



# CITY OF NEWARK PLANNING COMMISSION

37101 Newark Boulevard, Newark, California 94560-3796 □ 510/578-4330 □ FAX 510/578-4265

City Administration Building  
7:30 p.m.  
City Council Chambers

## AGENDA

Tuesday, February 23, 2016

**A. ROLL CALL**

**B. MINUTES**

B.1 Approval of Minutes of the regular Planning Commission meeting of Tuesday, February 2, 2016. (MOTION)

**C. WRITTEN COMMUNICATIONS**

**D. ORAL COMMUNICATIONS** (Anyone wishing to address the Commission on any planning item not on the Agenda may take the podium and state his/her name and address clearly for the recorder.)

**E. PUBLIC HEARINGS**

E.1 Hearing to consider: (1) P-16-4, a planned unit development and U-16-5, a conditional use permit for two corridor access lots on Sunset Avenue (APN: 92A-465-56); and (2) ASR-16-6, an Architectural and Site Plan Review for two single family homes at 7731 and 7733 Sunset Avenue – from Assistant City Manager Grindall. (RESOLUTION)(MOTION)

**F. STAFF REPORTS**

**G. COMMISSION MATTERS**

G.1 JS-15-8, Joint Staff Committee Review, to construct a duplex at 37070 Locust Street (APN: 92-126-13-2) – from Assistant City Manager Grindall. (REVIEW OPTIONAL)

G.2 Report on City Council actions.

**H. ADJOURNMENT**

Pursuant to Government Code 54957.5: Supplemental materials distributed less than 72 hours before this meeting, to a majority of the Planning Commission, will be made available for public inspection at this meeting and at the Planning Division Counter located at 37101 Newark Boulevard, 1st Floor, during normal business hours. Materials prepared by City staff and distributed during the meeting are available for public inspection at the meeting or after the meeting if prepared by some other person. Documents related to closed session items or are exempt from disclosure will not be made available for public inspection.

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# CITY OF NEWARK

## PLANNING COMMISSION

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City Administration Building  
7:30 p.m.  
City Council Chambers

### MINUTES

Tuesday, February 2, 2016

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#### A. ROLL CALL

At 7:31 p.m., Chairperson Aguilar called the meeting to order. All Planning Commissioners were present except Commissioner Bridges (personal).

#### B. MINUTES

##### B.1 Approval of Minutes of the regular Planning Commission meeting of Tuesday, January 26, 2016.

Commissioner Nillo moved, Commissioner Otterstetter seconded, to approve the Minutes of January 26, 2016. The motion passed 2 AYES, 2 ABSTENTION (Aguilar and Fitts).

#### C. WRITTEN COMMUNICATIONS

None.

#### D. ORAL COMMUNICATIONS

None.

#### E. PUBLIC HEARINGS

##### E.1 Hearing to consider: (1) Approving a resolution rescinding the December 8, 2015 approval of Gateway Station West, a 589-unit residential project within the Dumbarton Transit-Oriented Development Specific Plan area located at the western edge of the City, including all associated resolutions and motions; (2) Approving a resolution making certain findings and recommending City Council Certify a Supplemental Environmental Impact Report (E-14-46) to the Environmental Impact Report (State Clearinghouse No. 2010042012) for the Dumbarton Transit Oriented Development; (3) Approving a resolution recommending rezoning (RZ-14-48) an approximately 41-acre area (APNs 537-852-7) from MT-1 (High Technology Park District) to MDR-FBC (Medium Density Residential – Form Based Codes) and HDR-FBC (High Density Residential – Form Based Codes); (4) Approving a resolution recommending that the City Council approve P-14-

**49, a planned unit development and U-14-50, a conditional use permit, for a 589-unit residential project (Gateway Station West) located within the Dumbarton Transit Oriented Development Specific Plan area at the western edge of the City of Newark; (5) By motion, recommending that the City Council approve TM-14-47, Vesting Tentative Map 8099, to construct approximately 589 residential units; and (6) By motion, recommending that the City Council approve ASR-14-51, an Architectural and Site Plan Review, with Exhibit A, pages 1 through 46.**

Assistant City Manager Grindall gave the staff report.

Answering Chairperson Aguilar, ACM Grindall stated the Housing Impact Fee replaces the Inclusionary Housing requirement and stated the City currently has approximately \$3 Million in the Affordable Housing Trust Fund.

Applicant Mark Butler, Integral Communities, 500 La Gonda Way, Suite 102, Danville, CA 94526, stated he has read and is in agreement to all conditions in Resolutions 1925, 1926, 1927 and 1928.

Architect Michael Schrock, Urban Arena, 11772 Sorrenta Valley Road, Suite 212, San Diego, CA 92121, gave an overview of the project via a brief Power Point presentation.

Answering Commissioner Nillo, Mr. Schrock stated there are no public restrooms in the proposed park areas and indicated that there will be sufficient power provided to maintain electric car charging stations.

Answering Commissioner Fitts, Mr. Schrock confirmed the public will be able to have access to the linear parks; adequate parking is provided for this project; and housing pads will be built to meet or exceed all regulatory requirements.

Answering Chairperson Aguilar, Mr. Schrock indicated that the center park along with the surrounding units, would be developed first and the trails would be developed last.

Answering Chairperson Aguilar, Mr. Butler stated each linear park would be built contiguous with each development phase and estimated breaking ground early in 2017.

Chairperson Aguilar opened the Public Hearing. Since no one from the public chose to speak, Chairperson Aguilar closed the Public Hearing.

Discussion ensued on the infrastructure to the entire Dumbarton Transit-Oriented Development site.



Answering Chairperson Aguilar, ACM Grindall stated the Newark Unified School District was involved with the Dumbarton Transit-Oriented Development project from the beginning and can accommodate the anticipated school-aged children.

Motion made by Commissioner Fitts, seconded by Commissioner Nillo to: (1) Approve Resolution 1925, rescinding the December 8, 2015 approval of Gateway Station West, a 589-unit residential project within the Dumbarton Transit-Oriented Development Specific Plan area located at the western edge of the City, including all associated resolutions and motions, (2) Approve Resolution 1926 making certain findings and recommending that the City Council certify a Supplemental Environmental Impact Report (E-14-46) to the Environmental Impact Report (State Clearinghouse No. 2010042012) for the Dumbarton Transit Oriented Development; (3) Approve Resolution 1927, recommending rezoning (RZ-14-48) an approximately 41-acre area (APN 537-0852-007) from MT-1 (High Technology Park District) to MDR-FBC (Medium Density Residential – Form Based Codes) and HDR-FBC (High Density Residential – Form Based Codes); (4) Approve Resolution 1928 recommending that the City Council approve P-14-49, a planned unit development and U-14-50, a conditional use permit, for a 589-unit residential project (Gateway Station West) located within the Dumbarton Transit Oriented Development Specific Plan area at the western edge of the City of Newark; (5) By Motion recommend that the City Council approve TM-14-47, Vesting Tentative Map 8099, to construct approximately 589 residential units; and (6) by Motion, recommend that the City Council approve ASR-14-51, an Architectural and Site Plan Review, with Exhibit A, pages 1 through 46. Motion passed 4 AYES.

This item will be heard at the February 25, 2016 City Council Meeting.

## **F. STAFF REPORTS**

None.

## **G. COMMISSION MATTERS**

### **G.1 Report on City Council actions.**

ACM Grindall informed the Planning Commission and the Community that the City Council will be holding a Workshop on February 4, 2016 at 5:30 p.m. in the City Council Chambers to discuss the Civic Center Replacement project.

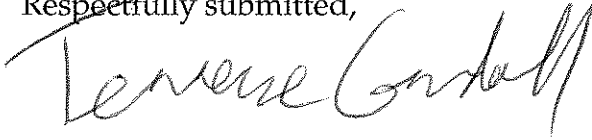
#### Commissioners' Comments

Answering Commissioner Fitts, ACM Grindall stated he will update the Planning Commission at a future meeting on the status of the Dumbarton Rail Project.

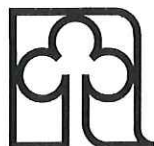
**H. ADJOURNMENT**

At 8:09 p.m., Chairperson Aguilar adjourned the regular Planning Commission meeting of Tuesday, February 2, 2016.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Terrence Grindall". The signature is written in a cursive style with a large, sweeping initial "T".

TERRENCE GRINDALL  
Secretary



- E.1 **Hearing to consider: (1) P-16-4, a planned unit development and U-16-5, a conditional use permit for two corridor access lots on Sunset Avenue (APN: 92A-465-56); and (2) ASR-16-6, an Architectural and Site plan Review for two single family homes at 7731 and 7733 Sunset Avenue – from Assistant City Manager Grindall. <sup>16</sup> (RESOLUTION)(MOTION)**

**Background/Discussion** – Mr. Abdul Durrani has submitted an application to create two corridor access lots upon which he proposes to construct two single-family dwelling units. Attached is Exhibit A, pages 1 through 9.

The creation of the corridor access lots (explain) requires Planning Commission and City Council approval of a planned unit development and a conditional use permit. Given the constraints of this lot, corridor access is necessary to access the rear portion of the lot. In the low density residential districts, corridor access lots shall have not less than the minimum site area required for permitted uses in its respective zoning district, exclusive of corridor area, and a corridor with a width of not less than twenty feet for its entire length, subject to securing a conditional use permit and a planned unit development permit. The corridor width requirement may be shared by more than one lot, subject to conditional use permit and planned unit development permit review.

The twenty-one foot wide corridor access leads to Parcel 1 with a 3,619 square foot, two-story home, and Parcel 2, with a 3,742 square foot, two-story home. Both homes provide large family, living, and dining rooms, along with 5-bedrooms and a loft. The design of both homes is identical, with a stucco exterior, concrete “S-style” tile roofing, and a ground-floor bay window feature off of the living room.

The applicant held a community meeting on November 9, 2015 to discuss this proposal with residents within 300 feet of the property. The meeting was well attended and no one spoke against the project. If the Planning Commission approves this project, it will be submitted, along with the Tentative Parcel Map, to the City Council for their review and approval.

The proposed project is categorically exempt from the California Environmental Quality Act per Section 15303, “New Construction or Conversion of Small Structures”, Class 3. This allows for the construction and location of a single-family residence, or a second dwelling unit in a residential zone. In urbanized areas, up to three single-family residences may be constructed or converted under this exemption.

**Attachment**

**Action** – It is recommended that the Planning Commission: (1) by resolution approve P-16-4, a planned unit development and U-16-5, a conditional use permit for two corridor access lots on

Sunset Avenue (APN: 92A-465-56); and (2) by motion, approve ASR-16-6, an Architectural and Site plan Review for two single family homes at 7731 and 7733 Sunset Avenue, with Exhibit A, pages 1 through 9.

RESOLUTION NO.

RESOLUTION APPROVING A PLANNED UNIT DEVELOPMENT (P-16-4) AND A CONDITIONAL USE PERMIT (U-16-5) FOR TWO CORRIDOR LOTS AT 7731 AND 7733 SUNSET AVENUE (APN: 92A-465-56)

WHEREAS, Mr. Abdul Durrani, has filed with the Planning Commission of the City of Newark an application for P-16-4, a planned unit development, and U-16-5, a conditional use permit, for two corridor lots at 7731 and 7733 Sunset Avenue; and

PURSUANT to Municipal Code Section 17.72.060, a public hearing notice was published in The Tri-City Voice on February 9, 2016, and mailed as required, and the Planning Commission held a public hearing on said application at 7:30 p.m. on February 23, 2016 at the City Administration Building, 37101 Newark Boulevard, Newark, California; and

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission hereby approves this application as shown on Exhibit A, pages 1 through 9, subject to compliance with the following conditions:

Planning Division

- a. There shall be no roof-mounted equipment.
- b. All lighting shall be directed on-site so as not to create glare off-site.
- c. Construction site trailers and buildings located on-site shall be used for office and storage purposes and shall not be used for living or sleeping quarters. Any vehicle or portable building brought on the site during construction shall remain graffiti free.
- d. The site and its improvements shall be maintained in a neat and presentable condition, to the satisfaction of the Community Development Director. This shall include, but not be limited to, repainting surfaces damaged by graffiti and site cleanup. Graffiti removal/repainting and site cleanup shall occur on a continuing, as needed basis.
- e. All exterior utility pipes and meters shall be painted to match and/or complement the color of the adjoining building surface, as approved by the Community Development Director.
- f. Prior to the issuance of a building permit, the developer shall submit color elevations of the buildings for the review and approval of the Planning Commission and City Council. The building elevations shall reflect all roof eaves, bay windows, greenhouse windows, chimneys, porches, and similar architectural features. A site plan showing the building

locations with respect to property lines shall also show the projections. Said elevations shall specify exterior materials. Final colors shall be submitted for the review and approval of the Community Development Director.

- g. Prior to the issuance of a building permit, the developer shall submit the floor plans of all dwelling units for the review and approval of the Planning Commission and City Council.
- h. Prior to the issuance of a building permit, roof material shall be submitted for the review and approval of the Planning Commission and City Council. All roof material shall consist of fire retardant shake roof, concrete tile, or a roof of similar noncombustible material. Mansard roofs with the above material may be used to screen tar and gravel roofs. All roofs shall be of Class C fire resistant construction or better. Composition shingles shall be Presidential-style or of comparable quality, subject to the review and approval of the Community Development Director.
- i. Prior to the issuance of a building permit, the location and screening design for garbage, refuse and recycling collection areas for the project shall be submitted for the review and approval of Republic Services of Alameda County and the Community Development Director, in that order. No refuse, garbage or recycling shall be stored outdoors except within approved trash and recycling enclosures.
- j. Prior to the issuance of a building permit, any proposed fence details shall be submitted for the review and approval of the Community Development Director. Fencing shall be at least six (6) feet high from the developer's finished lot grade between the project and the adjacent properties, except that fencing shall be a maximum of three (3) feet high within the front yard setback.
- k. Prior to installation, mailbox locations and designs shall be approved by the Community Development Director and Newark Postmaster. The mailbox compartments of centralized mailboxes shall identify the individual dwelling units with permanent, easily legible lettering.
- l. Prior to final inspection and utility release for each unit, the developer shall pre-wire each unit for satellite and cable television connections, as required by the Community Development Director.
- m. Prior to the issuance of a Certificate of Occupancy, the developer shall install any approved fencing approved by the Community Development Director.
- n. Prior to the issuance of a building permit, the developer shall pay the following fees, in the amount in effect at the time: public safety impact fee (currently \$1,989 per dwelling unit); community service and facilities impact fee (currently \$1,942 per dwelling unit); transportation impact fee (currently \$801 per dwelling unit); park-in-lieu fee (currently \$2,998 per dwelling unit); and Art in Public Places and Private Development fee (currently \$270 per dwelling unit).

- o. Construction equipment, including compressors, generators and mobile equipment shall be fitted with heavy-duty mufflers designed to reduce noise impacts.
- p. Measures to respond to and track complaints pertaining to construction noise shall include: (1) a procedure and phone numbers for notifying the City of Newark Building Inspection Division and Newark Police Department (during regular construction hours and off-hours); and (2) a sign posted on-site pertaining to the permitted construction days and hours and complaint procedures and who to notify in the event of a problem. The sign shall also include a listing of both the City and construction contractor's telephone numbers (during regular construction hours and off-hours).
- q. Prior to issuance of a grading permit, the developer shall hire a qualified biologist to: (1) determine if occupied Burrowing Owl habitat(s) exist on the site, and (2) implement a plan to protect the owls and to excavate the site around any active burrows using hand tools to assure that the owls are not buried during grading in the event Burrowing Owl habitat(s) is found on the site. The occupied Burrowing Owl habitat(s), if found, shall not be disturbed during the nesting season. The Burrowing Owl study shall be conducted not more than 30 days prior to the time site grading activities will commence.
- r. During project construction, if historic, archeological or Native American materials or artifacts are identified, work within a 50-foot radius of such find shall cease and the City shall retain the services of a qualified archeologist and/or paleontologist to assess the significance of the find. If such find is determined to be significant by the archeologist and/or paleontologist, a resource protection plan conforming to CEQA Section 15064.5 shall be prepared by the archeologist and/or paleontologist and approved by the Community Development Director. The plan may include, but would not be limited to, removal of resources or similar actions. Project work may be resumed in compliance with such plan. If human remains are encountered, the County Coroner shall be contacted immediately and the provisions of State law carried out.

#### Engineering Division

- s. The project will require approval of a record parcel map filed in accordance with the State Subdivision Map Act and the City of Newark Subdivision Ordinance to subdivide Parcel 2 of Parcel Map 9897 into two separate parcels and create reciprocal access, surface drainage, and utility easements as necessary. The record parcel map must be reviewed and approved by the City Engineer prior to the issuance of any permits.
- t. All remaining Area Improvement District No. 33 assessments related to properties within the exterior boundary of the parcel map shall be paid in full prior to the approval of the record map.
- u. The project must be designed to minimize pollution or contamination of stormwater runoff from the site in accordance with Provision C.3 of the Municipal Regional Stormwater NPDES Permit (MRP), Order R2-2009-0074, revised November 28, 2011, issued to the City of Newark by the Regional Water Quality Control Board, San

Francisco Bay Region. Examples of control measures include, but are not limited to: no uncovered trash enclosures or storage of products and materials; minimization of impervious surfaces; routing of pavement and roof runoff through biotreatment areas or landscaped areas used for vehicle parking, installation of vegetated or turfed areas around storm water inlets, and other Best Management Practices to address the requirements of the NPDES Municipal Regional Stormwater Permit issued to the City of Newark by the Regional Water Quality Control Board. The stormwater treatment design shall be completed by licensed civil engineer with sufficient experience with storm water quality analysis and design. The use of treatment controls for runoff requires the submittal of a Stormwater Treatment Maintenance Agreement prior to the issuance of any Certificates of Occupancy.

- v. Prior to the issuance of a building permit for this project, the developer shall submit a Stormwater Quality Plan for review and approval of the City Engineer. The plan shall include sufficient details to show how storm water quality will be protected during both: (1) the construction phase of the project and (2) the post-construction, operational phase of the project. The construction phase plan shall include Best Management Practices from the California Stormwater Quality Association's Best Management Practices Handbook for Construction. The specific storm water pollution prevention measures to be maintained by the contractor shall be printed on the plans. The operational phase plan shall include Best Management Practices appropriate to the uses conducted on the site to effectively prohibit the entry of pollutants into storm water runoff from this site including, but not limited to, trash and litter control, pavement sweeping, periodic storm water inlet cleaning, landscape controls for fertilizer and pesticide applications, labeling of storm water inlets with the permanent thermoplastic stencil with the wording "No Dumping – Drains to Bay," and other applicable practices.
- w. The developer shall submit a grading and drainage plan for review and approval by the City Engineer. This plan must be based upon a City benchmark and needs to include pad and finish floor elevations of the proposed structure, proposed on-site property grades, proposed elevations at property lines, and sufficient elevations on all adjacent properties to show existing and proposed drainage patterns. All pavement shall drain at a minimum of one percent. The developer shall ensure that all upstream drainage is not blocked and that no ponding is created by this development. Any construction necessary to ensure this shall be the developer's responsibility.
- x. Where a grade differential of more than a 1-foot is created along the boundary lot lines between the proposed development and adjacent property, the developer shall install a masonry retaining wall unless a slope easement is approved by the City Engineer. Said retaining wall shall be subject to review and approval of the City Engineer. A sub-drain system shall be installed with the retaining wall to ensure no migration of stormwater or excess landscape irrigation onto lower-lying adjoining properties. The system shall be connected to the Sunset Avenue point of discharge.
- y. Prior to the issuance of any building permits for the properties within the exterior boundary of the project, fence details shall be submitted for the review and approval of



the Community Development Director and the City Engineer. Fencing along the entire perimeter of the site shall be provided and shall be coordinated with each of the adjoining property owners prior to the design review of any proposed single family dwellings. New fencing shall be similar to or of higher quality than existing fencing and all damaged sections shall be replaced. Side and rear yard fences shall be at least 6 feet high as measured from the developer's highest finish grade. Fencing shall enclose the rear yard and a portion of the interior side yard for each parcel. The developer shall install the approved wood fences prior to the final inspection and utility release of each parcel's dwelling unit. Prior to the issuance of any construction permits, all fencing shall be coordinated with the adjoining property owners.

