
Mullion

Blue GLAZING

Clarion CP Rust



# Gateway Boulevard

NEWARK, CA

