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Jason Runyan, Noise Specialist

APPENDIX A

NEWARK GATEWAY MIXED-USE DEVELOPMENT PROJECT PLANS AND DETAILS

NEWARK GATEWAY MIXED-USE DEVELOPMENT

ENTERPRISE DRIVE & WILLOW STREET
NEWARK, GA



OWNER

Tony Bolg
 WillaDevelpers, Inc.
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 San Jose, CA 95128

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 R.roy Design Group
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 Cornerstone Earth Group
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 Giacalone Design Services, Inc.
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 Pleasanton, CA 94598

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ARCHITECTURE

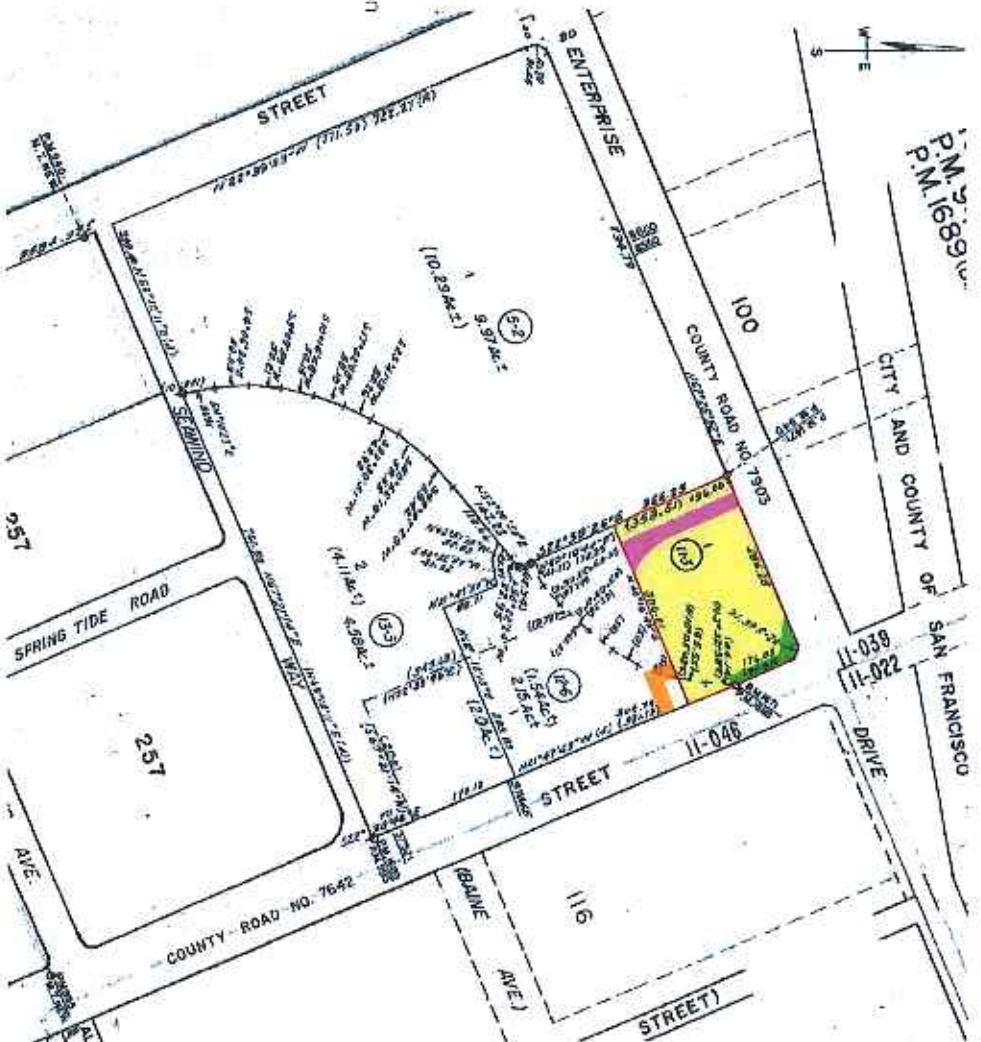
- A1 Title Sheet
- A2 Table of Contents
- A3 Architecture Site Plan
- A4 Ground Floor Plan
- A5 Parking L2 Plan
- A6 3rd Floor Plan
- A7 4th Floor Plan
- A8 5th Floor Plan
- A9 Building Section Diagram
- A10 Willow Street & Enterprise Drive Elevation
- A11 Right & Rear Elevators
- A12 Exterior Rendering

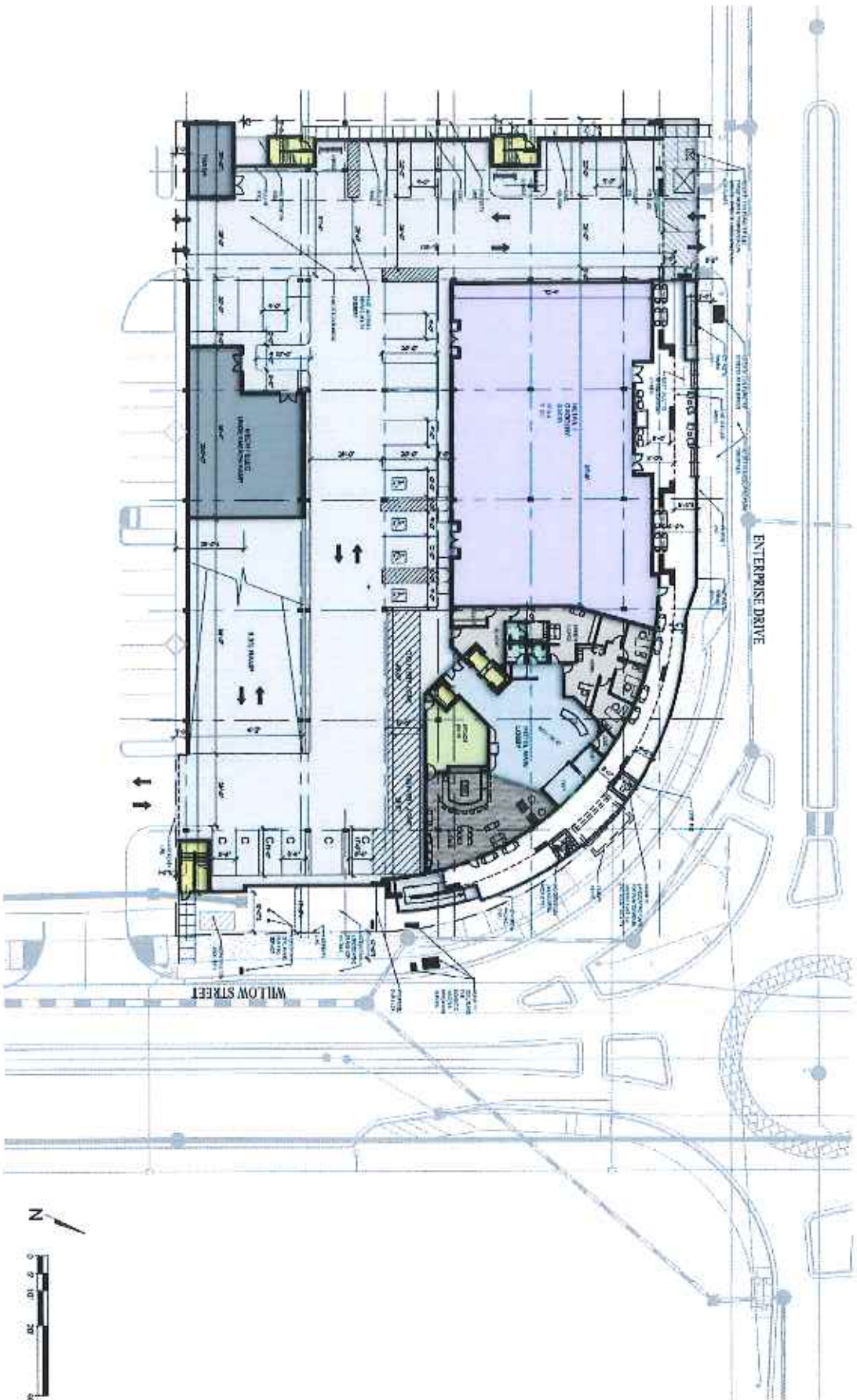
LANDSCAPE ARCHITECTURE

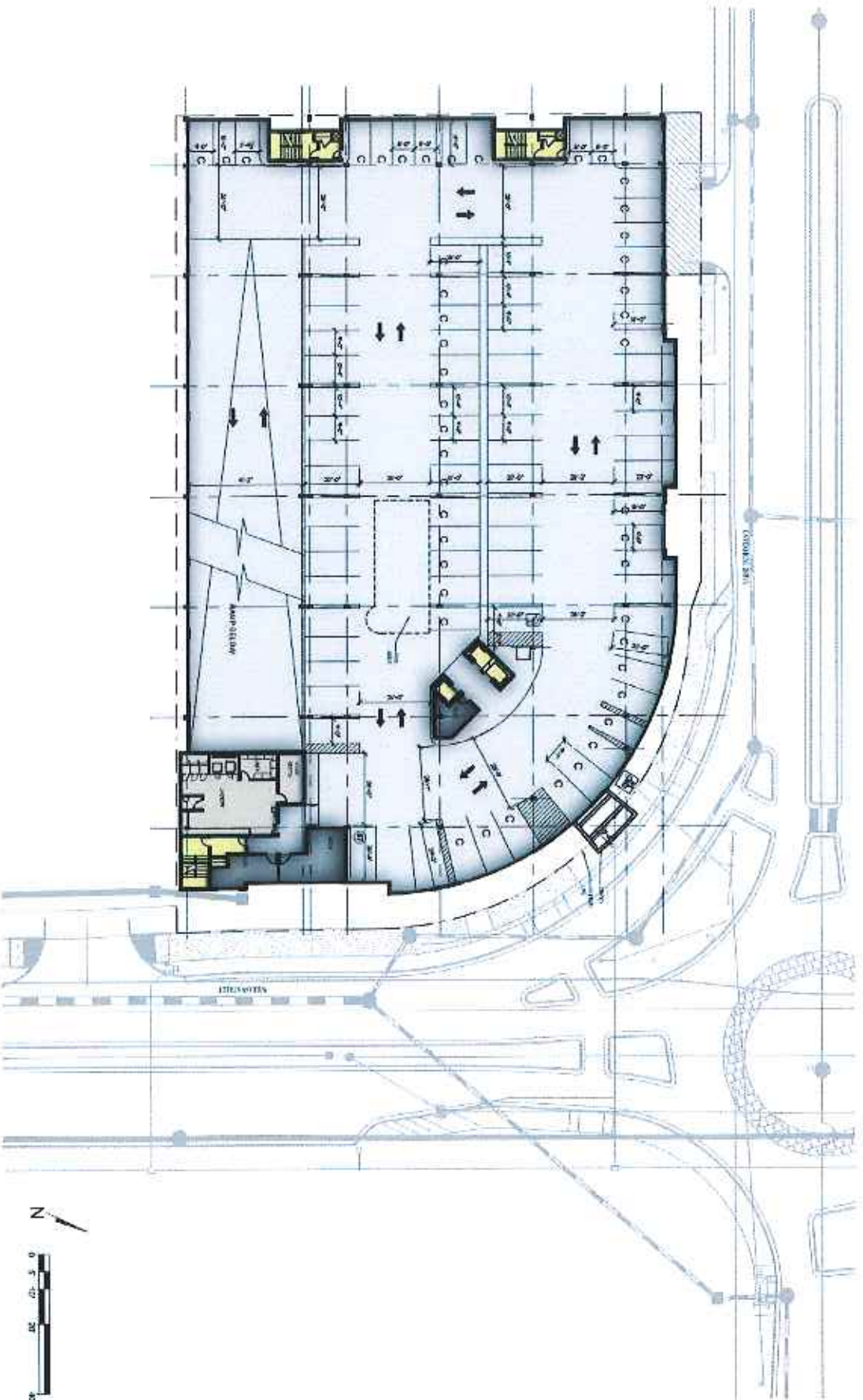
- L1 1st Floor Landscape Plan
- L2 3rd Floor Landscape Plan
- L3 5th Floor Landscape Plan
- L4 1st Floor Hydrozone Plan
- L5 3rd Floor Hydrozone Plan
- L6 5th Floor Hydrozone Plan