- z. Prior to issuance of a Certificate of Occupancy or release of utilities for any building, common vehicle access ways and parking facilities serving said building shall be paved in accordance with the recommendation of a licensed engineer based on a Traffic Index of 4.0.
- aa. Prior to issuance of a building permit, the developer's engineer shall submit a pavement maintenance program for the drive aisles and parking areas for the review and approval of the City Engineer. The developer shall follow the maintenance program at the City Engineer's direction.
- bb. Prior to issuance of a Certificate of Occupancy or release of utilities for each dwelling unit, the on-site drive aisles and uncovered parking facilities shall be installed and striped as shown on the approved site plan. All on-site uncovered parking facilities and drive aisles shall be drained at a minimum slope of 1.0% for asphalt surfaces and 0.3% for Portland cement concrete surfaces.
- cc. All utilities including, but not limited to, electric, telephone and cable television services shall be provided underground for the proposed residences in the development from the Sunset Avenue street frontage in accordance with the City of Newark Subdivision Standards.
- dd. Any proposed utility connections and/or underground work within structurally sound street pavement must be bored or jacked. Open street cuts will not be permitted on Sunset Avenue without approval by the City Engineer.
- ee. Prior to the issuance of a building permit, the developer shall obtain public utility easements over adjoining properties and obtain approvals by the respective utility agency.
- ff. Prior to the issuance of a Certificate of Occupancy for any proposed improvements, any and all damage to public and private improvements as a result of construction activity associated with this project shall be repaired to the satisfaction of the City Engineer.
- gg. As part of the grading operations, the developer shall ensure that the site is watered on a sufficiently frequent basis to control dust as directed by the City Engineer. The developer shall ensure that a water vehicle for dust control operations is kept readily

available at all times during construction at the City Engineer's direction. A pick-up or vacuum type street sweeper shall be available at all times at the direction of the City Engineer to remove tracked dirt or debris from adjacent streets.

Landscape-Parks Division

- hh. The property owner(s) shall enter into a Landscape Maintenance Agreement to ensure the perpetual maintenance of all landscaping along the property frontage and on the project site. This agreement shall run with the land and be binding upon all future owners or assigns.
- ii. The property owner shall retain a licensed landscape architect to prepare working drawings for landscape plans in accordance to with City of Newark requirements and the latest version of the State of California Model Water Efficient Landscape Ordinance. The associated Landscape Documentation Package must be approved by the City Engineer prior to the issuance of a building permit.
- jj. The developer shall implement Bay Friendly Landscaping Practices in accordance with Newark Municipal Code, Chapter 15.44.080. Prior to the issuance of a building permit, the developer shall provide sufficient information to detail the environmentally-conscious landscape practices to be used on the project.
- kk. The plant species identified for any proposed landscape-based stormwater treatment measures are subject to final approval of the City Engineer.
- ll. Prior to installation by the developer, plant species, location, container size, quality, and quantity of all landscaping plants and materials shall be reviewed and approved by the City Engineer. All plant replacements shall be to an equal or better standard than originally approved subject to approval by the City Engineer.
- mm. Prior to the release of utilities or issuance of any Certificate of Occupancy, all landscaping and irrigation systems shall be completed or guaranteed by a cash deposit deposited with the City in an amount to cover the remainder of the work.
- nn. Prior to issuance of Certificate of Occupancy or release of utilities, the developer shall guarantee all trees for a period of 6 months and all other plantings and landscape for 60 days after completion thereof. The developer shall insure that the landscape shall be installed properly and maintained to follow standard horticultural practices. All plant replacements shall be to an equal or better standard than originally approved subject to approval of the City Engineer.
- oo. Landscaping adjacent to the public right-of-way must conform to the City's visibility requirements in accordance with Newark Municipal Code, Chapter 10.36.

Building Division

pp. Construction for this project, including site work and all structures, can occur only between the 4 hours of 8:00 A.M. and 6:00 P.M., Monday through Friday. The applicant may make a written request to the Building Official for extending working hours and/or days. In granting or denying any request, the Building Official will take into consideration the nature of the construction activity which would occur during extended work hours/days, the time duration of the request, the proximity to residential neighborhoods and input by the affected neighbors. All approvals will be done so in writing.

General

qq. All proposed changes from approved exhibits shall be submitted to the Community Development Director who shall decide if they warrant Planning Commission and City Council review and, if so decided, said changes shall be submitted for the Commission's and Council's review and decision. The developer shall pay the prevailing fee for each additional separate submittal of development exhibits requiring Planning Commission and/or City Council review and approval.

rr. If any condition of this planned unit development and conditional use permit be declared invalid or unenforceable by a court of competent jurisdiction, this planned unit development and conditional use permit shall terminate and be of no force and effect, at the election of the City Council on motion.

ss. This amendment planned unit development and conditional use permit shall be given a public hearing before the City Council for the Council's review and approval.

tt. The developer hereby agrees to defend, indemnify, and save harmless the City of Newark, its Council, boards, commissions, officers, employees and agents, from and against any and all claims, suits, actions, liability, loss, damage, expense, cost (including, without limitation, attorneys' fees, costs and fees of litigation) of every nature, kind or description, which may be brought by a third party against, or suffered or sustained by, the City of Newark, its Council, boards, commissions, officers, employees or agents to challenge or void the permit granted herein or any California Environmental Quality Act determinations related thereto.

uu. The Conditions of Project Approval set forth herein may include certain fees, dedication requirements, reservation requirements and other exactions. Pursuant to Government Code Section 66020(d)(1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations and other exactions. The developer is hereby further notified that the 90-day approval period in which the developer may protest these fees, dedications, reservations and other exactions, pursuant to Government Code Section 66020(a), has begun. If the developer fails to file a protest within this 90-day period complying with all of the requirements of Section 66020, the developer will be legally barred from later challenging such exactions.

The Commission makes the findings prescribed in Newark Municipal Code Sections

17.40.050 and 17.72.070, and directs a Notice of Decision be mailed to the applicant and filed with the City Clerk who shall present said Notice to the City Council pursuant to Newark Municipal Code Section 17.72.080.

This Resolution was introduced at the Planning Commission's February 23, 2016 meeting by Commissioner \_\_\_\_\_, seconded by Commissioner \_\_\_\_\_, and passed as follows:

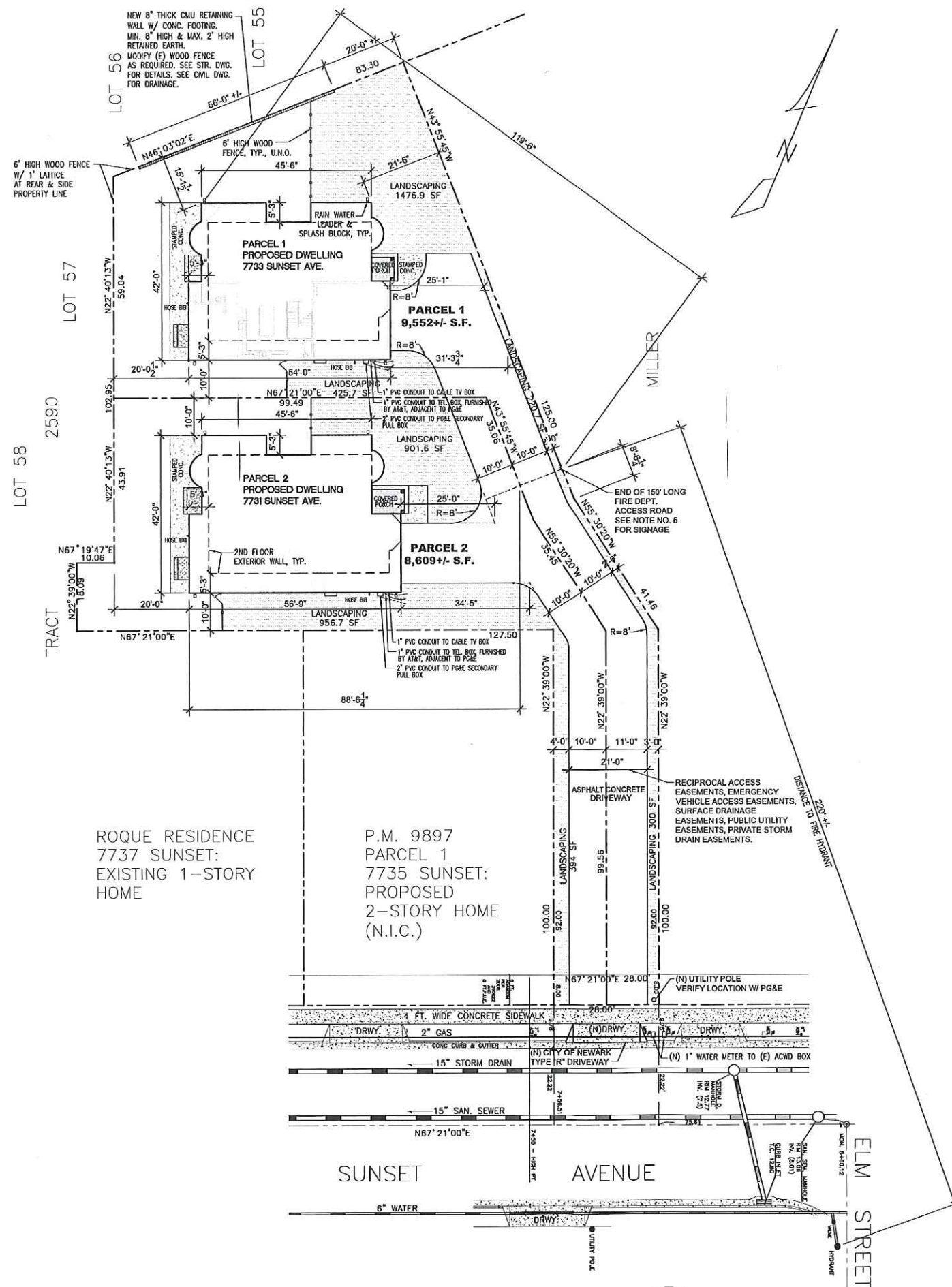
AYES:

NOES:

ABSENT:

\_\_\_\_\_  
TERRENCE GRINDALL, Secretary

\_\_\_\_\_  
JEFF AGUILAR, Chairperson



ROQUE RESIDENCE  
7737 SUNSET:  
EXISTING 1-STORY  
HOME

P.M. 9897  
PARCEL 1  
7735 SUNSET:  
PROPOSED  
2-STORY HOME  
(N.I.C.)

**1 SITE PLAN**  
SCALE: 1/16" = 1'-0"



ASSESSOR'S PARCEL NUMBER: 92A-465-056  
 ZONING: R-6,000 LOW-DENSITY RESIDENTIAL  
 TOTAL LOT AREA TO BE DIVIDED: 18,161± sq/0.42 AC.±  
 PARCEL 1 AREA: 9,552 ± sf  
 PARCEL 1 COVERAGE:  
 1ST FLOOR AREA: 1618 ± sf (%16.94)  
 GARAGE: 451 ± sf (%4.72)  
 FRONT PORCH: 55 ± sf (%0.58)  
 COVERED SIDE YARD: 63 ± sf (%0.66)  
 TOTAL COVERED AREA: 2187 ± sf (%22.90)  
 2ND FLOOR AREA: 1432 ± sf  
 PARCEL 1 LANDSCAPE:  
 TOTAL LANDSCAPE AREA: 2423 ± sf (%25.4)  
 PARCEL 2 AREA: 8,609 ± sf  
 PARCEL 2 COVERAGE:  
 1ST FLOOR AREA: 1676 ± sf (%19.47)  
 GARAGE: 451 ± sf (%5.24)  
 FRONT PORCH: 77 ± sf (%0.89)  
 COVERED SIDE YARD: 63 ± sf (%0.73)  
 TOTAL COVERED AREA: 2267 ± sf (%26.33)  
 2ND FLOOR AREA: 1475 ± sf  
 PARCEL 2 LANDSCAPE:  
 TOTAL LANDSCAPE AREA: 2252 ± sf (%26.2)

**SHEET NOTES:**

1. THE FIRE DEPARTMENT ACCESS ROAD SHALL BE MARKED WITH SIGNS IN ACCORDANCE WITH APPENDIX D OF THE 2013 CALIFORNIA FIRE CODE.
2. DWELLINGS SHALL BE PROVIDED WITH FIRE SPRINKLERS. (2013 CALIFORNIA RESIDENTIAL CODE)
3. SEPARATE APPLICATION FOR BUILDING PERMIT SHALL BE MADE FOR EACH SEPARATE PARCEL..
4. CONSTRUCTION FOR THIS PROJECT, INCLUDING SITE WORK AND ALL STRUCTURES, CAN OCCUR ONLY BETWEEN THE HOURS OF 8:00 AM AND 6:00 PM, MONDAY THROUGH FRIDAY, UNLESS A WRITTEN REQUEST FOR EXTENDED WORKING HOURS HAS BEEN APPROVED IN WRITING BY THE BUILDING OFFICIAL.
5. CONTRACTOR SHALL FURNISH AND INSTALL SIGNAGE STATING "End of Fire Access Road".
6. DEEDED EASEMENTS FOR THE FIRE ACCESS ROAD SHALL BE OBTAINED AND RECORDED PRIOR TO ISSUANCE OF BUILDING PERMIT.

**PROJECT DESCRIPTION:**

THE PURPOSE OF THESE DOCUMENTS AND ASSOCIATED SET OF PLANS IS TO SUBDIVIDE THE 0.42 AC.± EMPTY LOT INTO 2 LOTS IN ORDER TO CONSTRUCT ONE 2-STORY SINGLE-FAMILY DWELLING ON EACH LOT.

**SEISMIC Consulting Engineers**  
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**CLIENT**

ABDOL DURRANI  
 38765 MISSION BLVD.  
 FREMONT, CA 94536

**PROJECT**

TWO NEW SINGLE-FAMILY HOMES  
 7731 & 7733 SUNSET AVENUE  
 NEWARK, CA 94560

**STAMP**



**SHEET**  
**SITE PLAN**

ISSUED FOR:	PPR SUBMITTAL
DATE:	7/28/15
SCALE:	AS NOTED
DRAW:	KRM
DESIGN:	KRM
CHECK:	
JOB No.	SCE-15011

REVISIONS	BY
10/28/15 PPR RESUBMITTAL	KRM

SHEET: **A1.1**

**EXHIBIT A01**



FLOOR AREAS:  
 1ST FLOOR AREA 1618 +/- sf  
 2 CAR GARAGE 451 +/- sf

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 FREMONT, CA 94536

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 NEWARK, CA 94560

**STAMP**

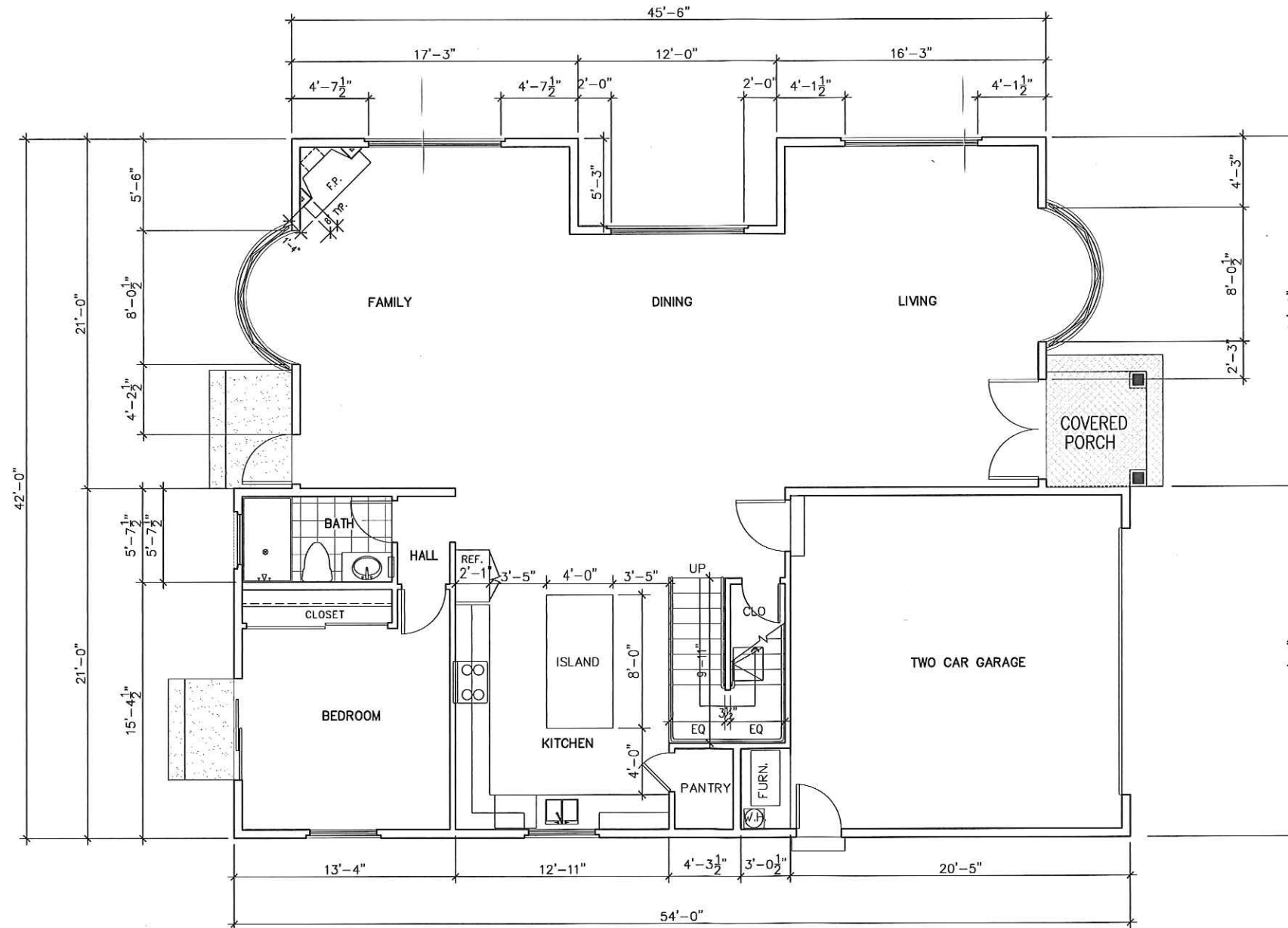


**SHEET**  
 PARCEL 1  
 1ST FLOOR PLAN

ISSUED FOR: PPR SUBMITTAL  
 DATE: 7/28/15  
 SCALE: AS NOTED  
 DRAW: KRM  
 DESIGN: KRM  
 CHECK:  
 JOB No. SCE-15011

REVISIONS	BY

SHEET: **A2.1**



**FIRST FLOOR PLAN**  
 SCALE 1/4" = 1'-0"

**EXHIBIT** *Ap2*

FLOOR AREAS:  
2ND FLOOR AREA 1432 +/- sf



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FREMONT, CA 94536

**PROJECT**

**TWO NEW SINGLE-FAMILY HOMES**  
7731 & 7733 SUNSET AVENUE  
NEWARK, CA 94560

**STAMP**



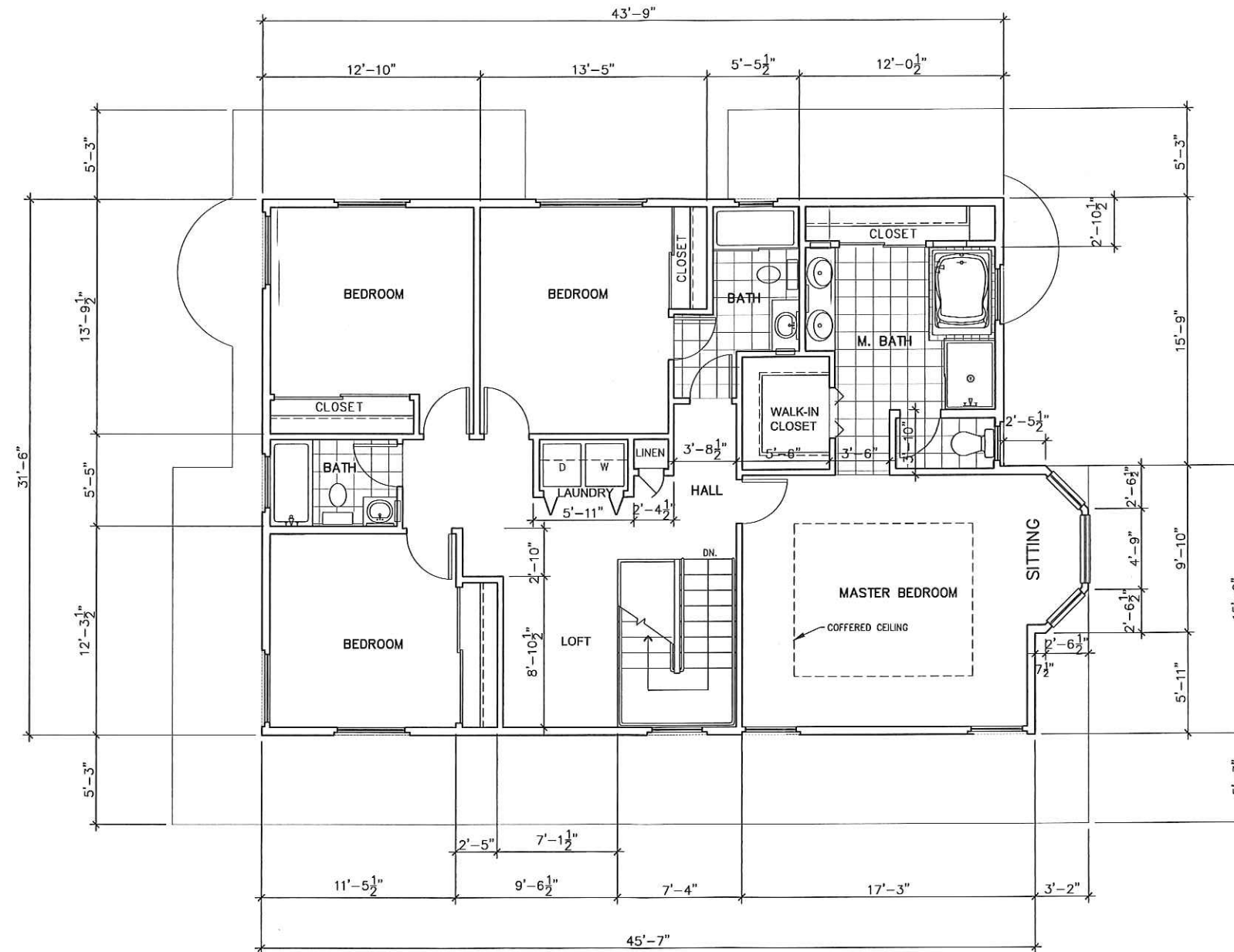
**SHEET**


**PARCEL 1  
2ND FLOOR PLAN**

ISSUED FOR: PPR SUBMITTAL  
DATE: 7/28/15  
SCALE: AS NOTED  
DRAW: KRM  
DESIGN: KRM  
CHECK:  
JOB No. SCE-15011

REVISIONS	BY

SHEET:  
**A2.2**



**SECOND FLOOR PLAN**   
SCALE 1/4" = 1'-0"

**EXHIBIT** Ap3

FLOOR AREAS:  
 1ST FLOOR AREA 1676 +/- sf  
 2 CAR GARAGE 451 +/- sf

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**CLIENT**

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 FREMONT, CA 94536

**PROJECT**

TWO NEW SINGLE-FAMILY HOMES  
 7731 & 7733 SUNSET AVENUE  
 NEWARK, CA 94560

**STAMP**

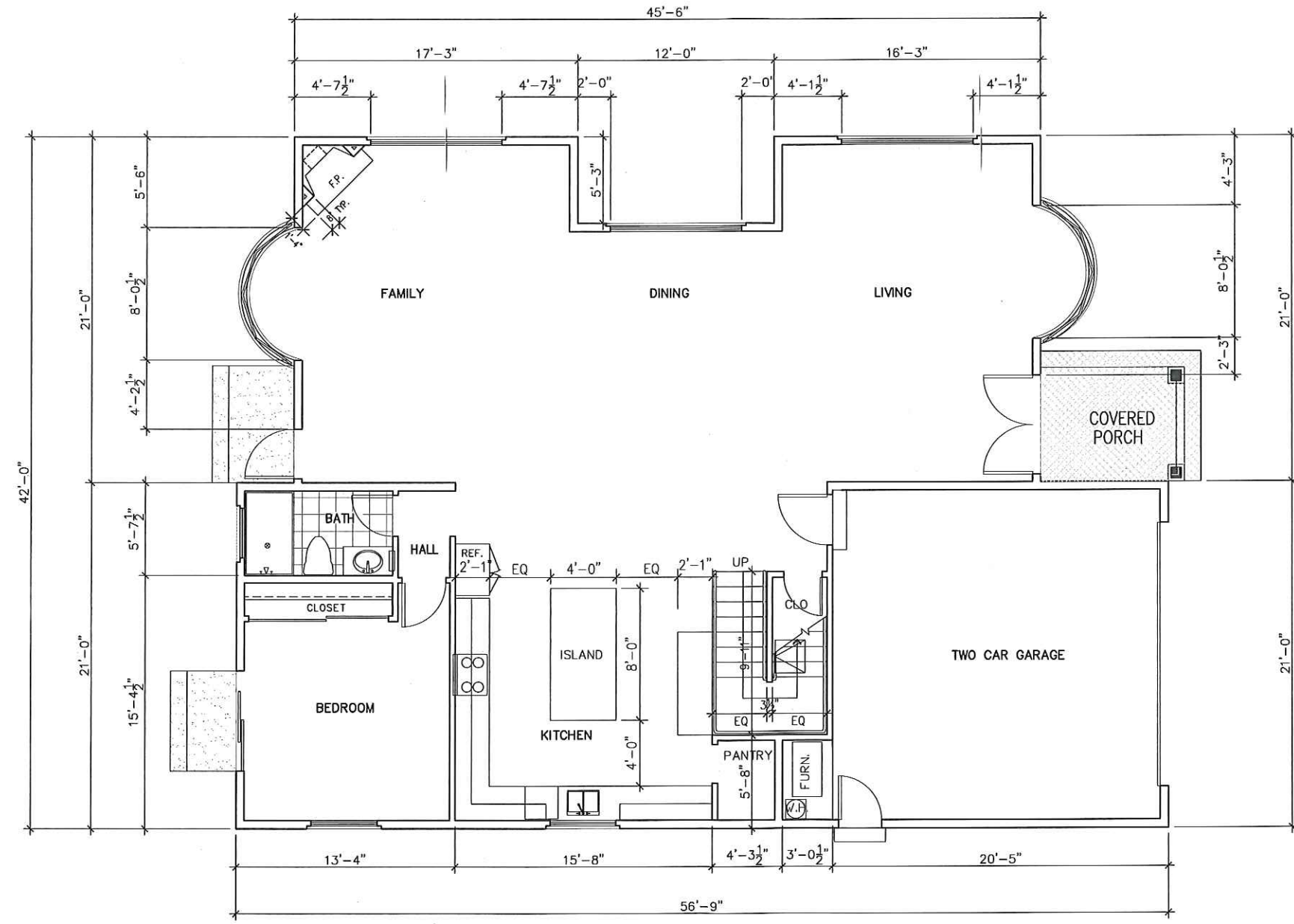


**SHEET**  
 PARCEL 2  
 1ST FLOOR PLAN

ISSUED FOR: PPR SUBMITTAL  
 DATE: 7/28/15  
 SCALE: AS NOTED  
 DRAW: KRM  
 DESIGN: KRM  
 CHECK:  
 JOB No. SCE-15011

REVISIONS	BY

SHEET:  
**A2.3**



**FIRST FLOOR PLAN**   
 SCALE 1/4" = 1'-0"

**EXHIBIT** Ap4




FLOOR AREAS:  
2ND FLOOR AREA 1475 +/- sf

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38765 MISSION BLVD.  
FREMONT, CA 94536

**PROJECT**  
  
TWO NEW SINGLE-FAMILY HOMES  
7731 & 7733 SUNSET AVENUE  
NEWARK, CA 94560

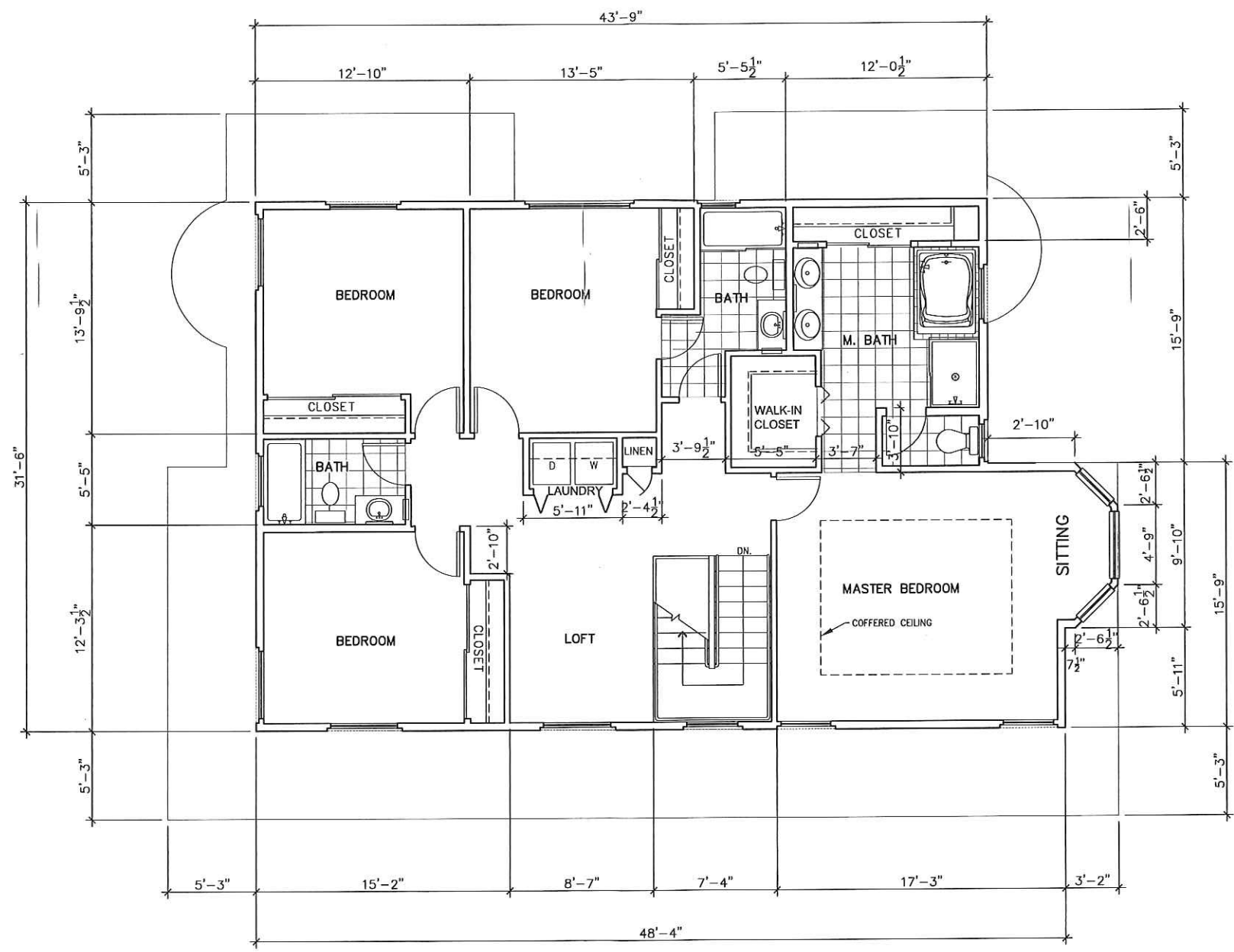
**STAMP**  


**SHEET**  
PARCEL 2  
2ND FLOOR PLAN

ISSUED FOR: PPR SUBMITTAL  
DATE: 7/28/15  
SCALE: AS NOTED  
DRAW: KRM  
DESIGN: KRM  
CHECK:  
JOB No. SCE-15011

REVISIONS	BY

SHEET:  
**A2.4**



**SECOND FLOOR PLAN**   
SCALE 1/4" = 1'-0"

**EXHIBIT** Ap5

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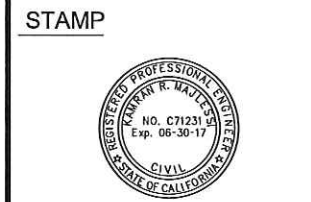
- ELEVATION NOTES:**
- 1 STUCCO
  - 2 CONCRETE "S" TILE ROOFING
  - 3 DOUBLE PANE SLIDING VINYL WINDOW
  - 4 2x FASCIA
  - 5 RAIN WATER LEADER
  - 6 FRENCH DOOR

**CLIENT**

ABDOL DURRANI  
 38765 MISSION BLVD.  
 FREMONT, CA 94536

**PROJECT**

TWO NEW SINGLE-FAMILY HOMES  
 7731 & 7733 SUNSET AVENUE  
 NEWARK, CA 94560



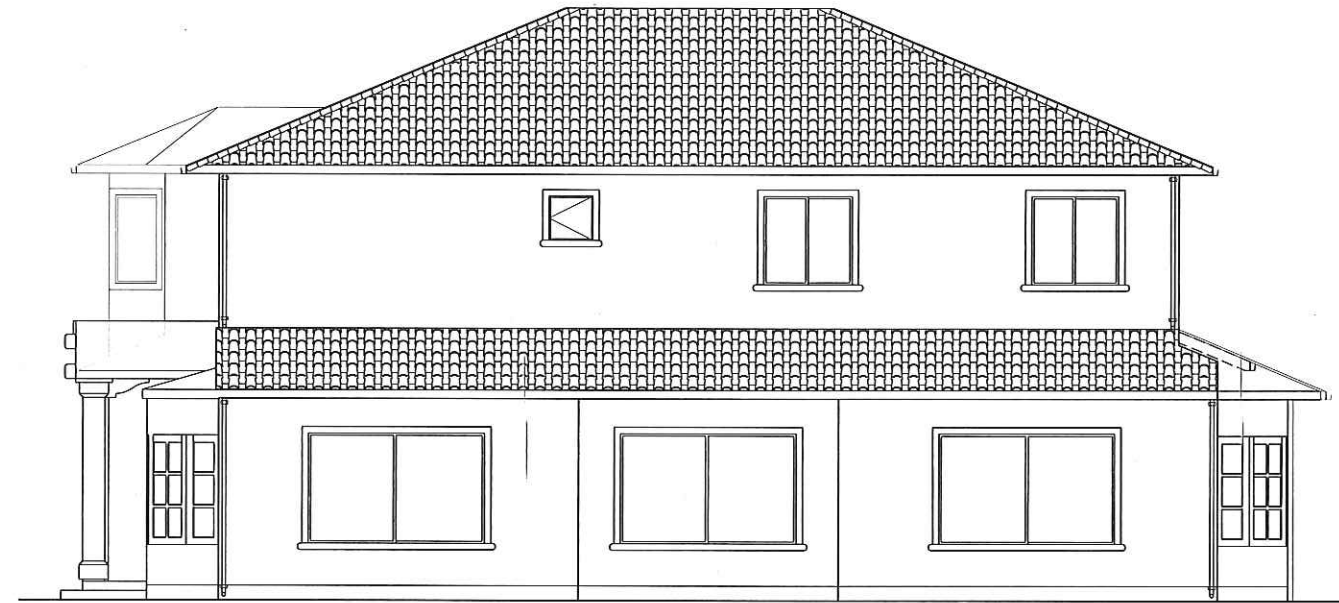
**SHEET**

PARCEL 1  
 ELEVATIONS

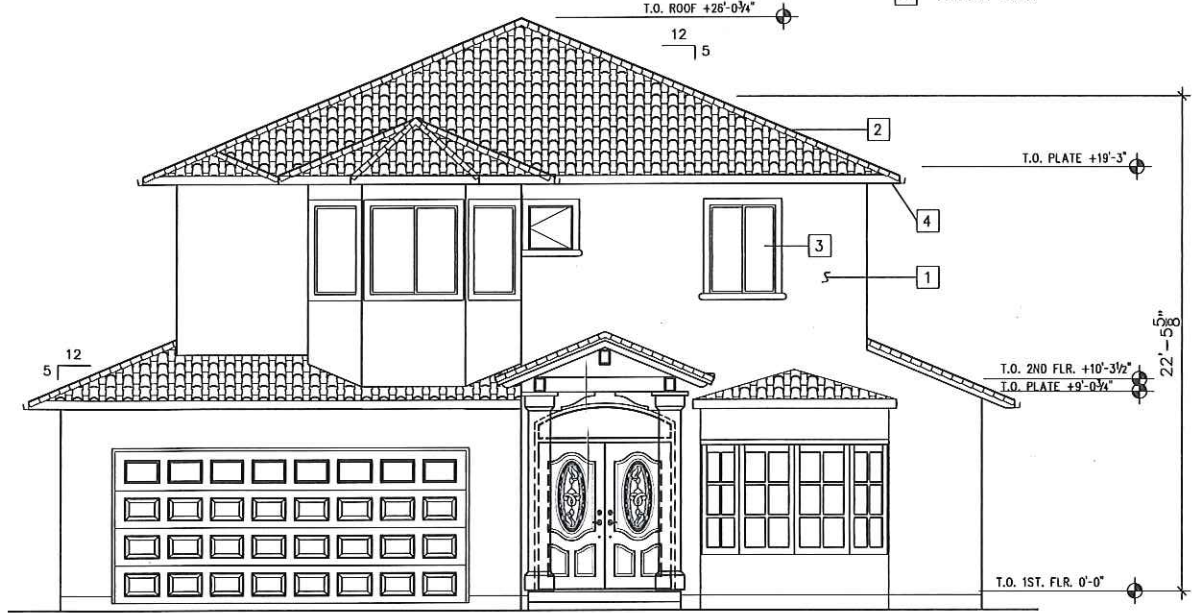
ISSUED FOR: PPR SUBMITTAL  
 DATE: 7/28/15  
 SCALE: AS NOTED  
 DRAW: KRM  
 DESIGN: KRM  
 CHECK:  
 JOB No. SCE-15011

REVISIONS	BY

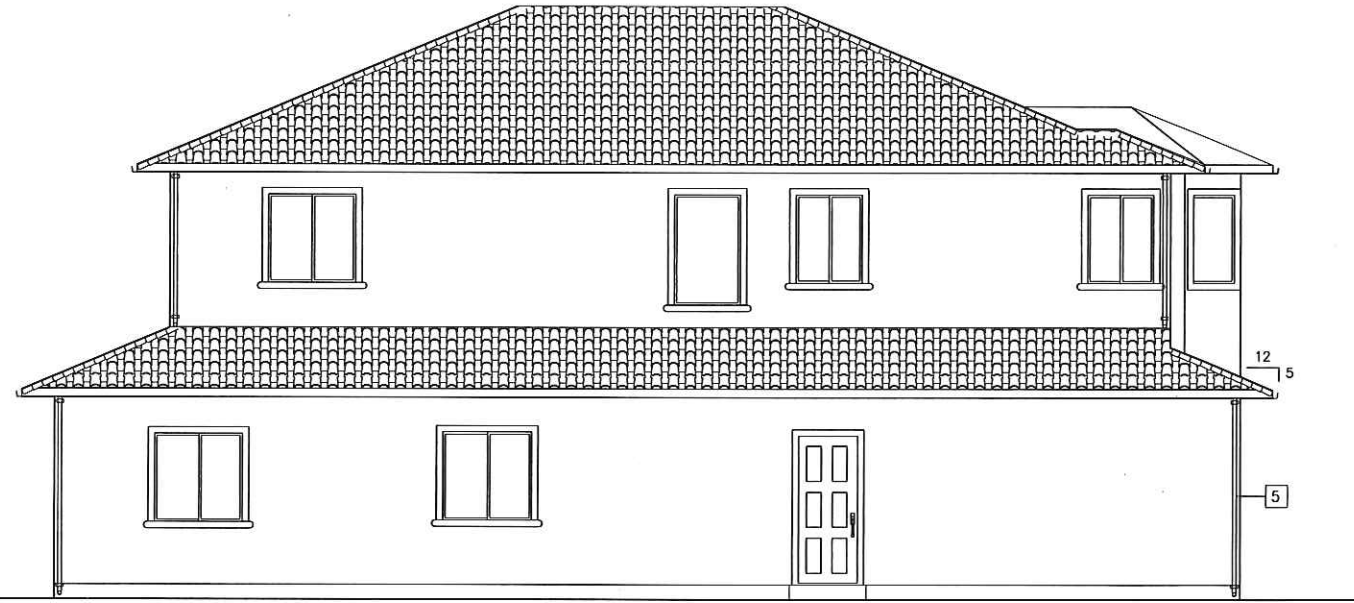
SHEET : **A3.1**



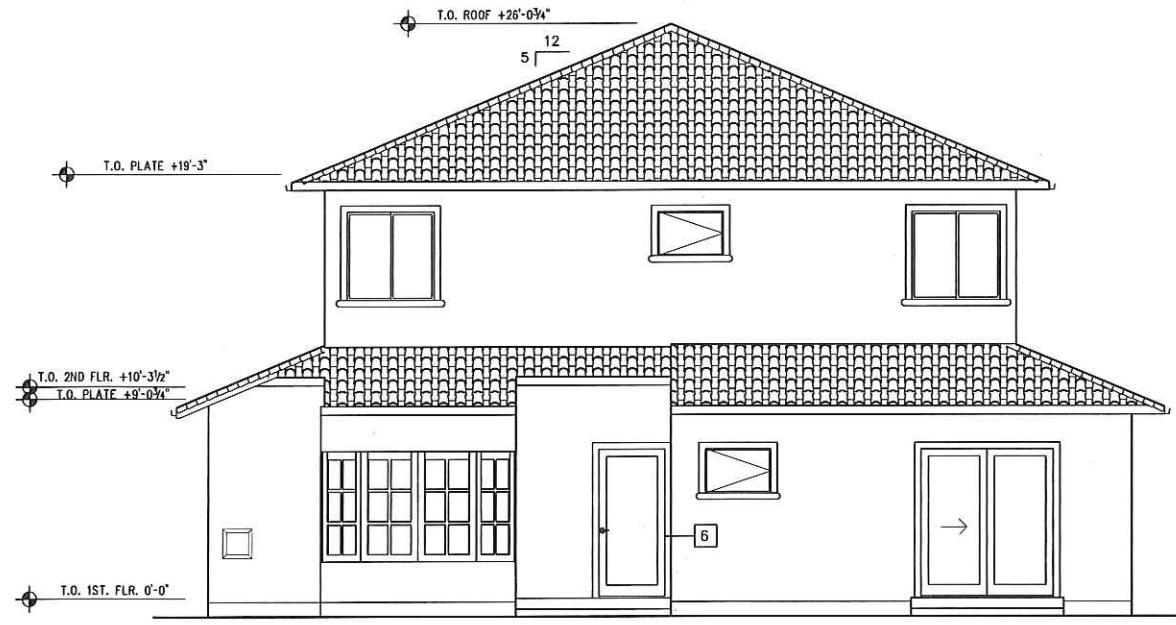
**NORTH ELEVATION**  
 SCALE 1/4" = 1'-0"