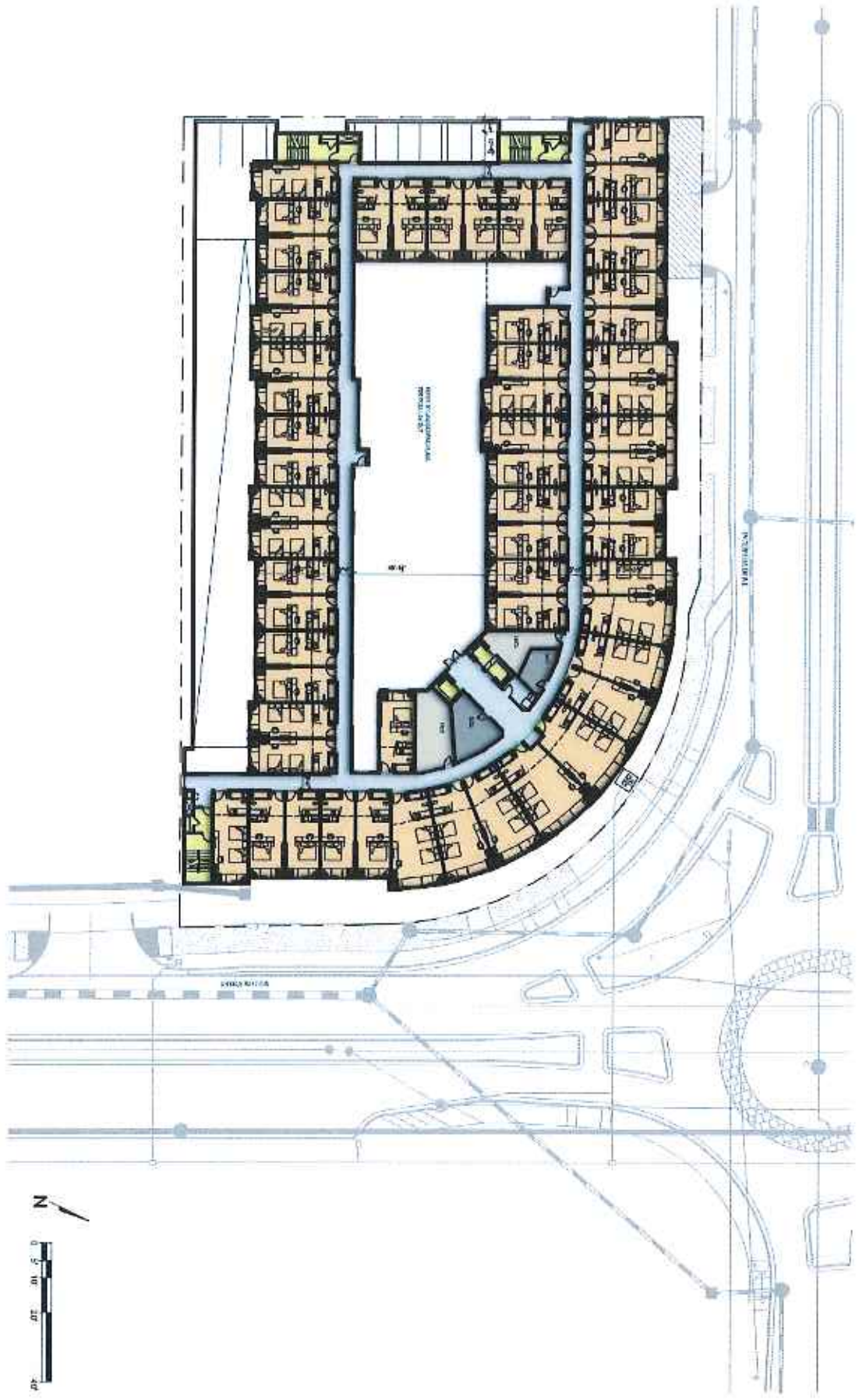
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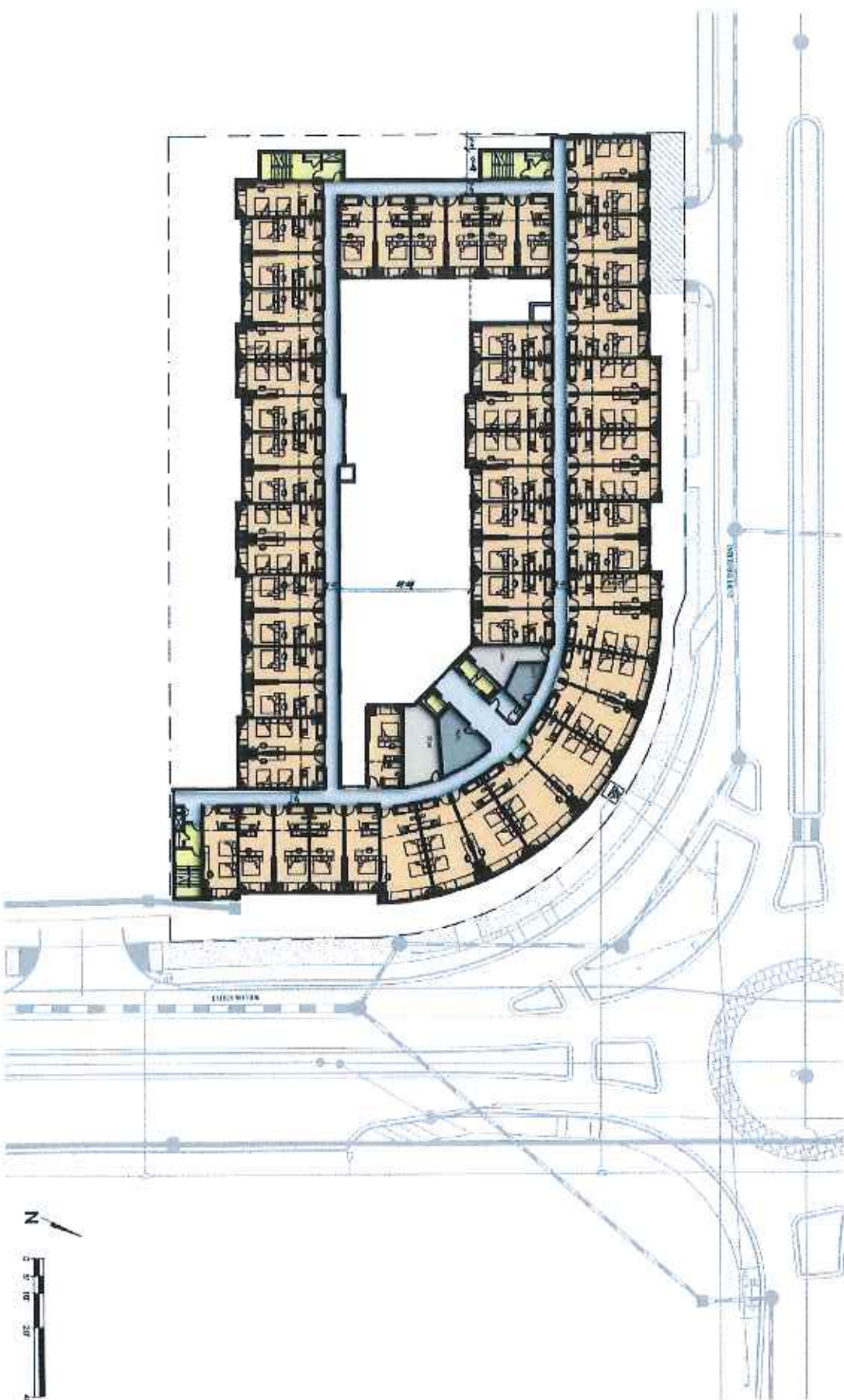
- C1 Preliminary Site Plan
- C2 Preliminary Grading Plan
- C3 Preliminary Utility Plan
- C4 Preliminary Stormwater Control Plan
- C5 Preliminary Access Plan

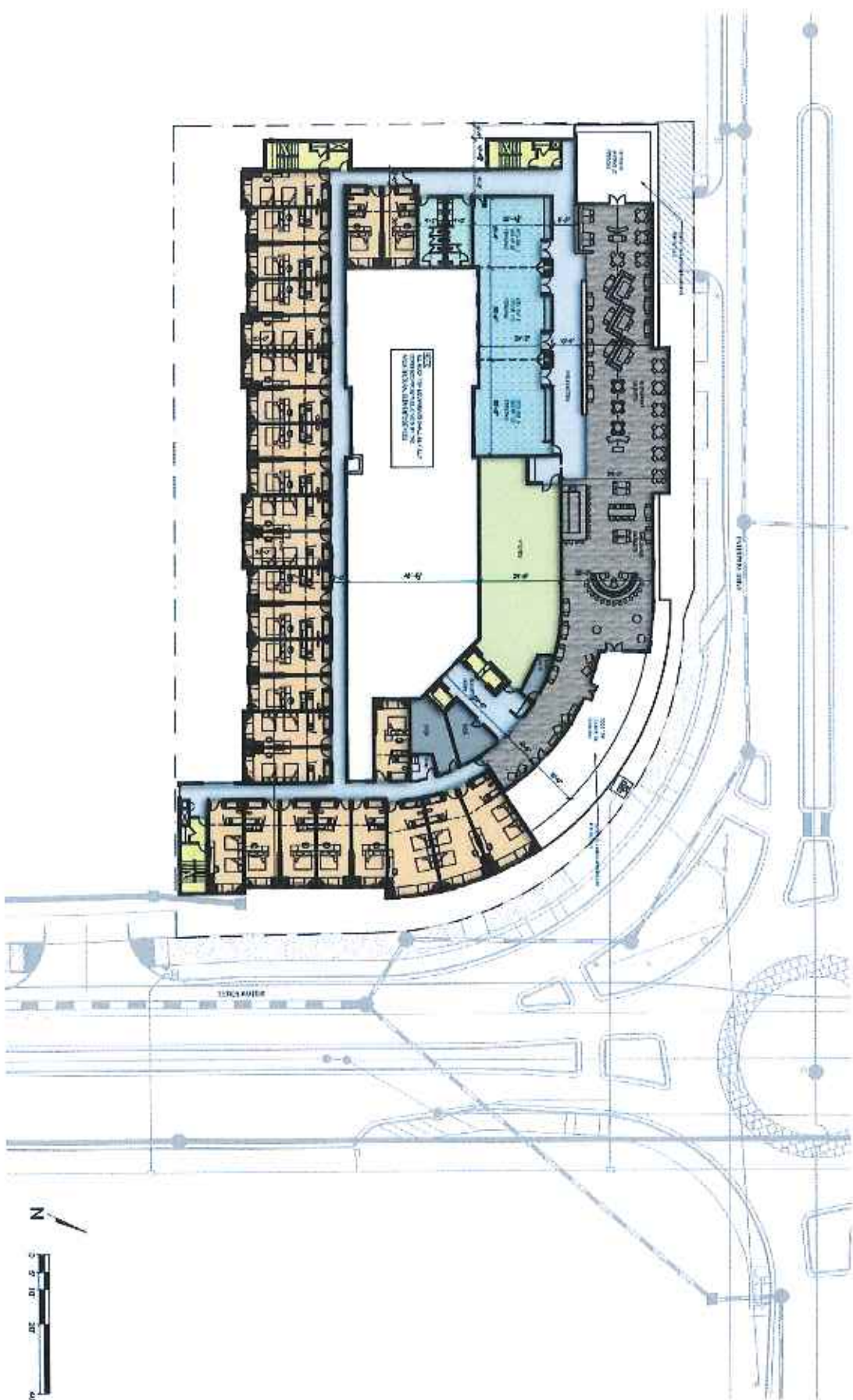


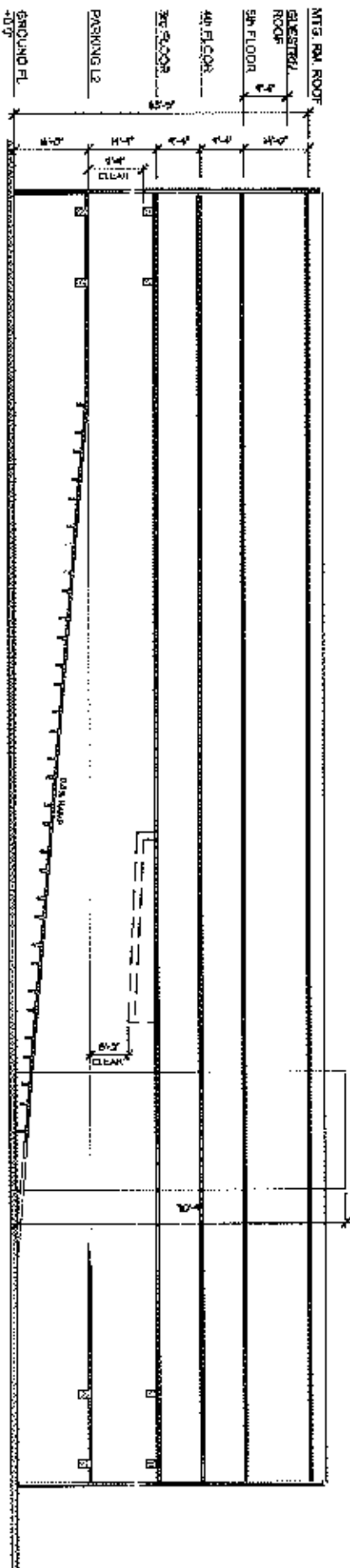


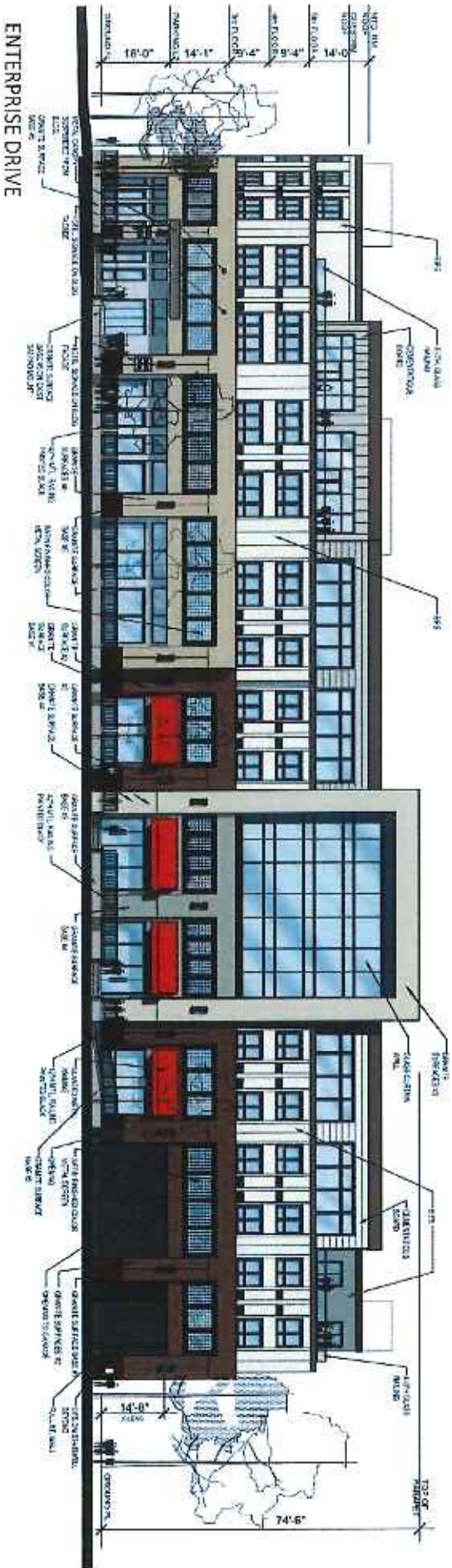


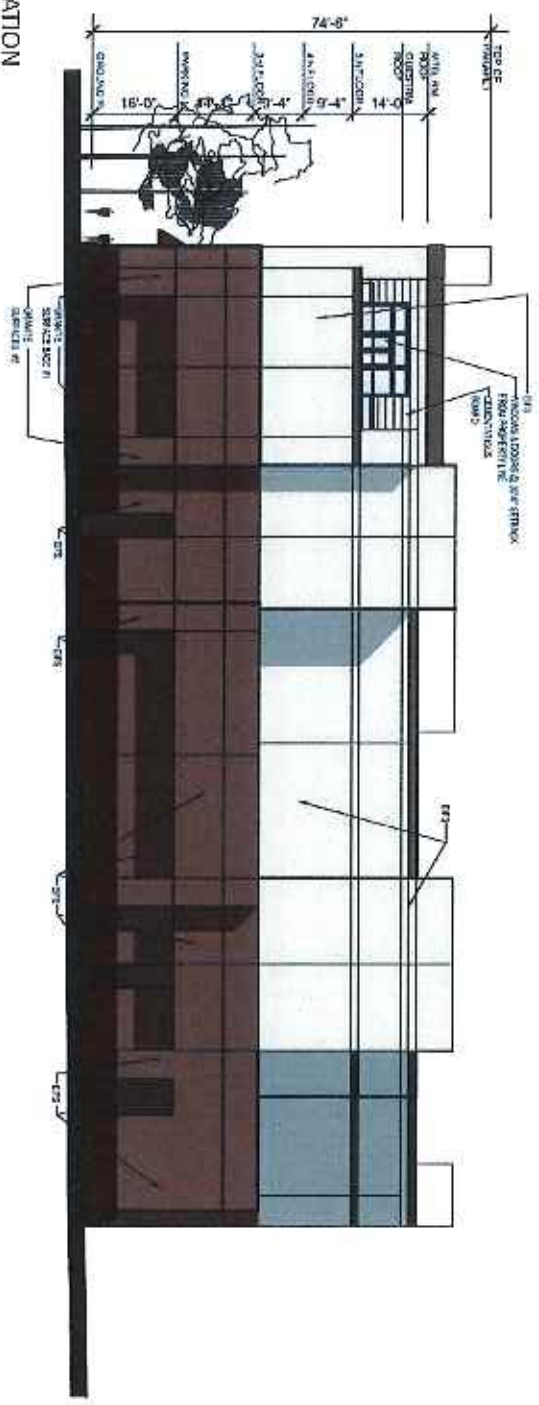




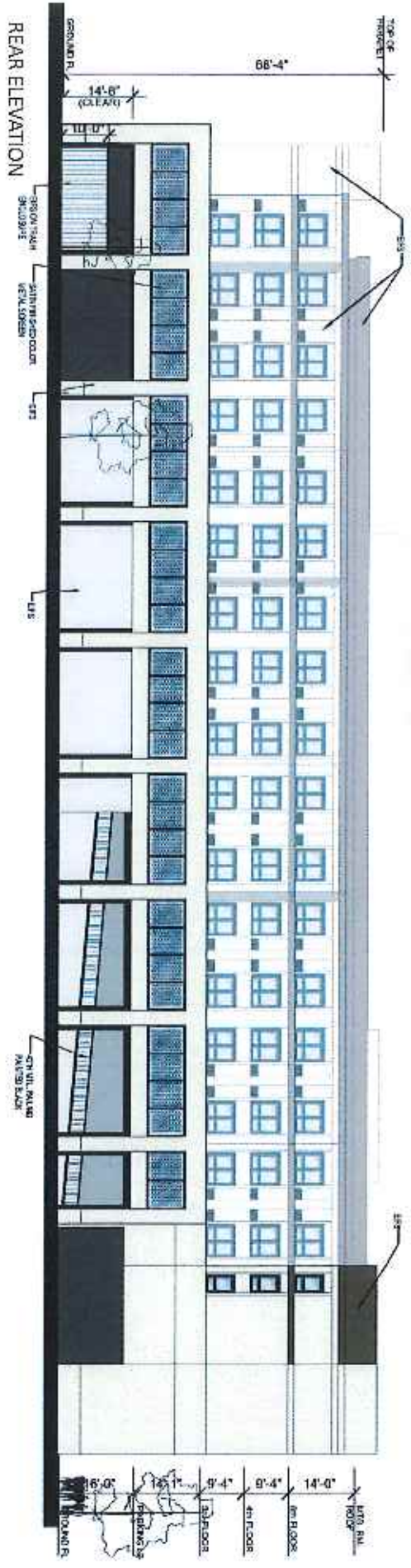








RIGHT ELEVATION



REAR ELEVATION



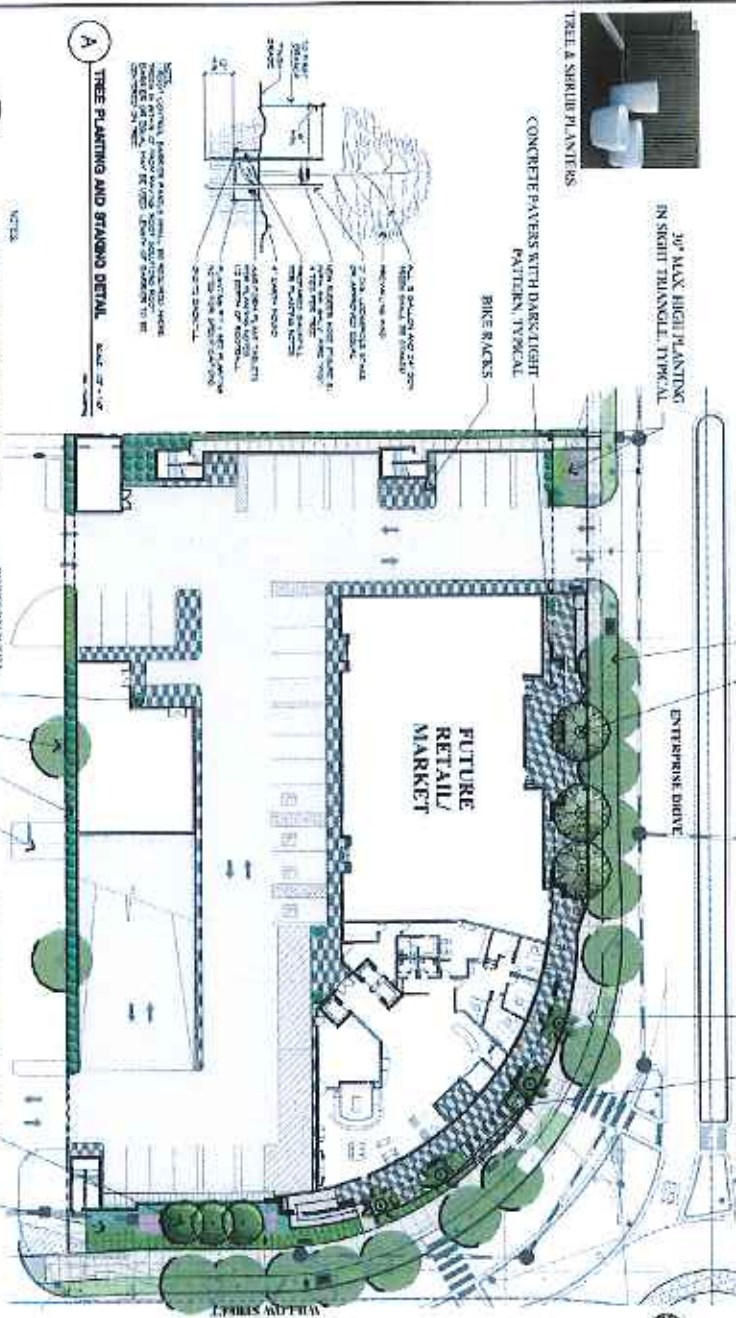


TREE & SHRUB PLANTERS
 20" MAX HIGH PLANTING
 IN SIGHT TRIANGULAR TYPICAL

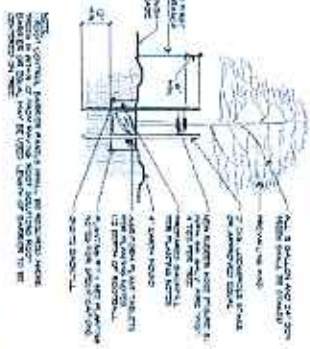
SPECIMEN TREE IN PLANTER, TYPICAL
 STUPEE TREE & SHRUB PLANTING
 DEL. IMPROVEMENTS - FRONT YARD
 PREPARED BY URBAN GREENS, TYPICAL

CONCRETE SIDEWALK PER
 IMPROVEMENTS - FRONT YARD
 PREPARED BY URBAN GREENS, TYPICAL

AT LEAST TO BE PAINTED DARK
 GREEN TO MATCH ADJACENT
 LANDSCAPE W/ 15 GAL -
 BROWNERS 2 CHARLES SHIRE
 SCREEDING SERVICES



A TREE PLANTING AND STAGING DETAIL SCALE: 1/8" = 1'-0"



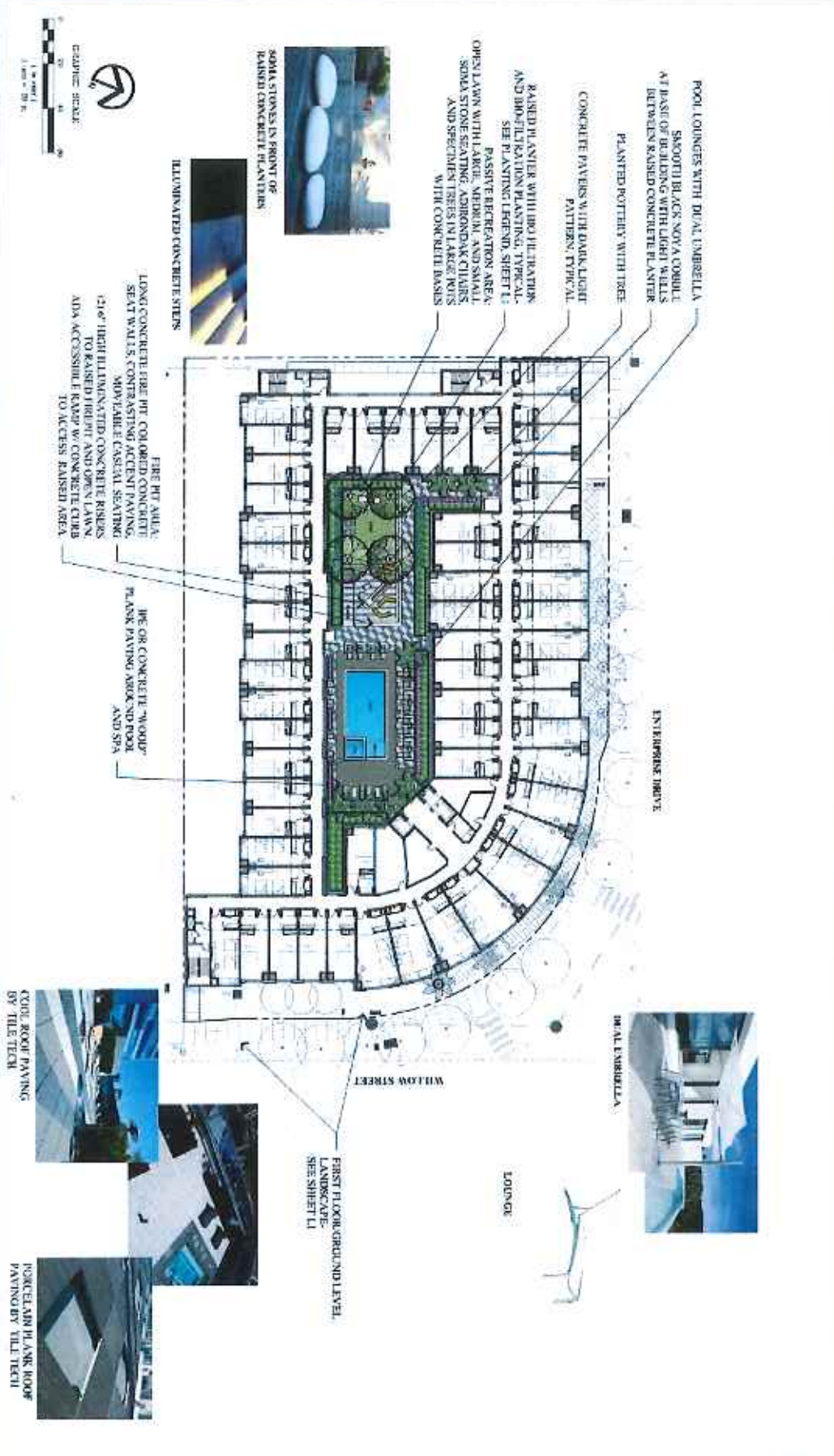
- NOTES
1. ALL UTIL. SHALL BE AS SHOWN AND TYPICAL TO THE CITY.
 2. TREE PLANTING SHALL BE 2" OR ANCHORED ELEMENTS. SHALL HAVE A 1/2" DIA. ROOT BARRIER WALLS. SHALL BE 12" FROM THE EXISTING CURB AT THE END OF THE DRIVE.
 3. LANDSCAPE SHALL BE PLANTING SHALL BE 12" FROM THE CURB. SHALL BE 12" FROM THE CURB. SHALL BE 12" FROM THE CURB. SHALL BE 12" FROM THE CURB.
 4. ALL PLANTING SHALL BE VOUCHER TO A PROVEN SOURCE.

- LEGEND
- POTTERY WITH SHADE PLANTING