**EAST ELEVATION**  
 SCALE 1/4" = 1'-0"



**SOUTH ELEVATION**  
 SCALE 1/4" = 1'-0"



**WEST ELEVATION**  
 SCALE 1/4" = 1'-0"

**EXHIBIT** ApG



**ELEVATION NOTES:**

- 1 STUCCO
- 2 CONCRETE "S" TILE ROOFING
- 3 DOUBLE PANE SLIDING VINYL WINDOW
- 4 2x FASCIA
- 5 RAIN WATER LEADER
- 6 FRENCH DOOR

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**PROJECT**

**TWO NEW SINGLE-FAMILY HOMES**  
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 NEWARK, CA 94560

**STAMP**



**SHEET**

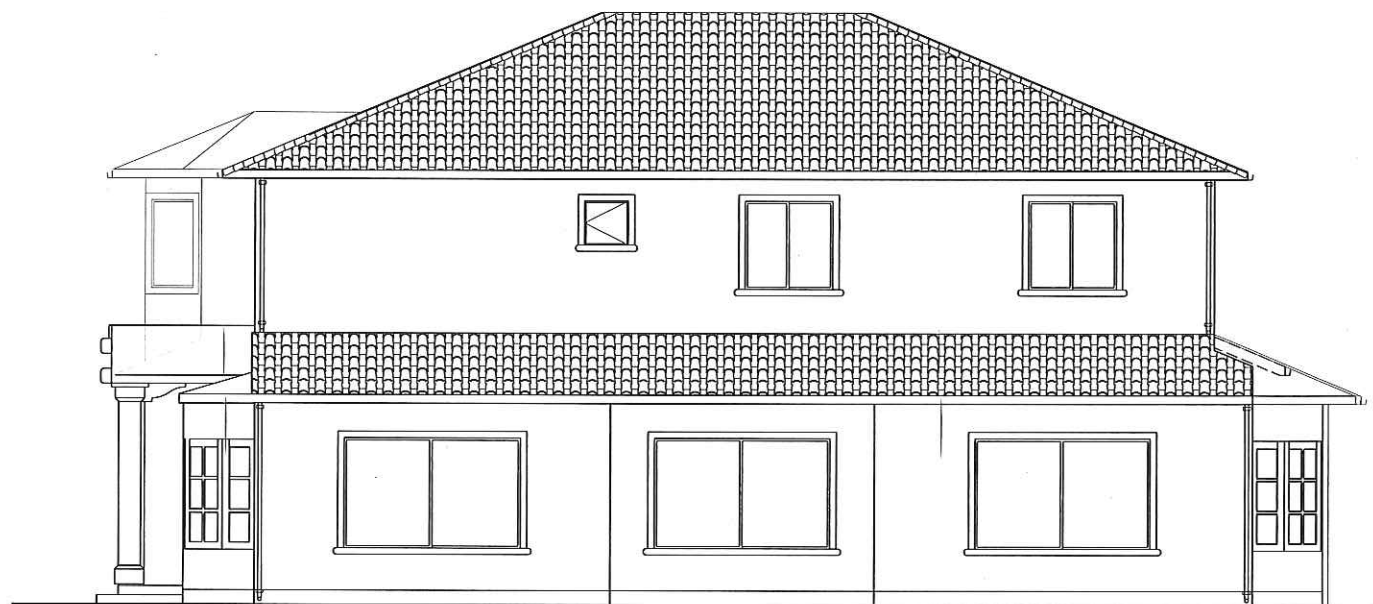
**PARCEL 2 ELEVATIONS**

ISSUED FOR: PPR SUBMITTAL  
 DATE: 7/28/15  
 SCALE: AS NOTED  
 DRAW: KRM  
 DESIGN: KRM  
 CHECK:  
 JOB No. SCE-15011

REVISIONS	BY

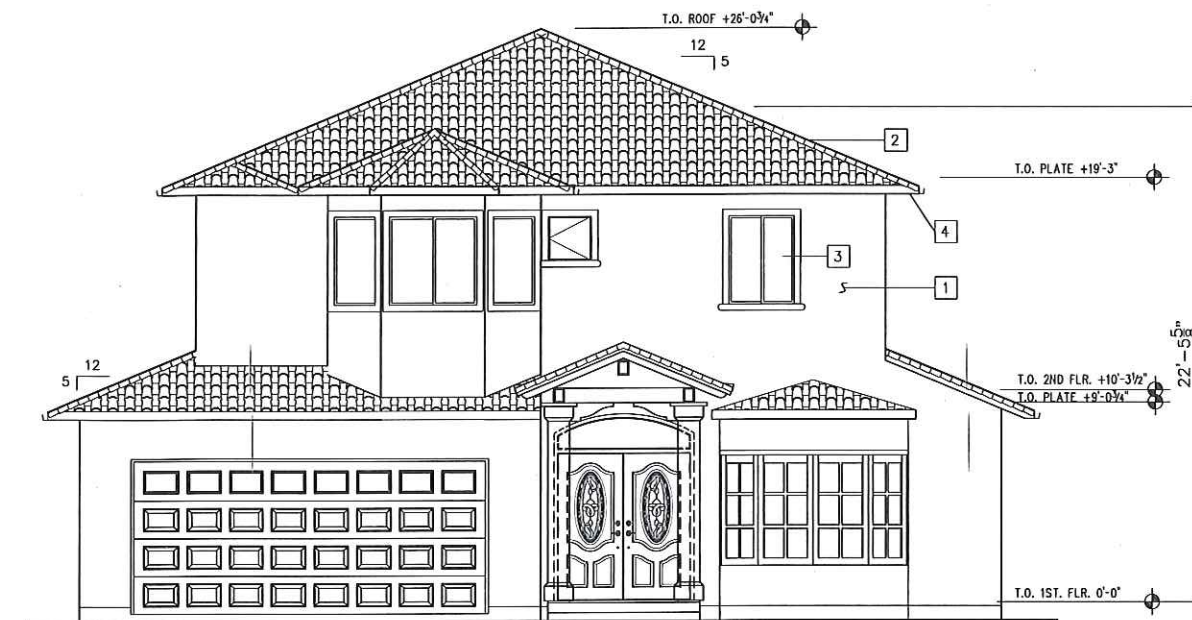
SHEET :

**A3.2**



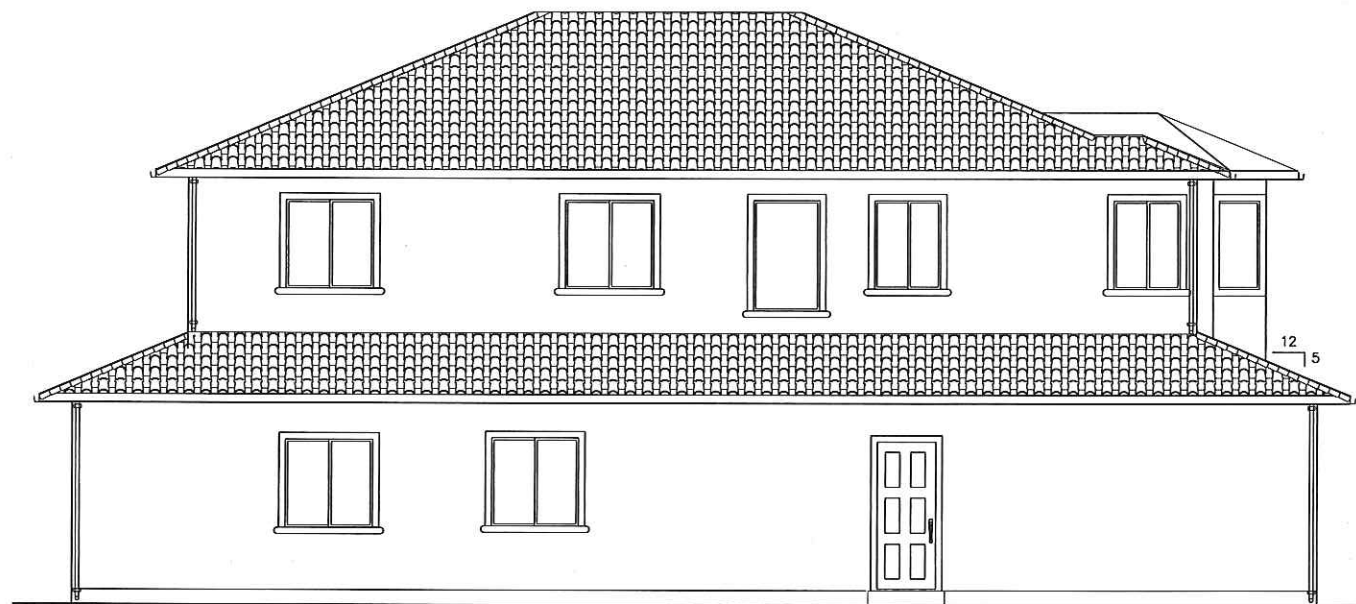
**NORTH ELEVATION**

SCALE 1/4" = 1'-0"



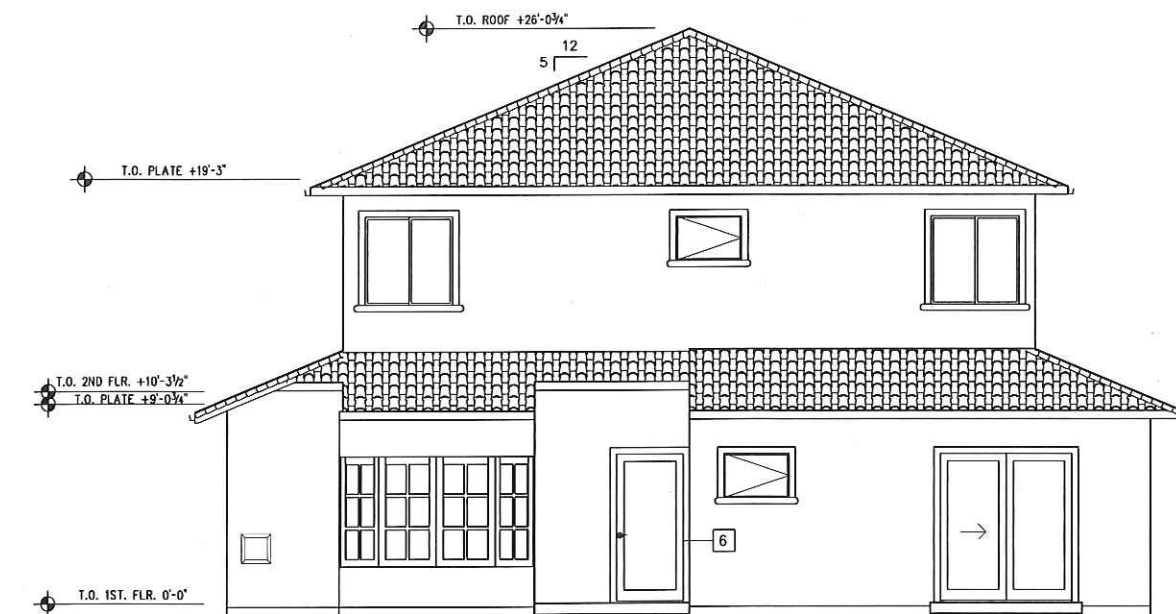
**WEST ELEVATION**

SCALE 1/4" = 1'-0"



**SOUTH ELEVATION**

SCALE 1/4" = 1'-0"

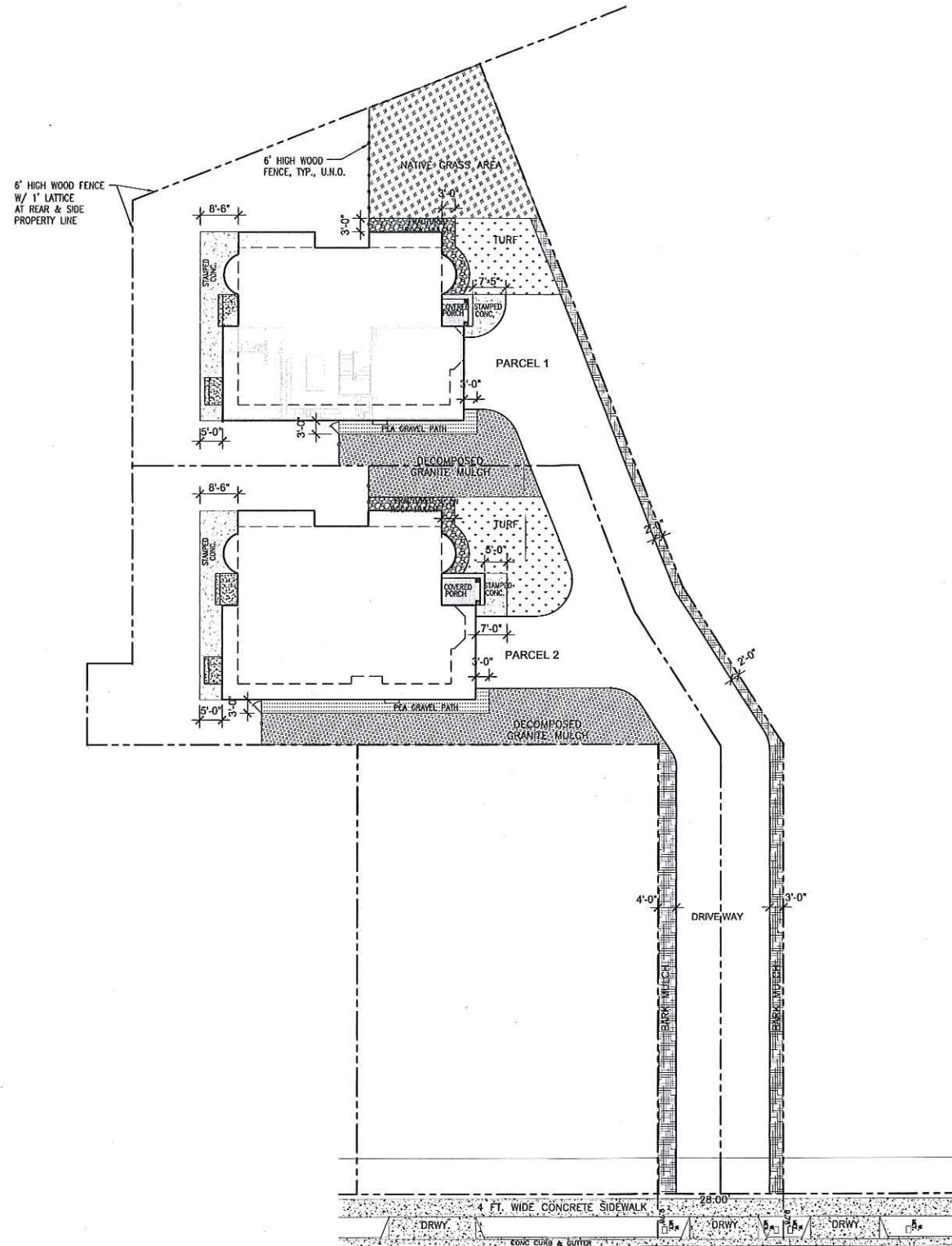


**EXHIBIT** Ap7



**LANDSCAPE NOTES:**

1. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES (E: PAVING, PLUMBING, ELECTRICAL, ETC.)
2. ALL GRADES SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE AFTER IRRIGATION MAINS AND FINAL GRADING IS COMPLETE PRIOR TO PLANTING.
3. SOIL IN PLANTER AREAS SHALL BE AMENDED PER RECOMMENDATIONS PREPARED BY AN AGRICULTURAL SUITABILITY SOIL TESTING SERVICE. FOR BASE BID, THE CONTRACTOR SHALL ASSUME THE FOLLOWING: 6 CY. OF HUMUS PER/1000 SF AND 6 LBS. OF FERTILIZER /1000 SF. INCORPORATED INTO THE TOP 6" OF EXISTING SOIL. ALL SOIL SHALL BE LOOSENEED AND TILLED TO A DEPTH OF 12" IN ALL PLANTER AREAS PRIOR TO AMENDING. RAKE OUT ALL ROCK AND DEBRIS GREATER THAN 1/2" DIAMETER. REFER TO LEGEND NOTE FOR TURF AREAS.
4. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PLANT MATERIAL PER SYMBOLS AND SPACING INDICATED ON THE PLAN. SYMBOLS PREVAIL OVER QUANTITIES LISTED IN THE PLANT LEGEND.
5. PRIOR TO INSTALLATION BY THE DEVELOPER, PLANT SPECIES, LOCATION, CONTAINER SIZE, QUALITY, AND QUANTITY OF ALL LANDSCAPING PLANTS AND MATERIALS SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEER. ALL PLANT REPLACEMENTS SHALL BE TO AN EQUAL OR BETTER STANDARD THAN ORIGINALLY APPROVED SUBJECT TO APPROVAL BY THE CITY ENGINEER. ALL PLANTS NOT MEETING OR EXCEEDING REQUIREMENTS AND RECOMMENDATIONS OF ANSI 260.1 "AMERICAN STANDARD FOR NURSERY STOCK" SHALL BE REJECTED. THE CONTRACTOR SHALL ALSO RECEIVE APPROVAL OF PLANT MATERIAL BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
6. THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE FULL YEAR UPON FINAL ACCEPTANCE OF THE PROJECT.
7. REMOVE ALL WEEDS AND DEBRIS IN AND AROUND NEWLY INSTALLED PLANT MATERIAL. A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTER AREAS PRIOR TO INSTALLATION OF MULCHES.
8. MULCH ALL PLANTING SAUCERS WITH THREE INCHES (3") MINIMUM DEPTH SHREDDED BARK MULCH.
9. ALL SHRUBS SHALL BE ON A TIMER CONTROLLED DRIP IRRIGATION SYSTEM PER THE IRRIGATION PLAN. ALL PLANT MATERIAL ARE LOW TO MEDIUM WATER REQUIREMENTS REGION 2 PER WUCOLS AND ARE SPECIFIED WITH LOWER WATER REQUIREMENTS FOR WATER CONSERVATION, TURF IS MINIMIZED. PLANTS ARE PLACED TO ALLOW FOR GROWTH TO THEIR NATURAL SHAPE TO MINIMIZE MAINTENANCE.
10. ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL TREES WITHIN 10' OF PAVING, 8' FROM CENTER OF THE TREE.
11. MAINTENANCE: ALL LANDSCAPE SHALL BE MAINTAINED IN GOOD CONDITION. DEAD OR DYING PLANT MATERIAL SHALL BE REMOVED AND REPLACED AS REQUIRED. REMOVED PLANT MATERIAL, GRASS CLIPPINGS SHALL BE COMPOSTED BY THE MAINTENANCE CONTRACTOR OR OWNER. PLANTS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORM TO THE EXTENT POSSIBLE, MINIMIZING PRUNING. PLANTERS SHALL BE TREATED WITH ORGANIC FERTILIZERS PER THE SOIL ANALYSIS RECOMMENDATIONS FOR ONGOING MAINTENANCE AFTER INSTALLATION. ALL PLANTERS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE APPLIED EACH YEAR TO MINIMIZE CONTINUAL SPRAYING OF HERBICIDES FOR WEED CONTROL. WEEDS SHALL BE REMOVED BY HAND TO THE EXTENT POSSIBLE ON A REGULAR BASIS.



**LEGEND:**

- DECOMPOSED GRANITE MULCH - PLANTER AREAS AS SHOWN. 3" MINIMUM DEPTH.
- BARK MULCH AREA - 3" OF SHREDDED "WALK-ON" BARK.
- TURF AREA - SOD WITH A TALL FESCUE BLEND AS AVAILABLE FROM LOCAL SOURCE. SOIL SHALL BE RAKED FREE OF ROCK, CONTOURED, ROLLED WITH A WEIGHTED ROLLER AND FERTILIZED PRIOR TO LAYING SOD.
- 1/2" FRACTURED ROCK MULCH - EARTH TONE COLOR TO BLEND WITH PAVERS (OWNER SELECT) 3" MINIMUM DEPTH.
- NATIVE GRASS AREA - NOT DISTURBED, RESEED WITH PAVERS (OWNER SELECT), 3" MINIMUM DEPTH.
- TOPSOIL AREA FOR GARDENING. AMEND TOP 12".