 - EXISTING TREE ON EXISTING ADJACENT PROPERTY
 - SHRUB PLANTING, TYPICAL
 - EXISTING ADJACENT LANDSCAPE
 - EMERALD GREEN SCREEN TREE, TYPICAL
 - BIO-FILTER PLANTING, TYPICAL - SEE PROPOSED PLANT PALETTE

PRELIMINARY PROPOSED PLANT PALETTE

PLANT	COMMON NAME	SIZE	QUANTITY	NOTES
...

PLANT	COMMON NAME	SIZE	QUANTITY	NOTES
...



POOL LOUNGES WITH DUAL UMBRELLA

SMOOTH BLACK NOVA CORNELL AT BASE OF BUILDING WITH LIGHT WALLS BETWEEN RAISED CONCRETE PLANTER

PLANTED POTTERY WITH TREE

CONCRETE PAVERS WITH DARK LIGHT PATTERN, TYPICAL

RAISED PLANTER WITH IROU ULTRATONIC AND BIOFILTRATION PLANTING, TYPE A-C SEE PLANTING LEGEND, SHEET L1

PASSIVE BEGETATION AREA OPEN LAWN WITH LAMB EARS, APRIL PLANTS, SOMA STONE SEATING, AROUND AND CHILDREN AND SPECIEN TREES IN 48\"



SOMA STONES IN FRONT OF RAISED CONCRETE PLANTERS



ILLUMINATED CONCRETE STEPS

LONG CONCRETE FIRE PIT CONCRETE SEAT WALLS, CONTRASTING ACCENT PAVING, MOVABLE E-CASUAL SEATING

12\"

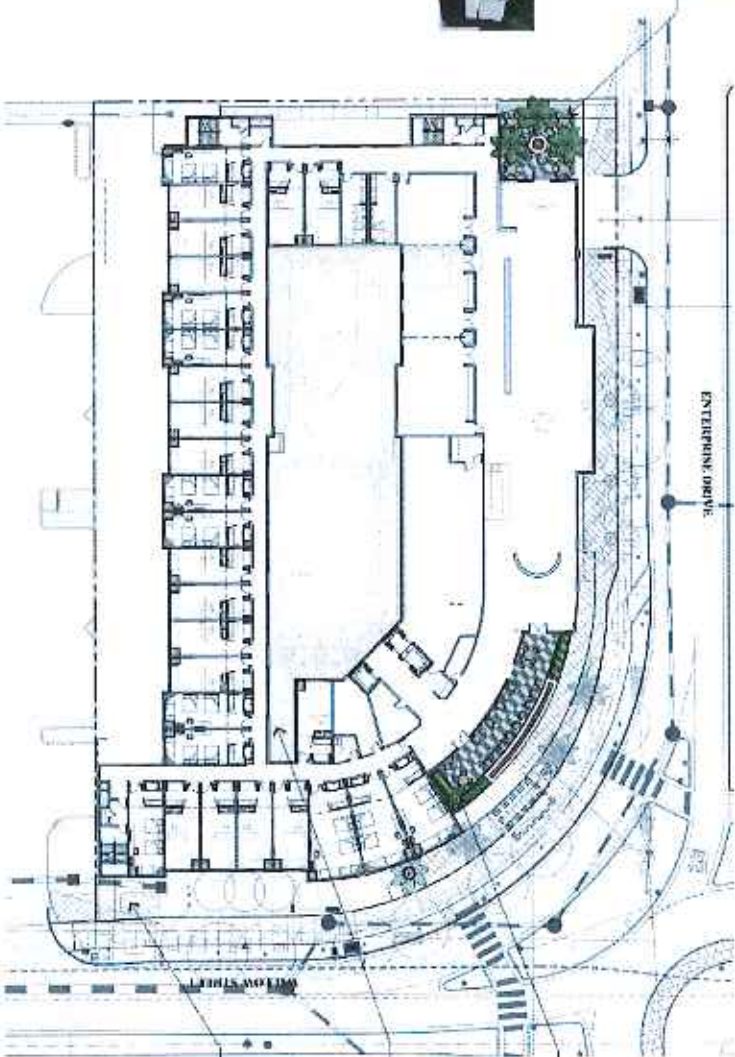


COOL ROOF PAVING BY TILE TECH



PORCELAIN PLANK ROOF PAVING BY TILE TECH

OUTDOOR SEATING
ROUND PIER WITH CLUB
CHAIR SEATING, OUTDOOR DINING TABLES,
AND CONCRETE PATIERS
WITH DARK, LIGHT PATTERNS



ROUND CONCRETE PATIERS WITH GLASS BALL,
ARCHED CONCRETE FIRE PIT
WITH GLASS BALL, CONCRETE PATIERS WITH
DARK/LIGHT PATTERNS, AND OUTDOOR SEATING

THIRD FLOOR LANDSCAPE-
SEE SHEET 12

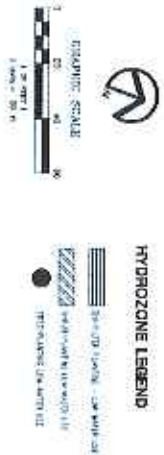
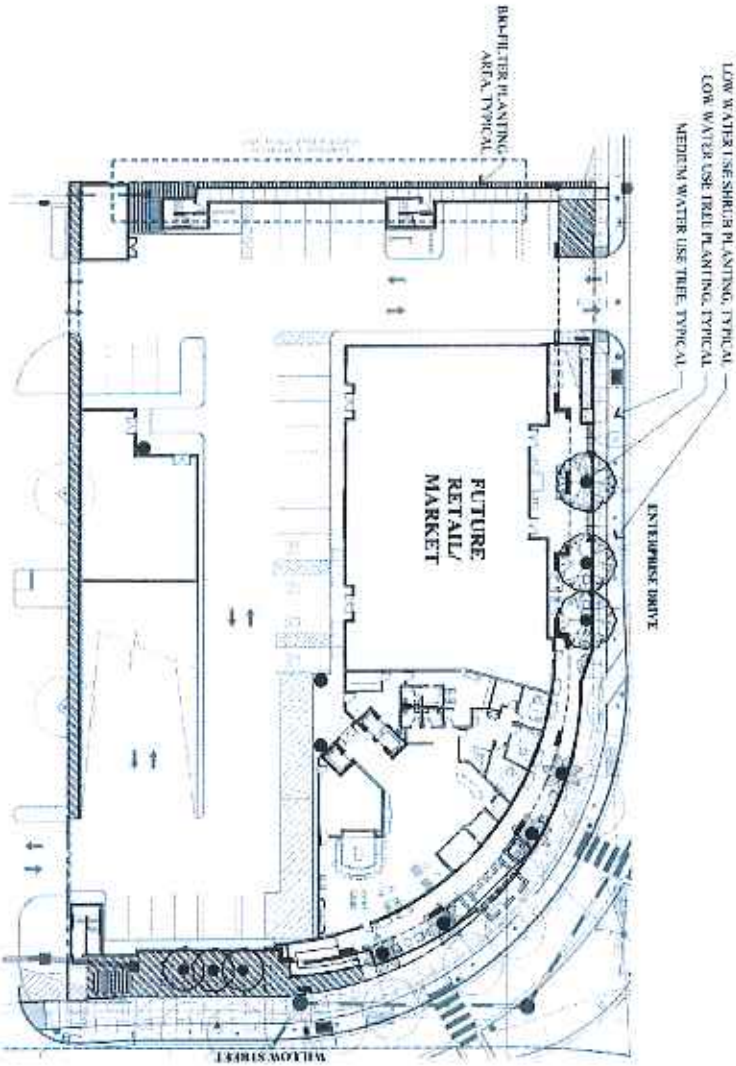
FIRST FLOOR/GROUND LEVEL
LANDSCAPE-
SEE SHEET 11



Carlson, Barnes
& Gibson, Inc.
211 VICKSBURG • WASHINGTON • WASHINGTON
PH: (202) 391-1000 • FAX: (202) 391-1001
WWW.CBGI.COM



Newark Gateway
Mixed-Use Development
Enterprise Drive & Willow Street



WATER USE CALCULATIONS:

1. WATER USE WITH PLANTING: 1000 GPM (1000 GPD)

2. WATER USE WITH PLANTING: 1000 GPM (1000 GPD)

3. WATER USE WITH PLANTING: 1000 GPM (1000 GPD)

4. WATER USE WITH PLANTING: 1000 GPM (1000 GPD)

5. WATER USE WITH PLANTING: 1000 GPM (1000 GPD)

6. WATER USE WITH PLANTING: 1000 GPM (1000 GPD)

7. WATER USE WITH PLANTING: 1000 GPM (1000 GPD)

8. WATER USE WITH PLANTING: 1000 GPM (1000 GPD)

9. WATER USE WITH PLANTING: 1000 GPM (1000 GPD)

10. WATER USE WITH PLANTING: 1000 GPM (1000 GPD)

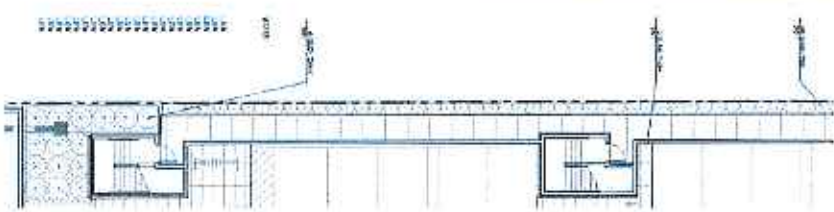
HYDROZONE INFORMATION TABLE - FIRST FLOOR

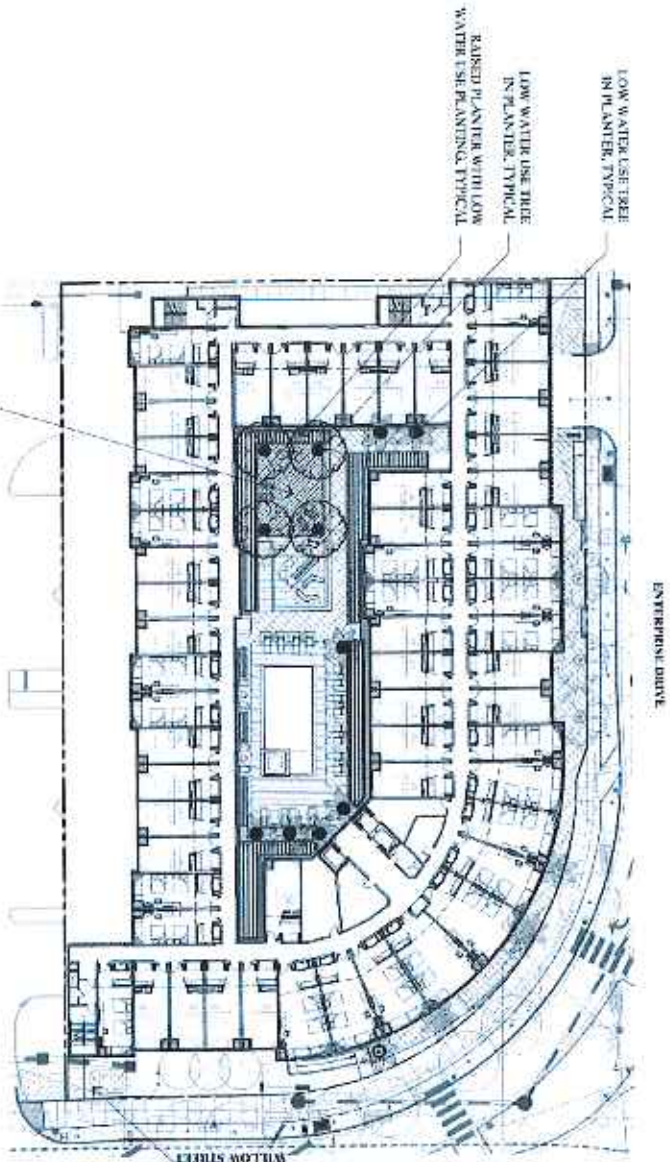
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103	40	100	100
104	40	100	100
105	40	100	100
106	40	100	100
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143	40	100	100
144	40	100	100
145	40	100	100
146	40	100	100
147	40	100	100
148	40	100	100
149	40	100	100
150	40	100	100

PRELIMINARY BIO-RETENTION PLANT PALETTE

PLANT CODE	PLANT NAME	PLANT HEIGHT	PLANT WIDTH	PLANT DEPTH	PLANT WEIGHT
100	100	100	100	100	100
101	100	100	100	100	100
102	100	100	100	100	100
103	100	100	100	100	100
104	100	100	100	100	100
105	100	100	100	100	100
106	100	100	100	100	100
107	100	100	100	100	100
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132	100	100	100	100	100
133	100	100	100	100	100
134	100	100	100	100	100
135	100	100	100	100	100
136	100	100	100	100	100
137	100	100	100	100	100
138	100	100	100	100	100
139	100	100	100	100	100
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141	100	100	100	100	100
142	100	100	100	100	100
143	100	100	100	100	100
144	100	100	100	100	100
145	100	100	100	100	100
146	100	100	100	100	100
147	100	100	100	100	100
148	100	100	100	100	100
149	100	100	100	100	100
150	100	100	100	100	100

A TYPICAL BIO-FILTER PLANTING PLAN





HIGH WATER USE TREE PLANTING

HYDROZONE LEGEND



- 3RD FLOOR HYDROZONE - LOW WATER USE
- 3RD FLOOR HYDROZONE - HIGH WATER USE

3RD FLOOR HYDROZONE PLAN

HYDROZONE	AREA (SQ FT)	AREA (SQ YD)	% OF TOTAL
LOW WATER USE TREE IN PLANTER, TYPICAL	10,000	1,111	33.3%
LOW WATER USE TREE IN PLANTER, TYPICAL	10,000	1,111	33.3%
RAISED PLANTER WITH LOW WATER USE PLANTING, TYPICAL	10,000	1,111	33.3%
TOTAL	30,000	3,333	100%

FIRST FLOOR CIRCULATING LEVEL LANDSCAPE - SEE SHEET L1



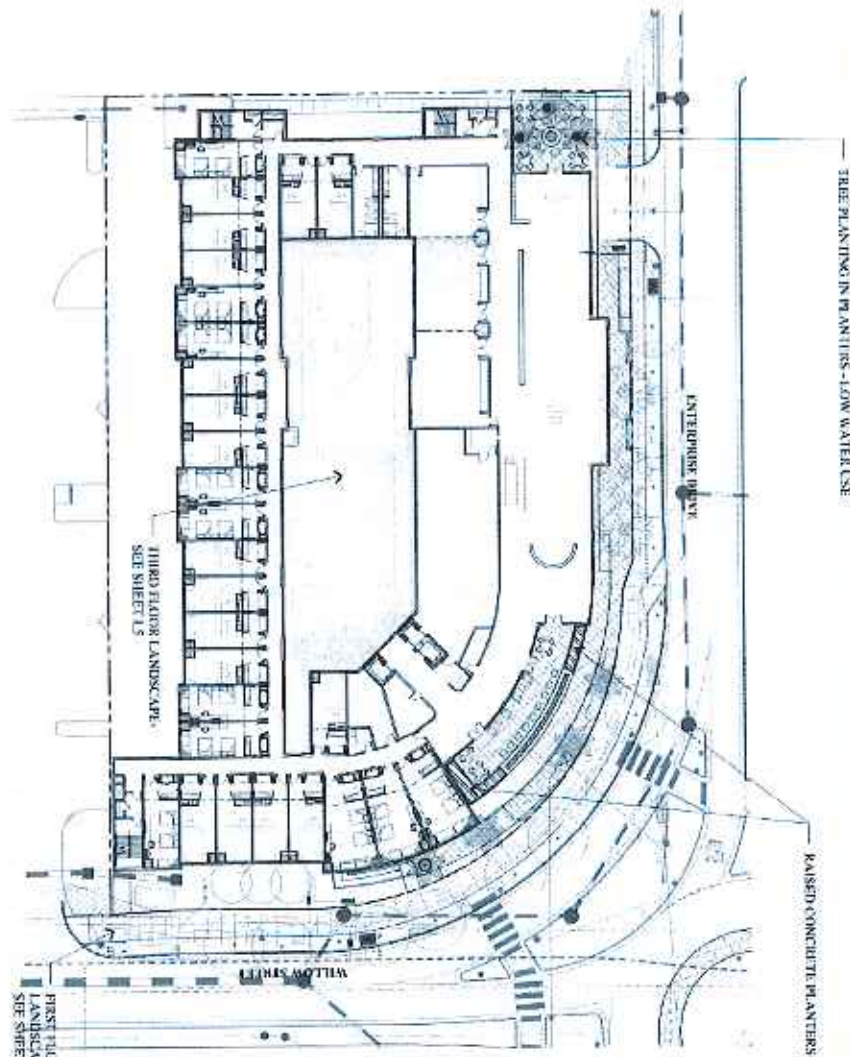
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FOR THE LANDSCAPE ARCHITECT'S REVIEW
 1. THE HYDROZONE PLAN SHALL BE REVIEWED AND APPROVED BY THE BOARD OF PERMITS AND INSPECTION SERVICES, CITY OF NEWARK, NEW JERSEY, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE HYDROZONE PLAN SHALL BE REVIEWED AND APPROVED BY THE BOARD OF PERMITS AND INSPECTION SERVICES, CITY OF NEWARK, NEW JERSEY, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