SAMPLES OF ALL MULCHES SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO DELIVERY TO THE SITE.

ALL ROCK SHALL BE WASHED CLEAN OF DIRT AND DEBRIS PRIOR TO DELIVERY TO THE SITE.

PLACE CURVILINEAR HEADER AT EDGE OF PEA GRAVEL PATH. HEADER BOARD SHALL BE 1" x 6" RECYCLED PLASTIC AS MANUFACTURED BY:  
1880 GARDEN TRACT RD.  
RICHMOND, CA 94801  
510-235-9339

TOP OF HEADER BOARD ELEVATION NOT ABUTTING PAVERS OR CONCRETE SHALL BE ESTABLISHED BY FINISHED GRADE IN ACCORDANCE WITH CIVIL ENGINEER'S GRADING PLAN.

ALL CONCRETE HEADER SHALL BE 4" x 6" SQ., POURED IN PLACE. TOP OF HEADER AT SIDE WALKS OR CONCRETE SHALL MATCH TOP OF EXISTING PAVING. HEADER NOT ADJACENT TO SIDEWALKS OR CURBING SHALL BE RECESSED 2" IN FINISHED GRADE PER CIVIL ENGINEER'S DRAWINGS. INSTALLATION OF THE HEADER SHALL NOT COMMENCE UNTIL FINAL GRADING OF THE PLANTER AREAS IS COMPLETE. THE SUBGRADE FOR THE CONCRETE HEADER SHALL BE COMPACTED TO 80% RELATIVE COMPACTION. THE CONCRETE MIX SHALL INCLUDE COLLATED, FIBRILLATED POLYPROPYLENE FIBERS AS MFR. BY FIBERMESH OR APPROVED EQUAL. ADD 1 1/2" LBS. FIBERMESH PER CUBIC YARD OF CONCRETE. CONTRACTION JOINTS SHALL BE PROVIDED A MIN. OF EVERY 3 LF. CONCRETE SHALL BE EARTH TONE COLOR TO BLEND WITH PAVERS. FINAL COLOR SELECTION BY OWNER. TOP OF CONCRETE HEADER ELEVATION, NOT ABUTTING PAVERS OR CONCRETE SHALL BE ESTABLISHED BY FINISHED GRADE IN ACCORDANCE WITH CIVIL ENGINEER'S GRADING PLANS.

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**CLIENT**

**ABDOL DURRANI**  
38765 MISSION BLVD.  
FREMONT, CA 94536

**PROJECT**

**TWO NEW SINGLE-FAMILY HOMES**  
SUNSET AVENUE  
NEWARK, CA 94560

**STAMP**

**SHEET**

**LANDSCAPE PLAN**

ISSUED FOR:	PPR SUBMITTAL
DATE:	7/21/15
SCALE:	AS NOTED
DRAW:	KRM
DESIGN:	KRM
CHECK:	
JOB No.	SCE-15011

REVISIONS	BY

SHEET: **L-1**

SUNSET AVENUE

ELM STREET

**1 LANDSCAPE PLAN**  
SCALE: 1/16" = 1'-0"

**EXHIBIT** *Ap8*



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 SUNSET AVENUE  
 NEWARK, CA 94560

**STAMP**



**SHEET**

**PLANTING PLAN**

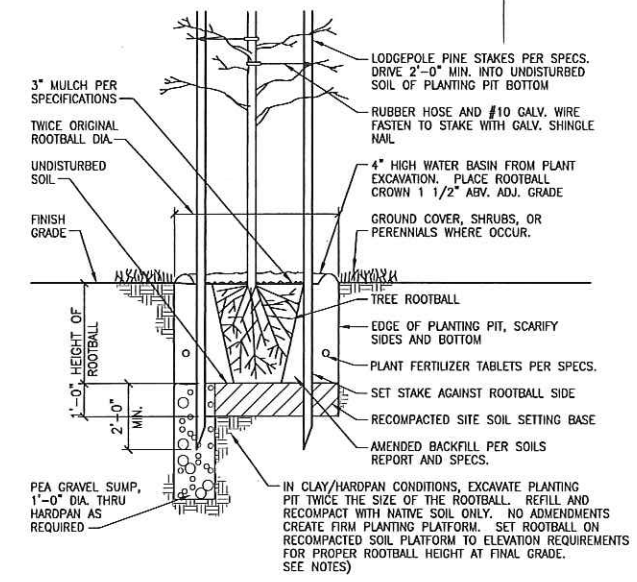
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 CHECK:  
 JOB No. SCE-15011

REVISIONS	BY

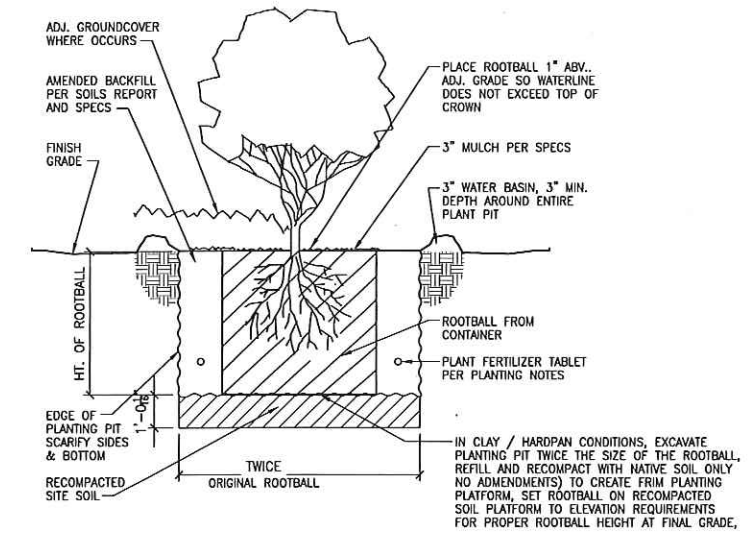
SHEET: **L-2**

**PLANT LIST:**

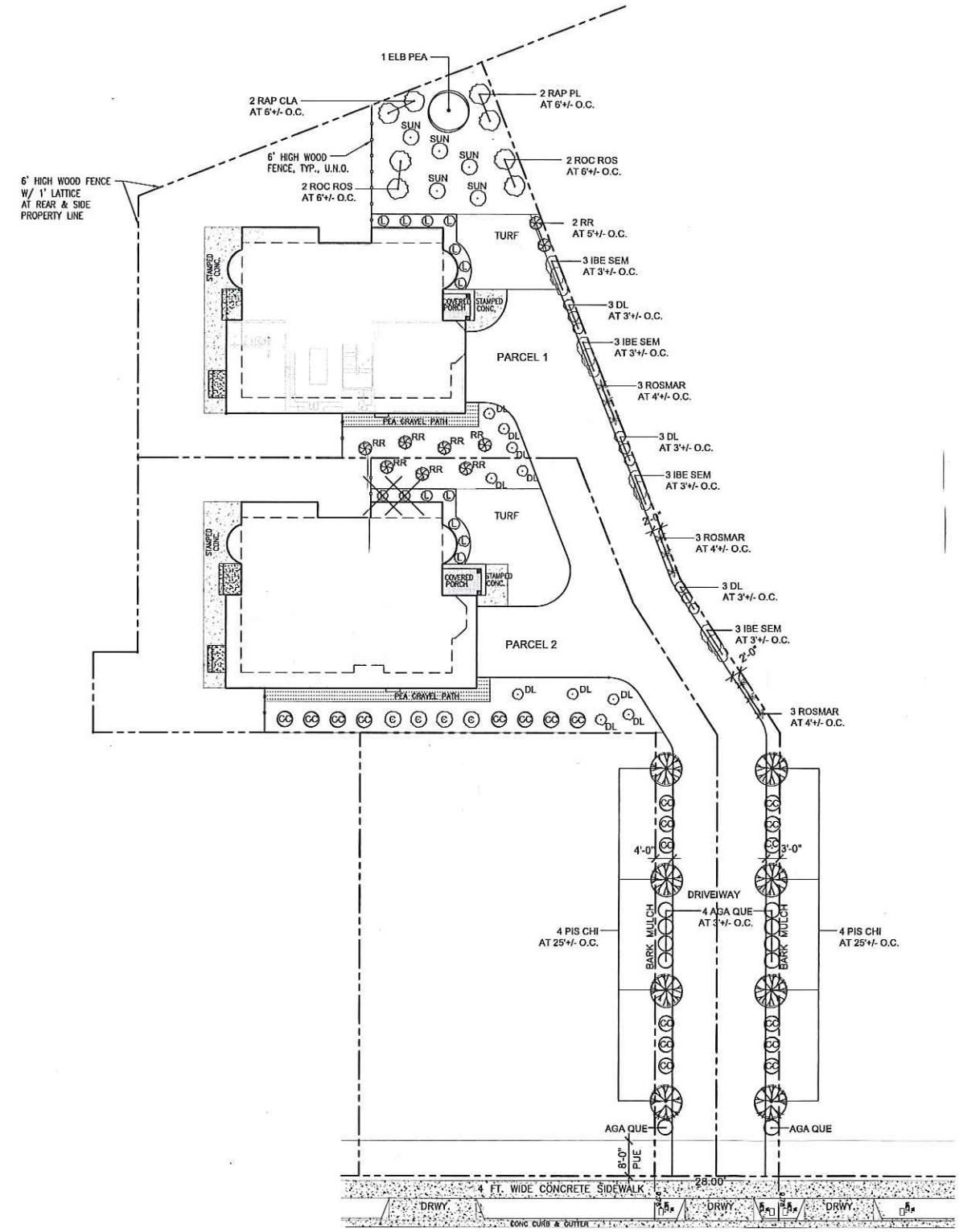
SYMBOL	NO.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USAGE
<b>TREES:</b>					
PIS CHI	8	PISTACHE CHINESIS	CHINESE PISTACHE	15 G.C.	LOW
ELB PEA	1	PRUNUS PERSICA	ELBERTA SEMI-DWARF PEACH	3.25 G.C.	LOW
<b>SHRUBS:</b>					
AGA QUE	10	AGAPANTUS QUEEN ANN	LILY OF THE NILE	1 G.C.	LOW
CC	20	CARPENTERIA CALIFORNICA	BUSH ANEMONE	1 G.C.	LOW
ROC ROS	4	CISTUS PURPUREUS	ROCK ROSE	5 G.C.	LOW
RAP PL	2	RAPHOLEPIS INDICA	PINK LADY	5 G.C.	LOW
RAP CLA	2	RAPHOLEPIS INDICA	CLARA	5 G.C.	LOW
C	4	CALISTEMON C. LITTLE JOHN	DWARF BOTTLEBRUSH	5 G.C.	LOW
<b>GROUNDCOVERS:</b>					
IBE SEM	12	IBERIS SEMPERVIRENS	EVERGREEN CANDYTUFT	1 G.C.	LOW
L	14	LANTANA M. "GOLD RUSH"	LANTANA	1 G.C.	LOW
RR	9	ROSA MEIDLAND RUBY	RED ROSE	5 G.C.	MEDIUM
ROSMAR	9	ROSMARINUS OFFICINALIS	HUNTINGTON BLUE ROSEMARY	1 G.C.	LOW
SUN	5	HELIANTHEMUM WISELY PINK	WISELY PINK SUNROSE	1 G.C.	LOW
<b>PERENNIALS:</b>					
DL	19	HEMEROCALLIS HAPPY RETURNS	DAYLILY	1 G.C.	LOW



**2 TREE PLANTING DETAIL**  
 SCALE: N.T.S.



**3 SHRUB PLANTING DETAIL**  
 SCALE: N.T.S.



SUNSET AVENUE

ELM STREET

**1 PLANTING PLAN**  
 SCALE: 1/16" = 1'-0"

**EXHIBIT A09**





**G.1 JS-15-8, a Joint Staff Committee Review, to construct a duplex at 37070 Locust Street (APN: 92-126-13-2) – from Assistant City Manager Grindall. TG  
(REVIEW OPTIONAL)**

**Background/Discussion** – Mr. Lawrence Baca, has submitted an application to construct a duplex at 37070 Locust Street. Attached is Exhibit A, pages 1 through 7.

The site is located on the north side of Locust Street between Thornton Avenue and the railroad tracks. It is zoned R2500 (Medium Density Residential) and has a Low-Medium Density Residential General Plan Designation. A duplex is a permitted use in this zoning district, subject to obtaining Joint Staff Committee Review approval.

Each unit has 3 bedrooms. One unit has a bedroom on the first floor, while the other unit provides all three bedrooms on the second floor. The appearance of the proposed two-story building is minimized by setting the staggering the units side-by-side, with a garage at the front giving the appearance of a single unit. To the side of the garage is a covered front porch highlighted by decorative columns that are incorporated along the entire frontage of the building. Exterior materials consist of stucco and a composition shingle roof. A condition of approval requires the final exterior colors to be submitted for staff review and approval. The City's off-street parking requirement is satisfied by the two-car garage, two uncovered parking spaces, and an uncovered guest parking space. The area between the uncovered parking spaces and the front of the lot will be landscaped and include a berm to help screen this parking area from street view.

The Joint Staff Committee has approved this application with Exhibit A, pages 1 through 7, and the conditions in the attached letter.

Environmental Review

This project is categorically exempt from the California Environmental Quality Act (CEQA) per Section 15303, Class 3, new construction of small structures.

**Attachment**

**Action** – Planning Commission review of this item is optional.



CITY OF NEWARK, CALIFORNIA

37101 Newark Boulevard • Newark, California 94560-3796 • (510) 578-4000 • FAX (510) 578-4306

SENT VIA MAIL & EMAIL (larry@bacaconstruction.com)

February 11, 2016

Mr. Lawrence Baca  
35120 Buckingham Court  
Newark, CA 94560

Dear Mr. Baca:

**SUBJECT: JOINT STAFF COMMITTEE REVIEW APPROVAL FOR A NEW  
DUPLEX AT 37070 LOCUST STREET (APN: 92-126-13-2) – CITY FILE  
NO. JS-15-8**

The Joint Staff Committee has reviewed and approved your application to construct a new duplex at 37070 Locust Street, with Exhibit A, pages 1 through 7, subject to the following conditions:

Planning Division

- a. There shall be no roof-mounted equipment.
- b. All lighting shall be directed on-site so as not to create glare off-site.
- c. Construction site trailers and buildings located on-site shall be used for office and storage purposes and shall not be used for living or sleeping quarters. Any vehicle or portable building brought on the site during construction shall remain graffiti free.
- d. Lot cleaning with sweeping or vacuum equipment shall not be permitted between 7:00 p.m. and 8:00 a.m.
- e. The site and its improvements shall be maintained in a neat and presentable condition, to the satisfaction of the Community Development Director. This shall include, but not be limited to, repainting surfaces damaged by graffiti and site clean-up. Graffiti removal/repainting and site clean-up shall occur on a continuing as-needed basis.
- f. All exterior pipes and meters shall be painted to match and/or complement the color of the

(tg0223m4)

adjoining building surface, as approved by the Community Development Director.

- g. Prior to the issuance of building permit
- h. Prior to issuance of a grading permit, measures shall be put in place to respond to and track complaints pertaining to construction noise and shall include, at a minimum: (1) a procedure and phone numbers for notifying the City of Newark Building Inspection Division and Newark Police Department (during regular construction hours and off-hours); and (2) a sign posted on-site pertaining to the permitted construction days and hours and complaint procedures and who to notify in the event of a problem. The sign, to be approved by the City prior to installation, shall also include a list of both the City and construction contractor's telephone numbers (during regular construction hours and off-hours).
- i. Prior to the issuance of a building permit, the location and screening design for any centralized garbage, refuse and recycling collection areas for the project shall be submitted for the review and approval of Republic Services of Alameda County and the Community Development Director, in that order. The enclosure shall be sited such that the enclosure's doors, when open, do not extend into drive aisles/back-up areas. No refuse, garbage or recycling shall be stored outdoors except within approved trash and recycling enclosures.
- j. During project construction, if historic, archeological or Native American materials or artifacts are identified, work within a 50-foot radius of such find shall cease and the City shall retain the services of a qualified archeologist and/or paleontologist to assess the significance of the find. If such find is determined to be significant by the archeologist and/or paleontologist, a resource protection plan conforming to CEQA Section 15064.5 shall be prepared by the archeologist and/or paleontologist and approved by the Community Development Director. The plan may include, but would not be limited to, removal of resources or similar actions. Project work may be resumed in compliance with such plan. If human remains are encountered, the County Coroner shall be contacted immediately and the provisions of State law carried out.
- k. Prior to their installation, mailbox locations and designs shall be approved by the Community Development Director and Newark Postmaster, in that order. The mailbox compartments of centralized mailboxes shall identify the individual dwelling units with permanent, easily legible lettering.
- l. Prior to the issuance of a Certificate of Occupancy, the developer shall install fencing approved by the Community Development Director.
- m. Proposed building colors shall be submitted for the review and approval of the Community Development Director.
- m. Prior to the issuance of a building permit, the developer shall pay the following fees, in the amount in effect at the time: public safety impact (currently \$2,079 per unit); community service and facilities (currently \$1,596 per unit); transportation impact (currently \$460 per unit); Art in Public Places and Private Development fee (currently \$270 per unit); Housing



Impact fee (currently \$20 for the first 1,000 square feet of each unit + \$8 square foot for all square footage over 1,000 square feet); and the Community Development Maintenance fee (currently 0.5% of construction valuation).

Engineering Division

- n. The project must be designed to minimize pollution or contamination of stormwater runoff from the site to satisfy permit requirements under the Municipal Regional Stormwater Permit (MRP) issued to the City of Newark by the San Francisco Bay Regional Water Quality Control Board as Order No. 2015-0049, approved November 19, 2015. Provision C.3.i of this permit requires any detached single-family home projects that create and/or replace 2,500 square feet or more of impervious surface area to implement specific site design measures that may include directing stormwater runoff from impervious surfaces to vegetated areas or for re-use. All site design measures must be constructed and fully functional prior to a Certificate of Occupancy.
- o. The developer shall submit a grading and drainage plan for review and approval by the City Engineer. This plan must be based upon a City benchmark and needs to include pad and finish floor elevations of the proposed structure, proposed on-site property grades, proposed elevations at property lines, and sufficient elevations on all adjacent properties to show existing drainage patterns. All pavements shall drain at a minimum of one percent. The developer shall ensure that all upstream drainage is not blocked and that no ponding is created by this development. Any construction necessary to ensure this shall be the developer's responsibility.
- p. Where a grade differential of more than a 1-foot is created along the boundary lot lines between the proposed development and adjacent property, the developer shall install a masonry retaining wall unless a slope easement is approved by the City Engineer. Said retaining wall shall be subject to review and approval of the City Engineer.
- q. Prior to issuance of a Certificate of Occupancy or release of utilities for any building, common vehicle access ways and parking facilities serving said building shall be paved in accordance with the recommendation of a licensed engineer based on a Traffic Index of 5.0 and striped as shown on the approved site plan.
- r. Prior to issuance of a Certificate of Occupancy or release of utilities for each dwelling unit, the on-site drive aisles and uncovered parking facilities shall be installed and striped as shown on the approved site plan. All on-site uncovered parking facilities and drive aisles shall be drained at a minimum slope of 1.0% for asphalt surfaces and 0.3% for Portland cement concrete surfaces.
- s. All utilities including, but not limited to, electric, telephone and cable television services should be provided underground for the proposed duplex building in the development in accordance with the City of Newark Subdivision Standards. Where existing services are provided overhead, the developer may provide new service drops to the building, but shall enter into an agreement with the City of Newark to pay for the cost of future undergrounding

services along the project frontage at such time as an undergrounding project takes place on this segment of Locust Street.

- t. Any proposed utility connections and/or underground work within structurally sound street pavement must be bored or jacked. Open street cuts will not be permitted on Locust Street without approval by the City Engineer.
- u. Prior to the issuance of a Certificate of Occupancy for any proposed improvements, any and all damage to public improvements as a result of construction activity associated with this project shall be repaired to the satisfaction of the City Engineer.

Landscape/Parks Division

- v. The developer shall retain a licensed landscape architect to prepare working drawings for landscape plans in accordance with City of Newark requirements. All landscape plans are subject to the review and approval of the City Engineer.
- w. Landscape construction plans shall be developed in accordance with Newark Municipal Code Section 15.44.080 related to Bay Friendly Landscaping Practices and City of Newark standard details. All landscaping materials selected for landscape-based stormwater treatment measures shall be consistent with the recommendations in the Alameda Countywide Clean Water Program C.3 Technical Guidance Manual.
- x. This project is subject to all applicable requirements of the State of California's Model Water Efficient Landscape Ordinance, as approved on July 15, 2015. The landscape design plan package, including the design plans, shall include all applicable requirements specified in this ordinance.
- y. Prior to installation by the developer, plant species, location, container size, quality, and quantity of all landscaping plants and materials shall be reviewed and approved by the City Engineer. All plant replacements shall be to an equal or better standard than originally approved subject to approval by the City Engineer.
- z. Prior to the release of utilities or issuance of any Certificate of Occupancy, all landscaping and irrigation systems shall be completed or guaranteed by a cash deposit deposited with the City in an amount to cover the remainder of the work.
- aa. Prior to issuance of Certificate of Occupancy or release of utilities, the developer shall guarantee all trees for a period of 6 months and all other plantings and landscape for 60 days after completion thereof. The developer shall insure that the landscape shall be installed properly and maintained to follow standard horticultural practices. All plant replacements shall be to an equal or better standard than originally approved subject to approval of the City Engineer.
- bb. Any above ground utility structures, including backflow prevention devices, and appurtenances, shall be installed within the developer's property line and a minimum of 10

feet behind the street face of curb. The backflow prevention devices shall have a green painted security cage to protect it from vandalism. These locations shall be screened with landscaping to the satisfaction of the City Engineer. The landscape screen shall not interfere with the utility companies' or City Fire Department's access.