1. The hydrozone plan shall be reviewed and approved by the Board of Permits and Inspection Services, City of Newark, New Jersey, prior to the commencement of construction.
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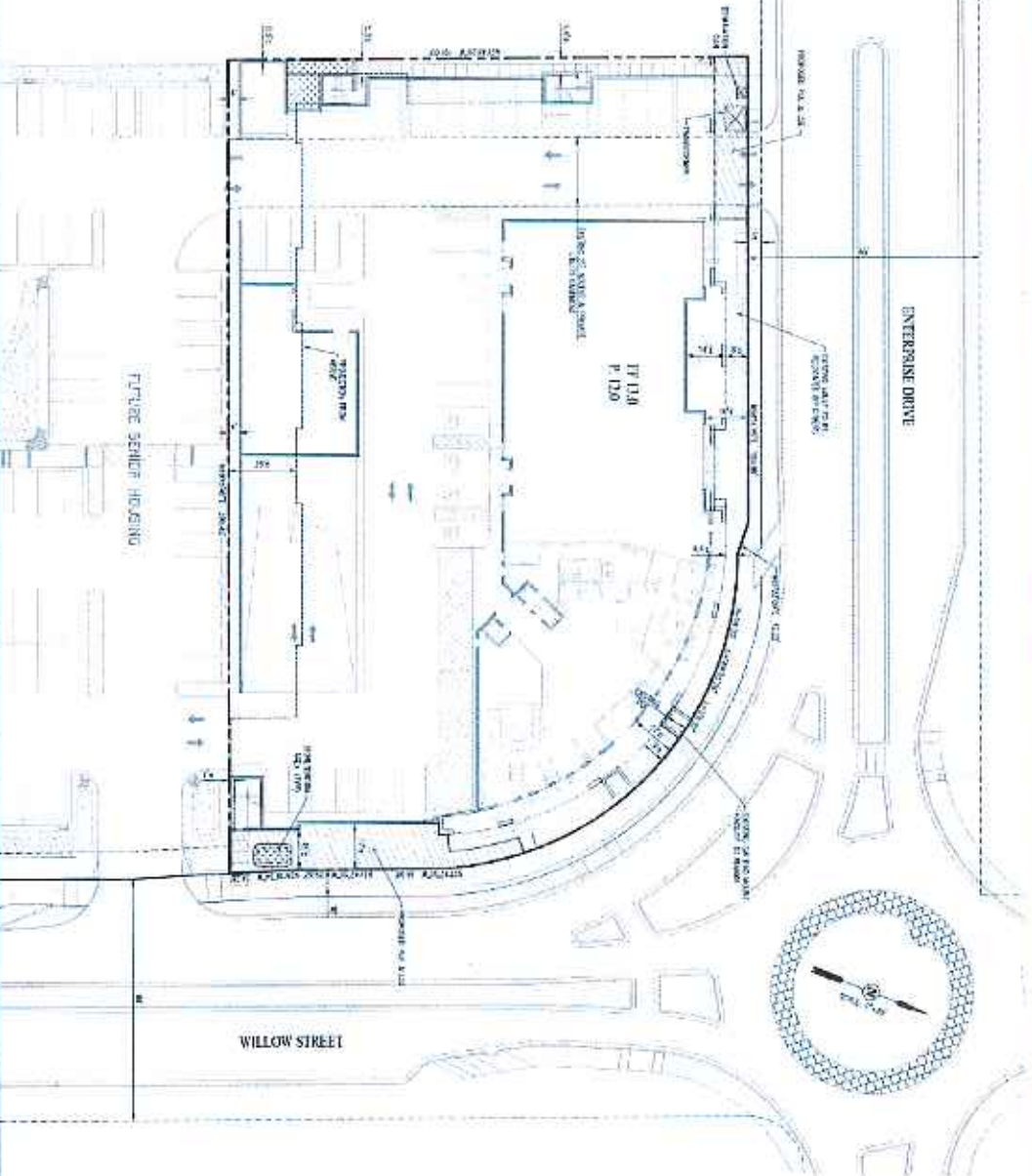
HYDROZONE PROVISION TABLE - 5TH FLOOR

HYDROZONE ZONE	AREA	MIN. WATER USE	TOTAL
HYDROZONE 200	200	1.0'	200
HYDROZONE 100	100	0.5'	100
TOTAL	300	0.75'	300

HYDROZONE LEGEND

- HYDROZONE 200 (1.0' MIN. WATER USE)
- HYDROZONE 100 (0.5' MIN. WATER USE)





- GENERAL NOTES**
1. GENERAL NOTES
 2. GENERAL NOTES
 3. GENERAL NOTES

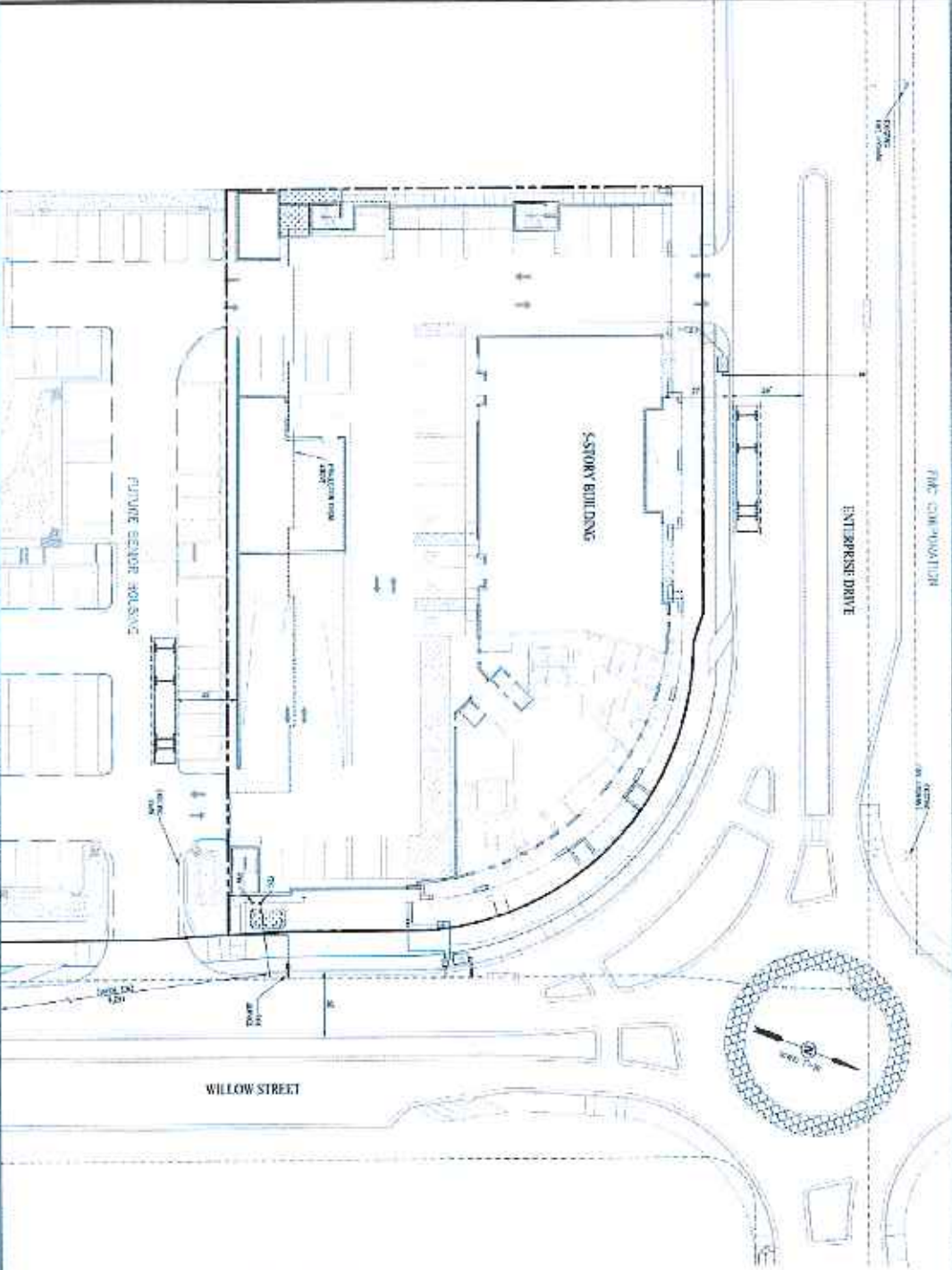
ABBREVIATIONS

16	ASPH	ASPH	ASPH
17	CONC	CONC	CONC
18	GRASS	GRASS	GRASS
19	PAV	PAV	PAV
20	PLANT	PLANT	PLANT
21	ROAD	ROAD	ROAD
22	SEWER	SEWER	SEWER
23	WATER	WATER	WATER
24	WALK	WALK	WALK
25	WOOD	WOOD	WOOD
26	YARD	YARD	YARD
27	DRIVE	DRIVE	DRIVE
28	WALK	WALK	WALK
29	WATER	WATER	WATER
30	SEWER	SEWER	SEWER
31	WALK	WALK	WALK
32	WATER	WATER	WATER
33	SEWER	SEWER	SEWER
34	WALK	WALK	WALK
35	WATER	WATER	WATER
36	SEWER	SEWER	SEWER
37	WALK	WALK	WALK
38	WATER	WATER	WATER
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54	SEWER	SEWER	SEWER
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56	WATER	WATER	WATER
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59	WATER	WATER	WATER
60	SEWER	SEWER	SEWER



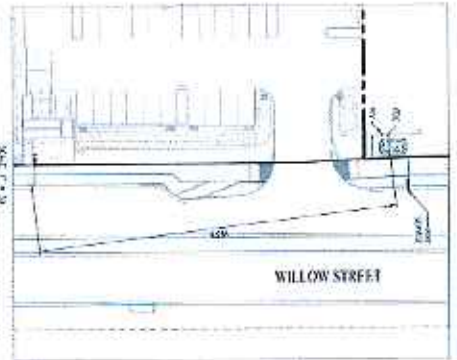
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C-1



- LEGEND**
- POST INDICATOR VALVE
 - FIRE ALARM BOX
 - FIRE HYDRANT CONNECTION
 - EMERGENCY VEHICLE ACCESS EQUIPMENT
 - EXISTING FIRE ALARM
 - FIRE TRUCK

- FIRE INFORMATION**
- TYPE OF CONSTRUCTION TYPE/IN
 - FIRE AREA, 15000 SQ
 - REQUIRED FIRE FLOW, 1,500 GPM
 - FLOW DIRECTION, 4 HORNS