#### Fire Department

- cc. Final plans shall show the location of the fire hydrant and the distance from the property to the hydrant.

#### Building Division

- dd. Construction for this project, including site work and all structures, can occur only between the hours of 8:00 AM and 6:00 PM, Monday through Friday. The applicant may make a written request to the Building Official for extended working hours and/or days. In granting or denying any request the Building Official will take into consideration the nature of the construction activity which would occur during extended hours/days, the time duration of the request, the proximity to residential neighborhoods and input by affected neighbors. All approvals will be done so in writing.
- ee. Prior to the issuance of a building permit from the City of Newark and prior to the commencement of any demolition at the subject site the applicant shall obtain a demolition permit for both buildings on the site from the Bay Area Air Quality Management District (BAAQMD). The district is located at 939 Ellis Street, San Francisco, CA 94109. Their phone number is 415-928-8560. In addition to the BAAQMD permit the applicant shall obtain demolition permits for the City Building Inspection Division.

#### General

- ff. All proposed changes from approved exhibits shall be submitted to the Community Development Director who shall decide if they warrant Joint Staff Committee Review and, if so decided, said changes shall be submitted for the Committee's review and decision. The developer shall pay the prevailing fee for each additional separate submittal of development exhibits requiring Joint Staff Committee review and approval.
- gg. If any condition of this Joint Staff Committee Review be declared invalid or unenforceable by a court of competent jurisdiction, this Joint Staff Committee Review shall terminate and be of no force and effect, at the election of the City Council on motion.
- hh. The Joint Staff Committee Review shall be transmitted to the Planning Commission and City Council. Both the Commission and Council have the option to call this item up for review, at which time they may add, delete, or modify conditions of approval.
- ii. The developer hereby agrees to defend, indemnify, and save harmless the City of Newark, its Council, boards, commissions, officers, employees and agents, from and against any and all claims, suits, actions, liability, loss, damage, expense, cost (including, without limitation,

attorneys' fees, costs and fees of litigation) of every nature, kind or description, which may be brought by a third party against, or suffered or sustained by, the City of Newark, its Council, boards, commissions, officers, employees or agents to challenge or void the permit granted herein or any California Environmental Quality Act determinations related thereto.

- jj. The Conditions of Project Approval set forth herein may include certain fees, dedication requirements, reservation requirements and other exactions. Pursuant to Government Code Section 66020(d)(1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations and other exactions. The developer is hereby further notified that the 90-day approval period in which the developer may protest these fees, dedications, reservations and other exactions, pursuant to Government Code Section 66020(a), has begun. If the developer fails to file a protest within this 90-day period complying with all of the requirements of Section 66020, the developer will be legally barred from later challenging such exactions.

The approval must now be transmitted to the Planning Commission and City Council. The Commission and Council each have the option to call this item up for review, adding, modifying or deleting conditions of approval. The Planning Commission is scheduled to receive this item at its February 23, 2016 meeting and the City Council is scheduled to receive this item at its March 25, 2016 meeting. If both the Planning Commission and City Council do not elect to review this approval, your project will be considered approved per the conditions herein and your next step is to apply for a Building Permit with the Building Inspection Division. If either the Commission or Council elect to review the action of the Joint Staff Committee, you will be notified of the date of the meeting when your project will be considered.

Please contact me if you have any questions. I can be reached at (510) 578-4242 or via email at [clay.colvin@newark.org](mailto:clay.colvin@newark.org).

Sincerely,



CLAY COLVIN  
Planning Manager



**GENERAL NOTES**

- ALL CONSTRUCTION WORK AND ITS FINISHED PRODUCT SHALL COMPLY WITH STATE CODES, CITY ORDINANCES.
- THE ISSUANCE OF A BUILDING PERMIT SHALL NOT BE CONSTRUED AS A GUARANTEE THAT ALL CODE REQUIREMENTS ARE REFLECTED IN THE DOCUMENTS. NO GUARANTEE OF CONSTRUCTION QUALITY IS IMPLIED OR INTENDED BY THIS ARCHITECTURAL DOCUMENTS. THE GENERAL CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- BUILDER SET DEFINITION:** THESE PLANS ARE A "BUILDER SET". IT CONTAINS INFORMATION FOR BUILDING PERMIT AND GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT EXHAUSTIVELY DETAILED NOR ARE FULLY SPECIFIED. THIS HAS BEEN PRODUCED FOR THE USE OF A KNOWLEDGEABLE AND EXPERIENCED CONTRACTOR. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY, SELECT, SOLVE, AND INSTALL ALL MATERIALS & EQUIPMENT CORRECTLY.
- BY EXECUTING CONTRACTS, PRIOR TO COMMENCING ANY WORK OR ORDERING ANY MATERIAL, CONTRACTOR REPRESENT THAT THEY HAVE:
  - 4.1. VERIFIED EXISTING JOB SITE CONDITIONS AND SURROUNDINGS, LOCATIONS OF ALL UTILITY LINES, CONDUITS, SURFACE OR SUBSURFACE STRUCTURES, ETC. AND OF ANY NATURE THAT MAY BE AFFECTED BY THE WORK AND MADE DUE ALLOWANCES FOR DIFFICULTIES.
  - 4.2. CONTRACTOR TO VERIFY ALL MEASUREMENTS SHOWN ON THESE DRAWINGS WHICH SUPERCEDES SCALE OF DRAWINGS.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OR OWNER OF ANY CONFLICTS, INCONSISTENCIES THEY DISCOVER WITHIN THE DRAWINGS OR EXISTING FIELD CONDITION PRIOR TO CONTINUE THE WORK IN THE AFFECTED AREA. IF THE AFFECTED AREA WORK IS CONTINUED WITHOUT ARCHITECT/ENGINEER CLARIFICATION, INSTRUCTION, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY CHANGES, DEFECTS.
- THE CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT AND HIS/HER CONSULTANTS FROM ANY ACTION INITIATED BY THE OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT AND ITS ASSOCIATES CONSULTANT.
- CONTRACTOR SHALL ACCEPT AND MAINTAIN THE EXISTING SITE, SURROUNDINGS, CONDITION, AND PROTECT NEW AND EXISTING WORK, EQUIPMENT, MATERIALS, DAMAGES CAUSED BY CONTRACTOR NEGLIGENCE, SHALL BE REPAIRED, REPLACE AS GOOD CONDITION AS BEFORE, AT THE EXPENSE OF THE CONTRACTOR.
- DEMOLITION SHALL BE DONE IN A SAFE, ORDERLY MANNER WITHOUT DAMAGING TO OTHER PARTS OF THE PREMISES OR ADJACENT PROPERTIES. ALL DEMOLISHED/REMOVED ITEMS SHALL BE DISPOSED OFF BY THE CONTRACTOR PER CITY OF FREMONT CONSTRUCTION & DEMOLITION WASTE MANAGEMENT ORDINANCE, AND VERIFY WITH THE OWNER ON ITEMS TO BE SAVED AND STORED. ALL REMOVED ITEMS TO BE SAVED FOR REUSE SHALL BE HANDLED WITH CARE.

**PROJECT DATA**

APN: 92-126-13

**ZONING REQUIREMENTS:**  
 Front Yard: 20'  
 Rear Yard: 10' (Subject to Exception)  
 Side Yard L (1st Floor): 5' = (10% of Lot Width)  
 Side Yard R (1st Floor): 5' = (10% of Lot Width)  
 Side Yard L (2nd Floor): 10' = (22'-4" - 12') - 5'  
 Side Yard R (2nd Floor): 10' = (22'-4" - 12') - 5'  
 Maximum Height: 30'

**OCCUPANCY:** R-2500 Medium Density Residential  
**CONSTRUCTION TYPE:** V-N Wood Frame  
**FIRE SPRINKLERS:** Yes  
**NUMBER OF STORIES:** 2-Story

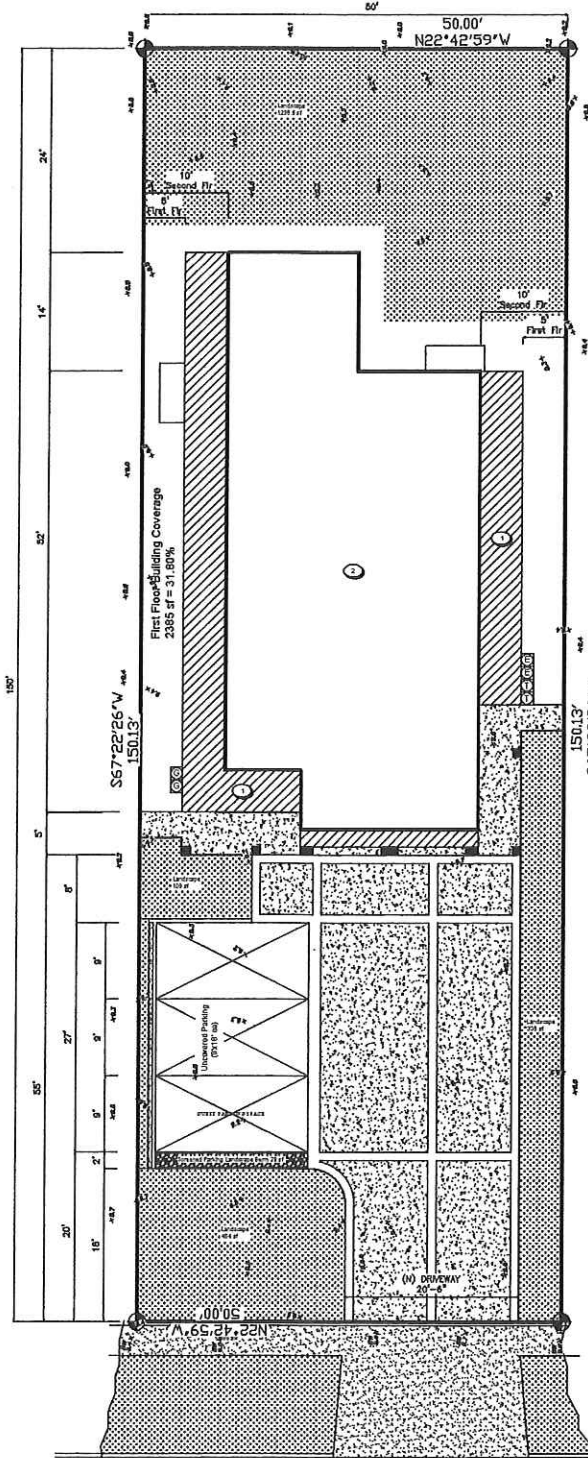
PROJECT DATA:	Unit A	Unit B	TOTALS
First Floor Living Area:	1213 sf	689 sf	1902 sf
Second Floor Living Area:	686 sf	689 sf	1375 sf
Covered Garage:			483 sf
<b>TOTALS:</b>	<b>2099 sf</b>	<b>1577 sf</b>	<b>4159 sf</b>

**LOT COVERAGE:**  
 Lot Size: 7500 sf = 50'x150'  
 Lot Coverage Max: 2825 sf = 35%  
 Lot Coverage Total: 2385 sf = 31.80%  
 Covered Porch Area: 159 sf  
 Usable Open Space Req: 900 sf = 12%  
 Usable Open Space Total: 1875 sf = 25%  
 Landscape Area Req (Total): 337 sf = 4.5%  
 Landscape Area Req (Front): 939 sf = 12.5%  
 Landscape Area (Front): 1288.5 sf = 17.16%  
 Total Landscape Area: 2,224.5 sf = 29.65%  
 Parking Covered (10x20): 1 per unit = 2 total  
 Parking Uncovered (9x18): 1 per unit = 2 total

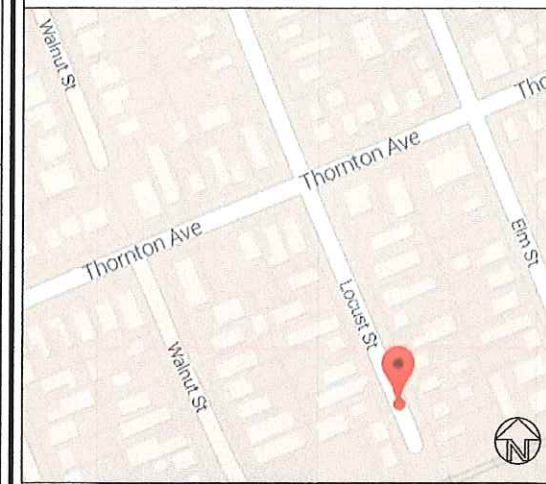
THIS PROJECT WILL REQUIRE THE INSTALLATION OF A FULLY AUTOMATIC FIRE SPRINKLER SYSTEM. PRIOR TO INSTALLATION OF THE FIRE SPRINKLER SYSTEM PROVIDE CONSTRUCTION DRAWINGS TO THE ALAMEDA COUNTY FIRE DEPARTMENT FOR REVIEW AND PERMIT ISSUANCE. THE ALAMEDA COUNTY FIRE DEPARTMENT PROVIDES FIRE PREVENTION SERVICES TO THE CITY OF NEWARK AND HAS OFFICES LOCATED IN CITY ADMINISTRATION BUILDING, 37101 NEWARK BLVD, NEWARK CA 94560

**RAM-SINGH RESIDENCE**

37070 LOCUST ST.  
 NEWARK, CA 94560



**VICINITY MAP**



**APPLIED CODES**

- 2013 CALIFORNIA BUILDING CODE
- 2013 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2013 CALIFORNIA ENERGY CODE
- 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2013 CALIFORNIA FIRE CODE

All construction activities shall be limited to the following hours:  
 Monday through Friday : 8 AM to 6 PM  
 Saturday & Sundays : No construction activities allowed

THE LOCATION, BOTH VERTICAL (ELEVATION ABOVE CURB, GRADE, ETC.) AND HORIZONTAL (DISTANCE TO PROPERTY LINES, OTHER BUILDINGS, ETC.), OF THE PROPOSED BUILDINGS STRUCTURE AS SHOWN ON THE CITY APPROVED SET OF CONSTRUCTION DOCUMENTS SHALL BE CERTIFIED BY A CALIFORNIA LICENSED CIVIL ENGINEER WITH A LICENSE NUMBER BELOW 33966, OR A LAND SURVEYOR. SUCH CERTIFICATION SHALL BE PROVIDED TO THE BUILDING INSPECTOR PRIOR TO THE FIRST INSPECTION IN WHICH THE CORNERS OF THE STRUCTURE AND FINISH FLOOR ELEVATION CAN BE IDENTIFIED. THIS COMMONLY OCCURS WHEN THE FLOOR SLAB FORMS ARE IN PLACE. (CBC 1805.3.4, NMC 17.16)

**CITY APPROVAL**

**COVER SHEET, SITEPLAN & GENERAL NOTES**

General Notes

**L.E. BACA CONSTRUCTION**

Architecture - Engineering - Construction

35120 Buckingham Ct, Newark, CA 94560  
 Lic # 450041  
 510-912-0911

**SHEET INDEX**

- A 1.0 COVER SHEET, SITE PLAN + NOTES
- A 1.1 EXISTING & DEMO SITE PLAN
- A 1.2 BEST MANAGEMENT PRACTICES
- A 2.0 PROPOSED 1st FLOOR PLAN
- A 3.0 PROPOSED 2nd FLOOR PLAN
- A 4.0 SECTIONS + ROOF PLAN
- A 5.0 ELEVATIONS
- A 6.0 ELEVATIONS + STAIRS DETAIL
- A 7.0 RCP + ME 1st FLOOR PLAN
- A 8.0 RCP + ME 2nd FLOOR PLAN
- EN TITLE 24 CALCULATION
- M 1.0 MECHANICAL PLAN
- L 1 LANDSCAPE PLAN
- L 2 LANDSCAPE NOTES
- C 1.0 TITLE SHEET
- C 2.0 PRELIMINARY GRADING & DRAINAGE PLAN
- C 3.0 GRADING SPECIFICATION
- C 4.0 DETAILS
- C 5.0 DETAILS
- ER 1 EROSION CONTROL PLAN
- ER 2 EROSION CONTROL DETAILS
- S 1.0 STRUCTURAL PLAN

**SCOPE OF WORK:**  
 DEMOLISH EXISTING BUILDING AND BUILD NEW DUPLEX AS PER PLANS & SPECS

**LIST OF DEFERRED SUBMITTAL:**

- DEMOLITION PLAN
- FIRE SPRINKLER PLAN
- ROOF TRUSS DRAWINGS AND CALCULATIONS ARE A DEFERRED SUBMITTAL AND WILL BE PROVIDED TO THE BUILDING INSPECTION DIVISION FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

**PROJECT TEAM**

**Owner:** Ram-Singh  
 37070 Locust Street  
 Newark, CA 94560

**Project Designer:** L.E. Baca Construction  
 Lawrence Baca, President  
 35120 Buckingham Ct  
 Newark, CA 94560  
 (510) 912-0911  
 larry@lebaca.com

**Structural Engineer:** ESA Structural Engineering  
 4075 Papayan Way  
 Suite 207  
 Fremont, CA 94538  
 (510) 683-6814  
 esren@esadesign.net

**Geotechnical Engineer:** Wayne Ting & Associates  
 42329 Osgood Road  
 Unit A  
 Fremont, CA 94539  
 (510) 623-7768  
 linywayne@yahoo.com

**Surveyor:** Wade Hammond  
 36560 Newark Blvd #C  
 Newark, CA 94560  
 (510) 579-6112  
 wade@wadehammondpls.com

**Title 24 / Mechanical Design:** Carstairs Energy  
 P.O. Box 4736  
 San Luis Obispo, CA 93403  
 (805) 904-9048  
 title24@yahoo.com

**Civil Engineer:** Lea & Braze Engineering, Inc.  
 2495 Industrial Pkwy West  
 Hayward, CA 94545  
 (510) 887-4088  
 www.leabraze.com

**Landscape Architect:** Miller Landscape Architect  
 155 Filbert St, Suite 249  
 Oakland, CA 94607  
 (510) 845-6504

No.	Revision/Issue	Date

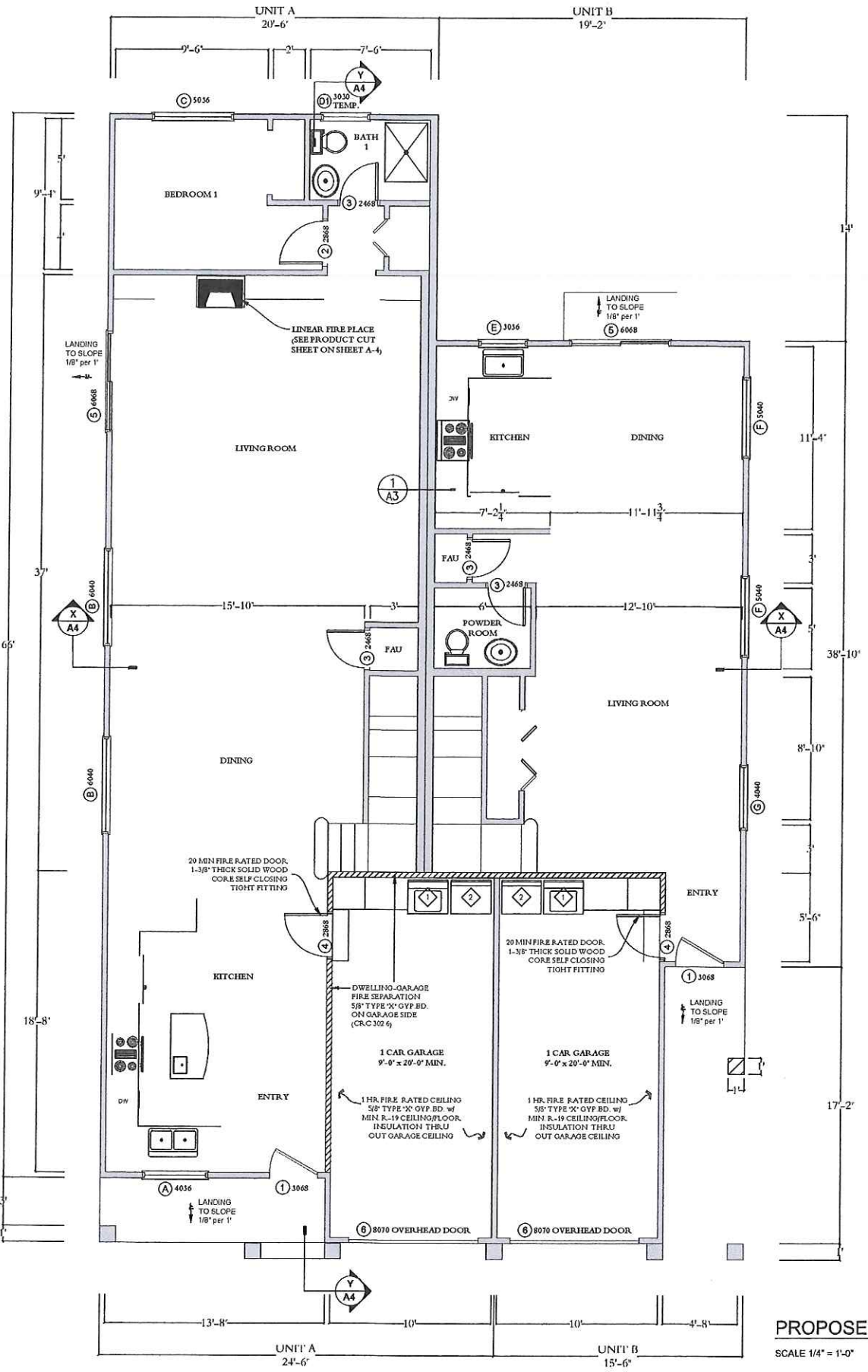
Firm Name and Address  
**L.E. Baca Construction**  
 Lawrence Baca, President  
 35120 Buckingham Ct  
 Newark CA 94560