Newark Gateway
 Mixed-Use Development
 Enterprise Drive & Willow Street

C-5



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Suite 310

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APPENDIX B

MITIGATION, MONITORING, AND REPORTING PROGRAM FOR THE NEWARK GATEWAY MIXED-USE DEVELOPMENT PROJECT

Mitigation Measure	Implementation Procedure	Monitoring Responsibility	Monitoring/Reporting Action & Schedule	Non-Compliance Sanction/Activity	Monitoring Compliance Record Name/Date
<p>Air Quality</p> <p>4.2-1a - Prior to issuance of any Grading Permit, the Public Works Director and the Building Official shall confirm that Grading Plans, Building Plans, and specifications stipulate that, in compliance with the BAAQMD CEQA Air Quality Guidelines, the following basic construction mitigation measures shall be implemented for all construction projects:</p> <ul style="list-style-type: none"> • All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas and unpaved access roads) shall be watered two times per day. • All haul trucks transporting soil, sand, or other loose material off-site shall be covered. • All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited. • All vehicle speeds on unpaved roads shall be limited to 15 mph. • All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. • Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum 	<p>Require as a condition of project approval.</p> <p>Project applicant includes measures on plans submitted for grading permits.</p> <p>Construction contractor implements control measures.</p>	<p>City Council and Planning Division</p> <p>Engineering/Building Division</p> <p>Building Division</p>	<p>Draft and incorporate condition as part of project approval.</p> <p>Review plans prior to issuance of grading permits to ensure that requirements described in Mitigation Measure 4.2-1a have been met.</p> <p>Conduct periodic site visits during demolition, grading and construction.</p>	<p>Deny project approval.</p> <p>Deny grading permits.</p> <p>Halt demolition, grading or construction until control measures are implemented.</p>	

<p>idling time to five minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCRD]. Clear signage shall be provided for construction workers at all access points.</p> <ul style="list-style-type: none"> All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation. A publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints shall be posted. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations. 		<p>City Council and Planning Division Engineering/Building Division Building Division</p>	<p>Draft and incorporate condition as part of project approval. Review plans prior to issuance of grading permits to ensure that requirements described in Mitigation Measure 4.2-1b have been met. Conduct periodic site visits during</p>	<p>Deny project approval. Deny grading permits. Halt demolition, grading or construction until control measures are implemented.</p>	
<p>4.2-1b - Prior to issuance of any Grading Permit, the Public Works Director and the Building Official shall confirm that the Grading Plans, Building Plans, and specifications stipulate that, in compliance with the BAAQMD CROQA Air Quality Guidelines, the following additional construction mitigation measures shall be implemented for all construction projects: <input type="checkbox"/> All exposed surfaces shall be watered at a frequency adequate to maintain minimum soil</p>	<p>Require as a condition of project approval. Project applicant includes measures on plans submitted for grading permits. Construction contractor implements control measures.</p>				

<p>moisture of 12 percent. Moisture content can be verified by lab samples or moisture probe.</p> <ul style="list-style-type: none"> • All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed 20 mph. • Wind breaks (e.g., trees, fences) shall be installed on the windward side(s) of actively disturbed areas of construction. Wind breaks should have at maximum 50 percent air porosity. • Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established. • The simultaneous occurrence of excavation, grading, and ground-disturbing construction activities on the same area at any one time shall be limited. Activities shall be phased to reduce the amount of disturbed surfaces at any one time. • All trucks and equipment, including their tires, shall be washed off prior to leaving the site. • Site accesses up to a distance of 100 feet from the paved road shall be treated with a 6- to 12-inch compacted layer of wood chips, mulch, or gravel. • Sandbags or other erosion control measures shall be installed to prevent silt runoff to public roadways from 			<p>demolition, grading and construction.</p>		
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<p>sites with a slope greater than one percent.</p> <ul style="list-style-type: none"> • Minimizing the idling time of diesel powered construction equipment to two minutes. • The project shall develop a plan demonstrating that the off-road equipment (more than 50 horsepower) to be used in the construction project (i.e., owned, leased, and subcontractor vehicles) would achieve a project wide fleet-average 20 percent NOX reduction and 45 percent PM reduction compared to the most recent CARB fleet average. Acceptable options for reducing emissions include the use of late model engines, low-emission diesel products, alternative fuels, engine retrofit technology, after-treatment products, add-on devices such as particulate filters, and/or other options as such become available. • Use low VOC (i.e., ROG) coatings beyond the local requirements (i.e., Regulation 8, Rule 3: Architectural Coatings). • Requiring that all construction equipment, diesel trucks, and generators be equipped with Best Available Control Technology for emission reductions of NOX and PM. • Requiring all contractors use equipment that meets CARB's most 					
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<p>recent certification standard for off-road heavy duty diesel engines.</p>				<p>Deny project approval.</p>	
<p>Biological Resources</p>					
<p>4.3-2 - In order to avoid impacts on nesting raptors, a nesting survey shall be conducted on individual project site parcels prior to commencing with earth-moving or construction work if this work would occur during raptor nesting season (between February 1 and August 31). The raptor nesting survey shall include examination of all trees on or within 300 feet of the entire project site, not just trees slated for removal, since ground vibrations and noise from earth-moving equipment can disturb nesting birds and potentially result in nest abandonment. Since northern harriers are ground nesting raptors, the nesting survey shall also include systematic walking transects across all suitable ground on the project site parcels.</p>	<p>Require as a condition of project approval. Project applicant hires qualified biologist to conduct nesting survey if grading or construction would occur during nesting season.</p>	<p>City Council and Planning Division Planning Division</p>	<p>Draft and incorporate condition as part of project approval. Prior to commencement of construction, ensure that survey has been conducted and requirements described in Mitigation Measure 4.3-2 have been met.</p>	<p>Delay commencement of construction.</p>	
<p>If nesting raptors are identified during the surveys, orange construction fence shall be installed to establish a 300-foot radius around the nest unless a qualified biologist determines that a lesser distance will adequately protect the nest (refer to discussion below for more detail). If the tree or nest is located off the project site, then the buffer shall be demarcated per the above where the buffer intersects the project site. The size of the non-disturbance buffer may be altered if a qualified raptor</p>	<p>Project applicant provides necessary buffer if nests are identified.</p>	<p>Planning/Building Divisions</p>	<p>Conduct periodic site visits during grading and construction.</p>	<p>Halt construction until necessary buffer is provided.</p>	

<p>biologist conducts behavioral observations and determines the nesting raptors are well acclimated to disturbance. If this occurs, the raptor biologist shall prescribe a modified buffer that allows sufficient room to prevent undue disturbance/harassment to nesting raptors.</p> <p>If the buffer is reduced, the qualified raptor biologist shall remain onsite to monitor the raptors' behavior during heavy construction in order to ensure that the reduced buffer does not result in take of eggs or nestlings. No construction or earth-moving activity shall occur within the established buffer until it is determined by a qualified raptor biologist that the young have fledged (that is, left the nest) and have attained sufficient flight skills to avoid project construction zones. (This typically occurs by August 1. This date may be earlier or later, and would have to be determined by a qualified raptor biologist.</p> <p>If a qualified biologist is not hired to monitor the nesting raptors then the full 300-foot buffers shall be maintained in place from February 1 through the month of August. The buffer may be removed and work may proceed as otherwise planned within the buffer on September 1.</p>					
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<p>4.3-4 - In order to avoid impacts on nesting passerines, a nesting survey shall be conducted on individual project site parcels and within 100 feet of the parcel being developed prior to commencing initial earth-moving or construction work on that parcel if this work would occur during the passerine nesting season, that is, between March 1 and September 1. The nesting survey shall also survey lands within 100 feet of the parcel being developed. The nesting surveys shall be completed approximately 15 days prior to commencing work.</p>	<p>Require as a condition of project approval.</p> <p>Project applicant hires qualified biologist to conduct nesting survey if grading or construction would occur during nesting season.</p>	<p>City Council and Planning Division</p> <p>Planning Division</p>	<p>Draft and incorporate condition as part of project approval.</p> <p>Prior to commencement of construction, ensure that survey has been conducted and requirements described in Mitigation Measure 4.3-2 have been met.</p>	<p>Deny project approval.</p> <p>Delay commencement of construction.</p>	
<p>If special-status birds are identified nesting on or near the project site, a 100-foot radius around all identified active nests shall be demarcated with orange construction fencing to establish a non-disturbance buffer. If an active nest is found offsite, the intersecting portion of the buffer that is onsite shall be fenced. No construction or earth-moving activity shall occur within this 100-foot staked buffer until it is determined by a qualified biologist that the young have fledged (that is, left the nest) and have attained sufficient flight skills to avoid project construction zones.</p>	<p>Project applicant provides necessary buffer if nests are identified.</p>	<p>Planning/Building Divisions</p>	<p>Conduct periodic site visits during grading and construction.</p>	<p>Halt construction until necessary buffer is provided.</p>	
<p>If common (that is, not special-status) birds, for example, red-winged blackbird, are identified nesting on or adjacent to the project site, a non-disturbance buffer of 75 feet shall be established or as</p>					

<p>otherwise prescribed by a qualified ornithologist. The buffer shall be demarcated with orange construction fencing. Disturbance around an active nest shall be postponed until it is determined by the qualified wildlife biologist that the young have fledged and have attained sufficient flight skills to leave the area.</p> <p>Typically, most birds in the region of the project site are expected to complete nesting by August 1. However, in the region many species can complete nesting by the end of June or in early to mid-July. Regardless, nesting buffers shall be maintained until August 1 unless a qualified wildlife biologist determines that young have fledged and are independent of their nests at an earlier date. If buffers are removed prior to August 1st, the biologist conducting the nesting surveys shall prepare a report that provides details about the nesting outcome and the removal of buffers. This report shall be submitted to the City project planner prior to the time that buffers are removed if the date is before August 1.</p>					
<p>Cultural Resources</p> <p>4.4-1a - Prior to the issuance of grading permits for future development allowed within the Dunbarton TOD Specific Plan area, project sponsors shall retain qualified archaeologists meeting the Secretary of the Interior's Professional Qualification Standards to train the</p>					
	<p>Require as a condition of project approval.</p> <p>Project applicant hires qualified archaeologist to</p>	<p>City Council and Planning Division</p> <p>Planning Division</p>	<p>Draft and incorporate condition as part of project approval.</p> <p>Prior to issuance of grading permits, confirm that</p>	<p>Deny project approval.</p> <p>Deny issuance of grading permits.</p>	

<p>construction crew on the mechanisms used to identify cultural resources and to caution them on the legal and/or regulatory implications of knowingly destroying cultural resources or removing artifacts or human remains from the project sites.</p>	<p>train construction crew.</p>	<p>Planning/Building Divisions</p>	<p>archaeologist has been hired and training has been completed.</p>	<p>Halt construction until requirements are met.</p>	
<p>If subsurface deposits believed to be cultural or human in origin are discovered during the construction of future development projects within the Dunbarton TOD Specific Plan area, then all work shall halt within a 200-foot radius of the discovery and they shall be evaluated by a professional archaeologist. If a potentially-eligible resource is encountered, then the archaeologist, lead agency, and project sponsor shall arrange for either: 1) total avoidance of the resource, if possible; or 2) test excavations to evaluate eligibility and, if eligible, data recovery as mitigation.</p> <p>If human remains of any kind are found during construction activities, all activities shall cease immediately and the Alameda County Coroner shall be notified as required by State law (Section 7050.5 of the Health and Safety Code). If the coroner determines the remains to be of Native American origin, he or she shall notify the Native American Heritage Commission (NAHC). The NAHC shall then identify the most likely descendant(s) (MLD) to be consulted.</p>	<p>If subsurface deposits are discovered during construction, contractor halts work and complies with requirements, as described in Mitigation Measure 4.4-1a.</p>				

regarding treatment and/or reburial of the remains.		City Council and Planning Division	Draft and incorporate condition as part of project approval.	Deny project approval.	
<p>4.4-1b - Prior to approval of Tentative Subdivision Maps for any development within the Dumbarton TOD Specific Plan area that would directly affect any existing buildings or structures or the Union Pacific Railroad corridor, or is proposed within 100 meters (328 feet) of any existing buildings or structures or the Union Pacific Railroad corridor, the resource shall be evaluated for inclusion in the National Register by a qualified professional archaeologist familiar with the architecture and history of Alameda County.</p> <p>If the building or structure is considered eligible for inclusion in the National Register, then the project sponsor shall submit a study prepared by a qualified historian or architectural historian to determine whether the proposed project would materially alter in an adverse manner those physical characteristics of the known historical resource that conveys its historical significance.</p>	<p>Require as a condition of project approval.</p> <p>Project applicant hires qualified archaeologist or architectural historian to evaluate affected buildings or structures or the Union Pacific Railroad corridor and complies with requirements, as described in Mitigation Measure 4.4-1b.</p>	<p>City Council and Planning Division</p> <p>Planning Division</p>	<p>Draft and incorporate condition as part of project approval.</p> <p>Prior to approval of Tentative Maps, confirm that archaeologist or architectural historian has conducted evaluation, as needed, and requirements of Mitigation Measure 4.4-1b have been met.</p>	<p>Deny project approval.</p> <p>Deny Tentative Map approval.</p>	
<p>Geology and Soils</p>					
<p>4.5-1 - The ACWD regulates the construction, repair, and destruction of wells, exploratory holes, and other excavations located within the City of Newark under ACWD Ordinance No. 2010.01. Future developers within the Specific Plan area shall have a design-level geotechnical engineering investigation performed for their</p>	<p>Require as a condition of project approval.</p> <p>Project applicant submits design-level geotechnical investigation.</p>	<p>City Council and Planning Division</p> <p>Engineering Division</p>	<p>Draft and incorporate condition as part of project approval.</p> <p>Prior to issuance of grading permits, review geotechnical investigation and confirm that</p>	<p>Deny project approval.</p> <p>Deny issuance of grading permits.</p>	

<p>individual property or properties prior to its (their) development. The mitigation measures specified by the design-level geotechnical engineering investigations shall become conditions to the issuance of grading permits for such individual property. The design-level geotechnical engineering investigations shall only address each specific individual property proposing construction, unless future developers mutually agree to include more than one property in a single investigation.</p> <p>The design-level geotechnical engineering investigations shall take into consideration the specific locations and types of development, as well as specific soil and rock conditions identified by subsurface investigation and laboratory testing. The likely mitigation measure recommendations of the design-level geotechnical engineering investigations regarding the design and construction of project-related development are regularly employed, have known and proven efficacy, and could include without limitation, one or more of the following:</p> <ul style="list-style-type: none"> • Removing the soft/loose soil by excavating the soil and backfilling the excavation with compacted soil, thus densifying the soft/loose soil; • Supporting structures on deep foundations, such as piles or piers; 			<p>recommendations are included in construction plans.</p>		
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<ul style="list-style-type: none"> Improving the soft/loose soils by various methods, such as dynamic deep compaction, constructing surcharge fills, installing wick drains, grouting, and other methods; Strengthening structures to withstand seismic shaking and differential ground settlement; and/or, Other methods as determined by the geotechnical engineer in the geotechnical report to be prepared for the sites. 				Deny project approval.	
<p>4.5-2 - Prior to any soil improvement measures and/or dewatering activities, the project geotechnical engineer(s) shall coordinate with the ACWD to ensure compliance with ACWD Ordinance No. 2010-01.</p>	Require as a condition of project approval.	City Council and Planning Division	Draft and incorporate condition as part of project approval.	Deny issuance of grading permits.	
Greenhouse Gas Emissions					
Hazards and Hazardous Materials					
Hydrology and Water Quality					
<p>4.8-4a - Plans submitted for grading permits shall include a detailed hydrology reports. The reports shall include calculations regarding the anticipated volume of stormwater runoff generated by the proposed development.</p>	Require as a condition of project approval.	City Council and Planning Division	Draft and incorporate condition as part of project approval.	Deny project approval.	
	Project applicant submits detailed	Building/Engineering Divisions	Review hydrology reports prior to	Deny issuance of grading permits.	

<p>and shall demonstrate that adequate stormwater conveyance and capacity is available in the existing facilities selected depending on the location of the proposed development (i.e., the Line F-1 channel, the City's existing outfall into the Line F-1 channel, the existing human-created tidal channel that is tributary to Newark Slough, and existing City facilities in Willow Street). The hydrology reports shall be subject to review and approval by the City Engineer.</p>	<p>hydrology reports and submits a detailed retention/detention plan if adequate conveyance and capacity is unavailable.</p>		<p>issuance of grading permits to ensure that requirements of Mitigation Measure 4.8-4a have been met.</p>		
<p>If the hydrology reports determine that the existing facilities do not have adequate stormwater conveyance and capacity to serve the proposed development, then the project applicant shall develop a detailed stormwater detention plan for the retention/detention of stormwater runoff on the project site. The stormwater detention facilities shall be designed with adequate capacity to ensure that stormwater generated on the project site during a peak storm event is retained at a rate that would ensure that discharges from the site do not exceed pre-construction levels. All detention facilities shall be developed in conformance with the City's standards and the standards of the Alameda County Flood Control and Water Conservation District. The plans and specifications of the proposed detention facilities shall meet the standards of the City</p>					

<p>Engineering Department as an adequate engineering product. The construction of stormwater detention facilities may be phased to correspond with development of the project site over time, provided that adequate detention is provided at all times to ensure that runoff from the site does not exceed pre-construction levels.</p>					
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Land Use and Planning

<p>SHH/FMC Project Specific Mitigation Measure LUP-01 - The project applicant shall submit to the City of Newark for approval a revised Land Use Plan and revised Proposed Land Use Table supporting the adjustment to land uses on APN 092-0115-011.</p>	<p>Require as a condition of project approval.</p>	<p>City Council and Planning Department</p>	<p>Draft and incorporate condition as part of project approval.</p>	<p>Deny project approval.</p>	
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Noise

<p>4.10-1a - To reduce noise impacts due to construction, project applicants shall require construction contractors to implement a site-specific noise reduction program, subject to City review and approval, which includes that following measures, ongoing through demolition, grading and/or construction:</p> <ul style="list-style-type: none"> • Restrict noise-generating activities at the construction site or in areas adjacent to the construction site to the hours of 7:00 a.m. to 7:00 p.m., Monday through Friday, and between 8:00 a.m. to 5:00 p.m. on Saturdays. • Equipment and trucks used for project construction shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake 	<p>Require as a condition of project approval. Project applicant submits noise reduction program.</p>	<p>City Council and Planning Department Planning/Building Divisions</p>	<p>Draft and incorporate condition as part of project approval. Review noise reduction program prior to issuance of demolition, grading and/or building permits.</p>	<p>Deny project approval. Deny issuance of demolition, grading and/or building permits.</p>	
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<p>silencers, ducts, engine enclosures, and acoustically-attenuating shields or shrouds, wherever feasible).</p> <ul style="list-style-type: none"> Impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for project construction shall be hydraulically or electronically powered wherever possible to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler shall be used; this muffler can lower noise levels from the exhaust by up to about 10 dBA. External jackets on the tools themselves shall be used where feasible, and this could achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever feasible. Stationary noise sources shall be located as far from adjacent receptors as possible, and they shall be muffled and enclosed within temporary sheds, incorporated insulation barriers, or other measures to the extent feasible. If feasible, the noisiest phases of construction shall be limited to less than 10 days at a time. 					
<p>4.10-1b - Prior to the issuance of each grading permit, project applicants shall submit to the City Building Inspection Division a list of measures to respond to and track complaints pertaining to</p>	<p>Require as a condition of project approval.</p>	<p>City Council and Planning Department</p>	<p>Draft and incorporate condition as part of project approval.</p>	<p>Deny project approval.</p>	

<p>construction noise, ongoing throughout demolition, grading, and/or construction. These measures shall include the following:</p> <ul style="list-style-type: none"> • A procedure and phone numbers for notifying the City Building Inspection Division staff and Newark Police Department (during regular construction hours and off-hours). • A sign posted onsite pertaining the permitted construction days and hours and complaint procedures and who to notify in the event of a problem. The sign shall also include a listing of both the City and construction contractor's telephone numbers (during regular construction hours and off-hours). • The designation of an onsite construction complaint and enforcement manager for the project. The manager shall act as a liaison between the project and its neighbors (including onsite residents). The manager's responsibilities and authority shall include the following: <ul style="list-style-type: none"> - An active role in monitoring project compliance with respect to noise; - Ability to reschedule noisy construction activities to reduce effects on surrounding noise sensitive receivers; - Site supervision of all potential sources of noise (e.g. material delivery, shouting, debris box pick-up 	<p>Project applicant submits list of measures.</p>	<p>Building Division</p>	<p>Review list prior to issuance of grading permits to ensure that requirements of Mitigation Measure 4.10-1b have been met.</p>	<p>Deny issuance of grading permit.</p>	
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<ul style="list-style-type: none"> and delivery) for all trades; and, <ul style="list-style-type: none"> - Intervening or discussing mitigation options with contractors. • Notification of neighbors and occupants within 300 feet of the project construction area at least 30 days in advance of construction activities regarding the details and estimated duration of the activity; and, • A preconstruction meeting shall be held with the job inspectors and the general contractor/onsite project manager to confirm that noise measures and practices (including construction hours, neighborhood notification, posted signs, etc.) are completed. 					
Public Services					
<p>4.12-2 - Prior to approval of a tentative map within the Dunbarton TOD Specific Plan area, additional necessary improvements, if any, beyond those already included in the USD Master Plan and updated fee program, shall be determined regarding proposed new connections (from such tentative map development) and then-existing or proposed wastewater facilities. Such improvements shall be installed prior to issuance of a building permit and shall be consistent with requirements in the Sewer Master Plan (anticipated to be available in the summer of 2012). The City and USD shall verify that any necessary improvements will be available prior to</p>	<p>Require as a condition of project approval. Project applicant determines if any additional improvements are necessary.</p>	<p>City Council and Planning Department Engineering/Building Divisions</p>	<p>Draft and incorporate condition as part of project approval. Prior to approval of Tentative Maps, confirm the determination has been made.</p>	<p>Deny project approval. Deny Tentative Map approval.</p>	
<p>Project applicant installs any necessary improvements prior to issuance of building permits.</p>	<p>Engineering/Building Divisions</p>	<p>Prior to issuance of building permits, confirm that improvements have been installed.</p>	<p>Deny issuance of building permits.</p>		

<p>occupation of those new residential dwelling units for which such improvements are necessary.</p>					
<i>Transportation and Traffic</i>					
<p>4.14-8 - Prior to issuance of building permits for a Specific Plan use, the applicant shall pay all applicable transportation-related fees in accordance with the latest adopted fee schedule at the time permits are sought. Such fees shall include, but not be limited to, the City of Newark Capital Facilities Fee for Transportation, and the ACTC Regional Transportation Impact Fee.</p>	<p>Require as a condition of project approval. Project applicant pays fees.</p>	<p>City Council and Planning Division Building Division</p>	<p>Draft and incorporate condition as part of project approval. Prior to issuance of building permits, collect required fees.</p>	<p>Deny project approval. Deny issuance of building permits.</p>	