Project Name and Address  
**RAM - SINGH RESIDENCE**  
 37070 Locust St  
 Newark CA 94560

Project	Sheet
Ram - Singh	A-1.0
Date	3/31/2015
Scale	AS SHOWN

**EXHIBIT** Ap1





**PROPOSED FIRST FLOOR PLAN**  
SCALE 1/4" = 1'-0"

**LEGEND & NOTES :**

	1 HR FIRE RESISTIVE WALL, 5/8" TYPE 'X' GYP. BD. AT GARAGE SIDE		CLOTHES DRYER VENT MIN 4" TO OUTSIDE W/ MAX LENGTH OF 14' W/ BACK-DRAFT DAMPER. NCL. TWO 90° ELBOWS, OR CMC 504.3		ONE HOUR ASSEMBLY, 5/8" TYPE 'X' GYP. BD. SHALL BE APPLIED TO ALL WALLS AND DOORS UNDER USABLE SPACE OF STAIRWAY
	WALL		W/ATHER SPACE ABOVE HOT & COLD WATER SUPPLY ONE VENTILE .NE W/ PAN & DRAIN TO OUTSIDE		
	2020 DOOR-WINDOW CALL-OUT				

**Table 4.303.2 Fixture Flow Rates Mandatory Compliance**

Fixture Type	Max Flow Rate @ > 20% Reduction from Baseline	PRODUCTS USED
Showerheads	2 gpm @ 80psi	AM STDR FLOWISE TRANSITIONAL MODEL 1600 733
Lavatory Faucets, residential	1.5 gpm @ 60psi	AM STDR SINGLE LVR BERWICK MODEL 7430 101
Kitchen Faucets	1.8 gpm @ 60psi	DELTA SINGLE HDL DECK MT TRINIC COLLECTION MODEL 9159-DST
Gravity Tank-Type Water Closets	1.28 gal/flush	AM STDR C CADET 3 FLOWISE MODEL 2403 128
Flushometer tank water closets	1.28 gal/flush	n/a
Flushometer valve water closets	1.28 gal/flush	n/a
Electromechanical hydraulic water closets	1.28 gal/flush	n/a
Urinals	5 gal/flush	n/a

**CAL GREEN 2013 MANDATORY MEASURES :**

4303.1 INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20 PERCENT USING WATER SAVING FIXTURES OR FLOW RESTRICTORS.

4303.2 WHEN USING CALCULATION METHOD SPECIFIED IN SECTION 4303.1, MULTIPLE SHOWER HEADS SHALL COMPLY WITH SPECIFIED PERFORMANCE REQUIREMENT

4303.3 PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH SPECIFIED PERFORMANCE REQUIREMENTS.

**GENERAL PLAN NOTES:**

- ALL BEDROOM WINDOWS SHALL HAVE A MAXIMUM SILL HEIGHT OF 44" ABOVE FINISH FLOOR
- ALL WINDOWS AND DOORS GLASS SHALL BE DOUBLE GLAZED
- 1 HOUR FIRE RATED ASSEMBLY SHALL BE PROVIDED ALONG WALL/CEILING BETWEEN GARAGE AND HABITABLE AREA
- SHOWER & SHOWER TUB UNITS TO BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. PROVIDE 2.0 GAL/MIN SHOWER HEADS AND 1.5 GAL/MIN FAUCETS
- ALL SHOWER ENCLOSURE & DOOR SHALL BE TEMPERED GLASS. DOOR OPENING SHALL HAVE A MIN 22" NET OPENING AND TO SWING OUT
- FIBERGLAS TUB SHOWER WALLS SHALL BE INSTALLED OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 70 INCHES ABOVE THE DRAIN INLET
- SAFETY GLAZING IS REQUIRED ON WINDOWS WITHIN TUB OR SHOWER AREA WHEN THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET (CBC 2406.4)
- SHOWER COMPARTMENT MUST HAVE A FINISHED INTERIOR NO LESS THAN 1024 SQUARE INCHES AND CAPABLE OF ENCOMPASSING A 30 INCHES CIRCLE (UPC 410.4)
- PROVIDE DUROCK® OR WONDERBOARD FROM FLOOR TO CEILING ON ALL SHOWER AND TUB AREAS. NOTE - CITY OF FREMONT DOES NOT ALLOW WATER RESISTANT GYPSUM BOARD UNDER GLUE-ON TILE THE BACKING MATERIAL SHALL BE CEMENTITIOUS MATERIAL OR GYPSUM BOARD APPROVED FOR THIS INSTALLATION (C.O.F. MEMO 7/20/00)
- ALL PLUMBING FIXTURES FOR BATHROOMS AND KITCHEN SHALL BE I.A.P.M.O. APPROVED
- ALL WATER CLOSETS SHALL BE ULTRA FLUSH TOILET. TANKS SHALL HAVE A MAXIMUM CAPACITY OF 1.28 GALLON PER FLUSH (ASSEMBLY BILL #2355)
- TOILET CLEARANCE MIN 24" IN FRONT OF TOILET AND 15" MINIMUM CENTER OF TOILET TO EACH SIDE (CBC 2994)
- SOLDER USED IN POTABLE PIPING SHALL NOT CONTAIN MORE THAN 2/10 % LEAD.
- HOSE BIBBS AND FAUCETS SHALL BE EQUIPPED WITH NON REMOVABLE BACKFLOW PREVENTION DEVICE
- PROVIDE 18" PLATFORM FOR WATER HEATER AND FURNACE LOCATED IN THE GARAGE. WATER HEATER SHALL BE SECURED IN PLACE WITH 2 SEISMIC STRAPS. STRAPS SHALL BE ANCHORED AT POINTS WITHIN THE UPPER AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSION. THE LOWER ANCHOR STRAP LOCATED TO MAINTAIN A MINIMUM DISTANCE OF 4" ABOVE CONTROLS
- PROVIDE WATER HEATER PRESSURE AND TEMPERATURE RELIEF VALVE TERMINATION TO OUTSIDE OF BUILDING (UPC 608.5, SOP P.10.1008)
- NO GAS WATER HEATER OR GAS FURNACE SHALL BE INSTALLED IN BEDROOM, BATHROOM, OR CLOTHES CLOSET (UPC 509.0)
- PROVIDE CLOTHES DRYER VENT TO OUTSIDE WITH A MAX LENGTH OF 14' EQUIPPED WITH A BACK-DRAFT DAMPER INCLUDING TWO 90° ELBOWS AND A MINIMUM DIAMETER OF 4" (CMC 504.3)
- SKYLIGHTS - OPENABLE SKYLIGHTS NEED TO BE 10 FT FROM PLUMBING VENTS OR 3 FT BELOW THE VENT TERMINATION
- VENTILATION REQUIRED IN THE BATHROOM AND LAUNDRY ROOM. PROVIDE OPENABLE WINDOW AREA W/ 5% OF FLOOR AREA (1.5 SF MIN) OR MECHANICAL VENTILATION (5 AIR CHANGES PER HOUR). THE POINT OF DISCHARGE OF EX AIR SHALL BE AT LEAST 3 FT FROM ANY OPENING INTO THE BUILDING. THE EXHAUST FAN SHALL BE EQUIPPED BACKDRAFT DAMPER TO COMPLY W/ ENERGY REGULATIONS
- A SECURITY AUTOMATIC SHUT OFF VALVE SHALL BE INSTALLED BETWEEN THE GAS METER AND THE DWELLING AREA
- A 30" VERTICAL CLEARANCE IS REQUIRED FROM THE TOP OF A COOKING APPLIANCE TO COMBUSTIBLE MATERIALS OR METAL CABINETS. THE MINIMUM HORIZONTAL OR SIDE CLEARANCES SHALL BE SPECIFIED BY A PERMANENT MARKING ON THE COOKING APPLIANCE
- RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NON-COMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL.

**SECTION AK103**  
**STRUCTURAL-BORNE SOUND**

**AK103.1 GENERAL FLOOR/CEILING ASSEMBLIES BETWEEN DWELLING UNITS OR BETWEEN A DWELLING UNIT AND A PUBLIC OR SERVICE AREA WITHIN A STRUCTURE SHALL HAVE AN IMPACT INSULATION CLASS (IIC), RATING OF NOT LESS THAN 45 WHEN TESTED IN ACCORDANCE WITH ASTM E 492.**

General Notes  
**L.E. BACA**  
CONSTRUCTION

Architecture - Engineering - Construction  
35120 Buckingham Ct, Newark, CA 94580  
Lic # 450941  
510-912-0911

**PROPOSED FIRST FLOOR PLAN**

No.	Revision/Issue	Date

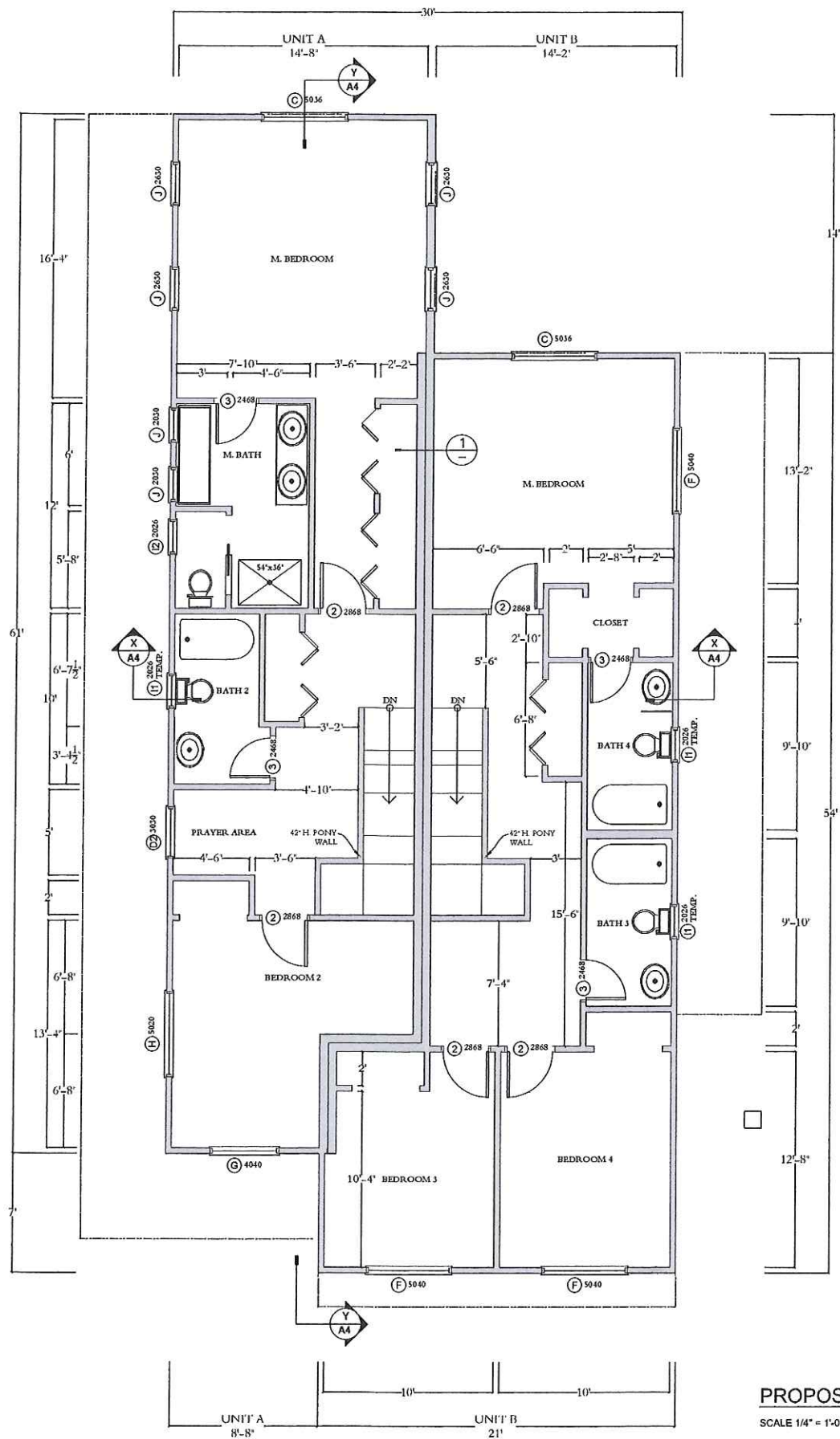
**Firm Name and Address**  
**L.E. Baca Construction**  
Lawrence Baca, President  
35120 Buckingham Ct  
Newark CA 94580

**Project Name and Address**  
**RAM - SINGH RESIDENCE**  
37070 Locust St  
Newark CA 94560

Project Ram - Singh	Sheet A-2.0
Date 3/31/2015	
Scale AS SHOWN	

**EXHIBIT** Ap2





**PROPOSED SECOND FLOOR PLAN**  
SCALE 1/4" = 1'-0"

**LEGEND & NOTES :**

NEW WALL

2020 DOOR-WINDOW CALL-OUT

SECTION 4.504.3 CG 2013 CARPET AND PAD

SHALL HAVE CRI GREEN LABEL PLUS PROGRAM. i.e. Mirza Street Carpet at Home Depot

DOOR & WINDOW SCHEDULE

DOOR CALL-OUT, 2 RAISED PANEL, SOLID CORE DR U N O

DOOR HEADER AT 6'-8" A.F.F. 1st F.F., U.N.O.

DOOR HEADER AT 6'-8" A.F.F. 2nd F.F., U.N.O.

WINDOW CALL-OUT U FACTOR MAX 0.34, SHGC 0.33.

WINDOW HEADER AT 6'-8" ABOVE 1st F.F., U.N.O.

WINDOW HEADER AT 6'-8" ABOVE 2nd F.F., U.N.O.

3088 SOLID CORE DOOR 1 1/2" MIN. THICK W/ART GLASS *	2 SETS	ENTRY	4036 SLD	1 EA	KITCHEN UNIT A
2868 HINGED	7 EA	STORAGE, BEDROOM 1 & 2	6040 SLD	2 EA	DINING UNIT A
2468 HINGED	7 EA	BATH #1 & 2, CLOSET	5036 SLD	3 EA	BEDROOM 1, M. BEDROOM
2868 20 MIN FIRE RATED SOLID CORE 1-3/4" THICK SELF CLOSING, TIGHT FITTING, ENTRY LOCKSET	2 EA *	GARAGE TO HOUSE	3030 SLD TEMPERED	1 EA	BATH 1
6068 SLD	2 SETS	LIVING ROOM UNIT A DINING UNIT B	3030 SLD	1 EA	PRAYER AREA
8070 OVERHEAD DOOR	2 SETS	GARAGE	3036 SLD	1 EA	KITCHEN UNIT B
			5040 SLD	5 EA	DINING UNIT B, M. BEDRM UNIT B, BEDROOM 2 & 3
			4040 SLD	1 EA	LIVING UNIT B
			5020 SLD	1 EA	BEDROOM 2
			2026 SLD TEMPERED	3 EA	BATH 2, 3 & 4
			2026 SLD	1 EA	M. BATH
			2030 SLD	6 EA	M. BEDROOM UNIT A, M. BATH

\* THRESHOLD AT ALL DOORWAY IS 3/4" MAX.

**WALLS AND INTERIOR PARTITIONS, WOOD-FRAMED**

GA FILE NO. WP 3370

GENERIC

**GYPSON WALLBOARD, WOOD STUDS**

One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side of double row of 2 x 4 wood studs 16" o.c. on separate plates 1" apart with 6d coated nails, 1 7/8" long, 0.0915" shank, 1/4" heads, 7" o.c.

Thickness: 9 1/2"

Approx. Weight: 8 psf

Fire Test: See WP 3605 (UL R1319-4, 6, 6-17-52; UL R2717-39, 1-20-66; UL R3501-52, 3-15-66, UL Design U305; ULC Design W301)

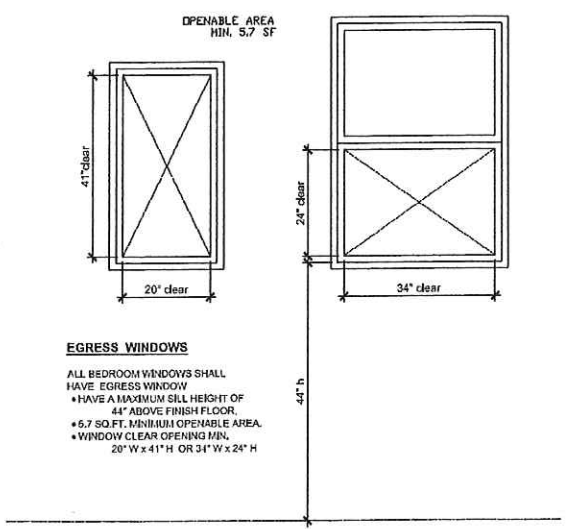
Sound Test: Estimated

1 HOUR FIRE

45 to 49 STC SOUND

JOINTS STAGGERED 16" ON OPPOSITE SIDES. HORIZONTAL BRACING REQUIRED AT MID-HEIGHT. (LOAD-BEARING)

**DEMISING WALL CONSTRUCTION DETAIL**



**EXHIBIT** Ap3

General Notes

**L.E. BACA CONSTRUCTION**

Architecture - Engineering - Construction

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510-912-0911

**PROPOSED SECOND FLOOR PLAN**

No.	Revision/Issue	Date

Firm Name and Address

**L.E. Baca Construction**  
Lawrence Baca, President  
35120 Buckingham Ct  
Newark CA 94560

Project Name and Address

**RAM - SINGH RESIDENCE**  
37070 Locust St  
Newark CA 94560

Project	Sheet
Ram - Singh	A-3.0
Date	3/31/2015
Scale	AS SHOWN





**FRONT ELEVATION**  
SCALE 1/4" = 1'-0"

**EXTERIOR ELEVATION AND SITE NOTES**

1. EXTERIOR WALL: STUCCO 3/2 LAYERS TYPE D' PAPER 0' PLYWOOD SHEATHING (OWNER TO SELECT COLOR)
2. ROOFING: 40 YEAR DIMENSIONAL COMPOSITION SHINGLE, (OWNER TO SELECT COLOR)
3. WINDOWS: MILGARD VINYL DUAL PANE WHITE (SEE SCHEDULE)
4. WINDOW TRIM: STUCCO FOAM 2X (OWNER TO SELECT COLOR)
5. POSTS: 6X6 POST W/ 1" STANDOFF ANCHOR, WOOD ENCASED AND PAINTED (OWNER TO SELECT COLOR)
6. GUTTER: ALUMINUM FASCIA (OWNER TO SELECT COLOR)
7. FASCIA BOARD: PAINTED (OWNER TO SELECT COLOR)
8. WALL TO ROOF FLASHING: GALV. METAL PAINTED TO MATCH
9. GARAGE DOOR: (OWNER TO SELECT TYPE AND COLOR)
10. CONCRETE PORCH: BROOM FINISHED
11. ENTRY DOORS: WOOD OR FIBERGLASS PAINTED (OWNER TO SELECT COLOR)
12. DRIVEWAY: STAMPED CONCRETE (OWNER TO SELECT COLOR)
13. PORCH AND PATIOS: BROOM FINISHED CONCRETE

THE NEWARK MUNICIPAL CODE SECTION 1508.110 REQUIRES THAT ALL NEW DWELLINGS HAVE POSTED ADDRESSES MEETING THE FOLLOWING STANDARDS:

- ADDRESS NUMBERS SHALL BE INTERNALLY OR EXTERNALLY LIT DURING NON-DAYLIGHT HOURS. LIGHTING MUST BE ON ALL THE TIME (TYPICAL OF LOW VOLTAGE UNITS) OR LIT ONLY DURING NON-DAYLIGHT HOURS. SWITCHING SHALL BE CONTROLLED BY A TIME CLOCK OR A PHOTO SENSOR. BATTERY OR PHOTO CELL POWERED UNITS CANNOT BE USED FOR REQUIRED ADDRESSING.
- ADDRESS NUMBERS SHALL BE AT LEAST FOUR INCHES HIGH AND INSTALLED ON A CONTRASTING BACKGROUND.
- ADDRESS NUMBERS SHALL READ FROM LEFT TO RIGHT. VERTICALLY POSITIONED NUMBERS CANNOT BE USED.
- ADDRESS NUMBERS SHALL BE PLACED IN SUCH A LOCATION THAT EMERGENCY CREWS CAN READ THE ADDRESS FROM THE STREET FRONTING THE DWELLING.

General Notes  
**L.E. BACA**  
CONSTRUCTION

Architecture - Engineering - Construction  
35120 Buckingham Ct, Newark, CA 94560  
Lic # 450941  
510-912-0911

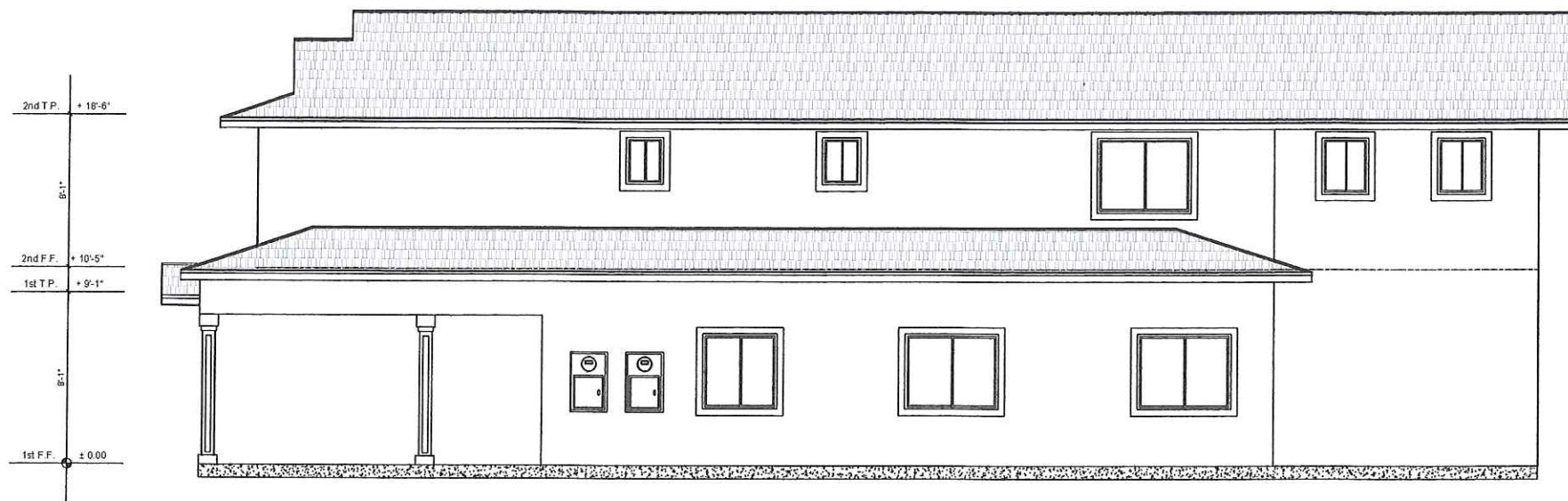
**ELEVATIONS**

No.	Revision/Issue	Date

**Firm Name and Address**  
L.E. Baca Construction  
Lawrence Baca, President  
35120 Buckingham Ct  
Newark CA 94560

**Project Name and Address**  
RAM - SINGH RESIDENCE  
37070 Locust St  
Newark CA 94560

Project Ram - Singh	Sheet A-5.0
Date 3/31/2015	
Scale AS SHOWN	



**RIGHT ELEVATION**  
SCALE 1/4" = 1'-0"

**300DVBSCTZ Solitaire Direct Vent System**

**GLASS VIEWING AREA**  
29'-6 1/2" x 23'-11 1/2" (6854 Sq. in. approx)

**TECHNICAL INFORMATION**  
Max. Heat Output: 24,000 BTU/hr.  
Input System: Single and Dual Gas Inlet System  
Gas Inlet: 1/2" x 1/2"  
Flue Pipe: 15.00" x 18.75"  
Ventilation: Top Vent  
Clearance to Floor for Insert: 3" for 1" Btu/hr and 5.5x11"  
Clearance to Floor for Chimney: 11"  
Clearance to Fireplace: 1"  
Minimum Vertical Rise Above Floor: 12"  
CEC Design Certified

**FIELD INSTALLED ACCESSORIES**  
Model: 300DVBSCTZ, Cut up for 48" or 60" Height  
Variable: Removable (optional) Rock Insert  
Stone (64" x 16" - 1600/162)  
Signa's Command - Dual Row/Dr. Stone 190-2-1 - 1078/200  
Air Brn.  
Rack Plus Lite  
Aidun's Technology™ Remote Control Performance  
Component Stone (3.5" High) (see page 10)  
Patio or Backdoor Kit  
Rack Glass (see page 10) - Durable, Limited, Single, Double  
--- Look for a 2" clearance between the unit and the wall.

**FRAMING DIMENSIONS**

**MAJESTIC**

**FIRE PLACE PRODUCT CUT SHEET**

**EXHIBIT** Ap4

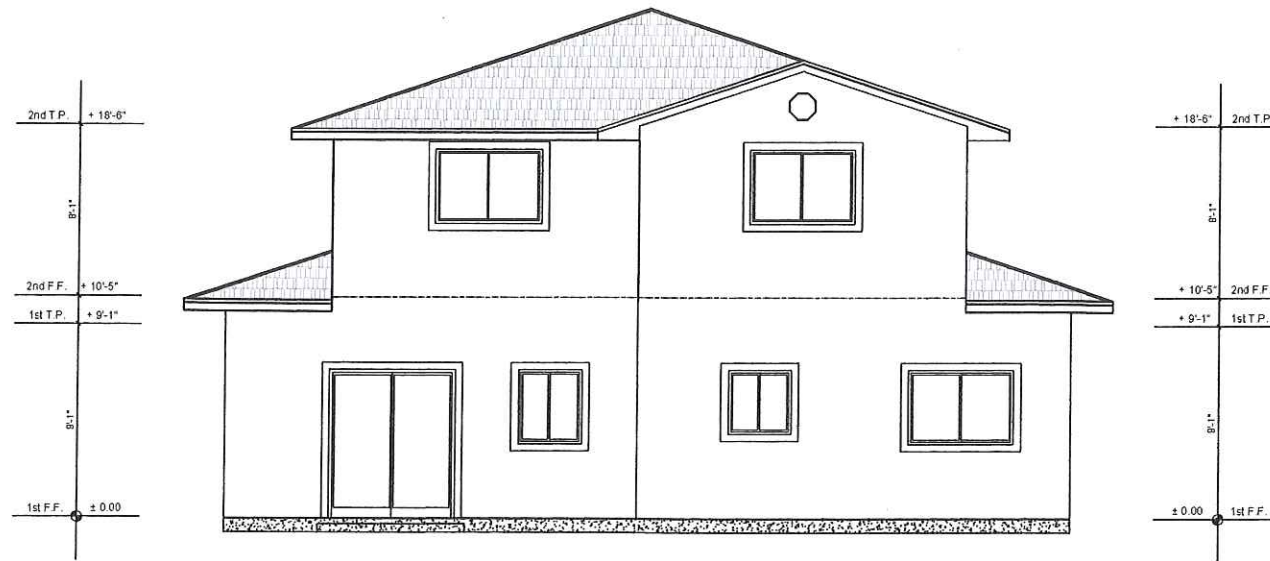


General Notes  
**L.E. BACA**  
**CONSTRUCTION**

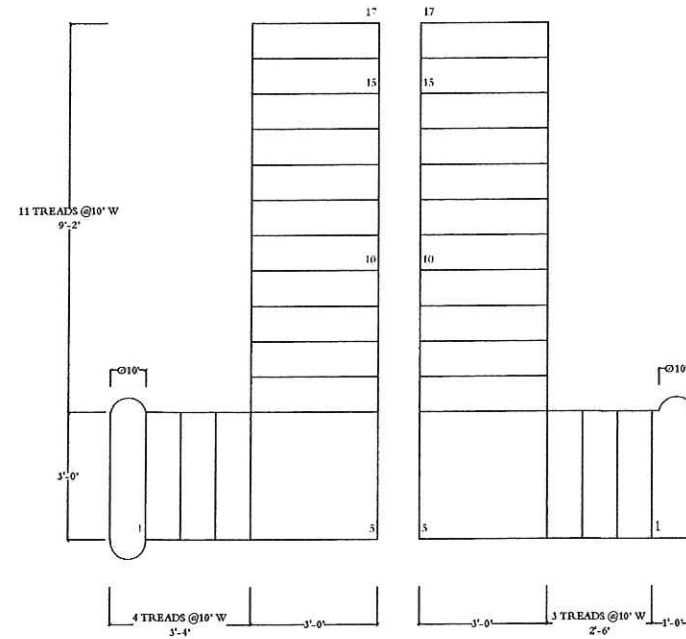
Architecture - Engineering - Construction

35120 Buckingham Ct, Newark, CA 94560  
 Lic # 450941  
 510-912-0911

**ELEVATIONS + STAIRS DETAIL**

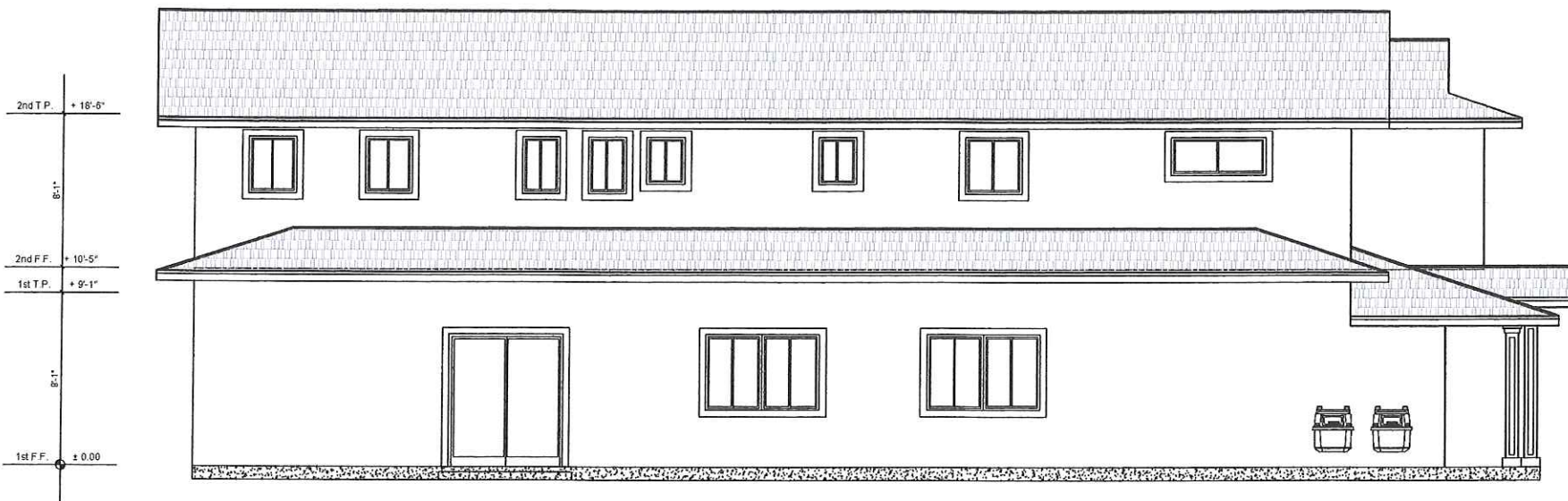


**REAR ELEVATION**  
 SCALE 1/4" = 1'-0"



1st F.F. TO 2nd F.F. = 10'-6" = 126"  
 TOTAL 17 RISERS  
 16 TREADS @ 10" DEEP U.H.O.  
 126" / 17 = 7.35" H. EA. RISER

**STAIRS DETAIL**  
 SCALE 1/8" = 1'-0"



**LEFT ELEVATION**  
 SCALE 1/4" = 1'-0"

**EXTERIOR ELEVATION AND SITE NOTES**

1. EXTERIOR WALL: STUCCO *OR* 2 LAYERS TYPE D' PAPER *OR* PLYWOOD SHEATHING (OWNER TO SELECT COLOR)
2. ROOFING: 40 YEAR DIMENSIONAL COMPOSITION SHINGLE (OWNER TO SELECT COLOR)
3. WINDOWS: MILGARD VINYL DUAL PANE WHITE (SEE SCHEDULE)
4. WINDOW TRIM: STUCCO FOAM 2X (OWNER TO SELECT COLOR)
5. POSTS: 6X8 POST W/ 1" STANDOFF ANCHOR, WOOD ENCASED AND PAINTED (OWNER TO SELECT COLOR)
6. GUTTER: ALUMINUM FASCIA (OWNER TO SELECT COLOR)
7. FASCIA BOARD: PAINTED (OWNER TO SELECT COLOR)
8. WALL TO ROOF FLASHING: GALV. METAL PAINTED TO MATCH
9. GARAGE DOOR: (OWNER TO SELECT TYPE AND COLOR)
10. CONCRETE PORCH: BROOM FINISHED
11. ENTRY DOORS: WOOD *OR* FIBERGLASS PAINTED (OWNER TO SELECT COLOR)
12. DRIVEWAYS: STAMPED CONCRETE (OWNER TO SELECT COLOR)
13. PORCH AND PATIOS: BROOM FINISHED CONCRETE

No.	Revision/Issue	Date

From Home and Address  
**L.E. Baca Construction**  
 Lawrence Baca, President  
 35120 Buckingham Ct  
 Newark CA 94560

Project Home and Address  
**RAM - SINGH RESIDENCE**  
 37070 Locust St  
 Newark CA 94560

Project Ram - Singh	Sheet A-6.0
Date 3/31/2015	
Scale AS SHOWN	

**EXHIBIT** Ap5





EXHIBIT A-10  
Aplc



**PLANT SCHEDULE**

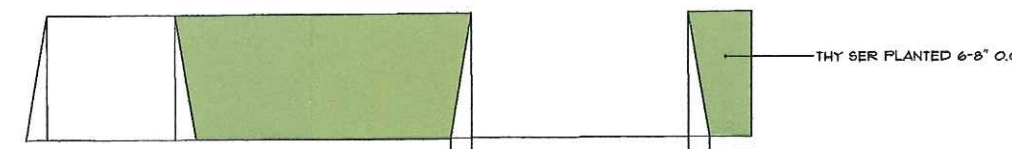
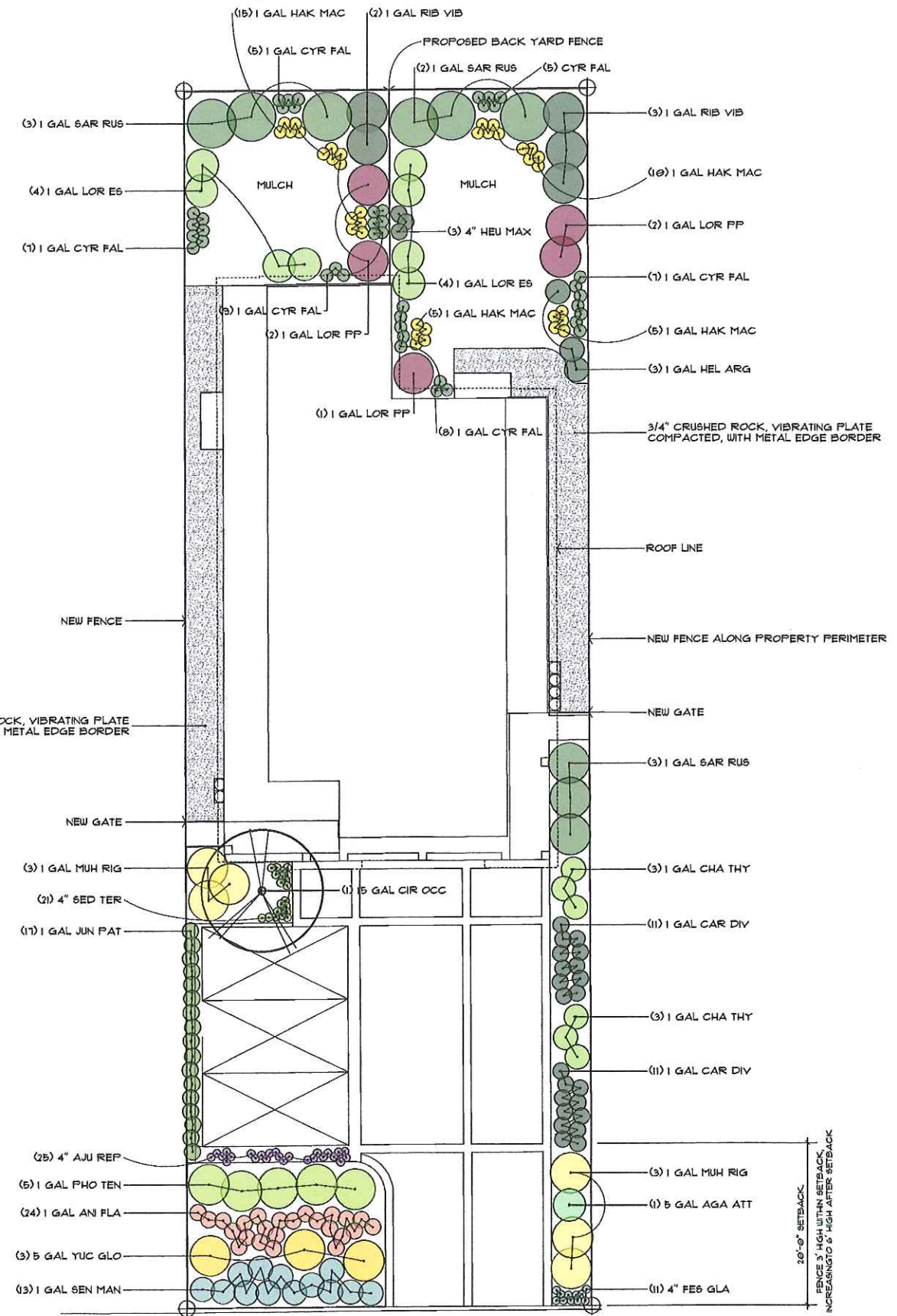
Quantity	Size	Abbreviation	Scientific Name	Common Name	H2O	Sub	Irrigation Zone	Publication	Dimensions
25	4"	Aju rep	Ajuga reptans 'Burgundy Glow'	Carpet Bugle	M		WUCOLS	2-4"H x 1'W & spreading	
6	1gal	Cha thy	Chamaecyparis thyoides 'Iceberg'	False Cypress	M		WUCOLS	2'H x 3'W	
41	1gal	Cyr fal	Cyrtomium falcatum	Holly Fern	M		WUCOLS	2-3' H & 18"W	
35	1gal	Hak mac	Hakonechloa macra 'All Gold'	Japanese Forest Grass	M		WUCOLS	18"H&W	
3	4"	Heu max	Heuchera maxima	Alum Root	M		WUCOLS	1'H x 1-2'W	
1	5 gal	Aga att	Agave attenuata 'Nova'	Blue Fox Tail Agave	L		WUCOLS	3-4' H&W	
24	1gal	Ani fla	Anigozanthos flavidus 'Big Red'	Kangaroo Paw	L		WUCOLS	6' H x 2' W	
22	1gal	Car div	Carex divulsa	Berkeley Sedge	L		WUCOLS	1-2' H&W	
11	4"	Fes gla	Festuca glauca	Blue Fescue	L		WUCOLS	1'H x 10"W	
3	1gal	Hel arg	Helleborus argutifolius	Corsican Hellebore	L		WUCOLS	2-4' H&W	
17	1gal	Jun pat	Juncus patens	California Gray Rush	L		WUCOLS	2'H&W	
8	1gal	Lor ES	Loropetalum chinense 'Emerald Snow'	Chinese Fringe Flower	L		WUCOLS	3-4' H&W	
5	1gal	Lor PP	Loropetalum chinense 'Purple Pixie'	Chinese Fringe Flower	L		WUCOLS	1'H x 4-5'W	
6	1gal	Muh rig	Muhlenbergia rigens	Deer Grass	L		WUCOLS	4-5'H x 4-6'W	
5	1gal	Pho ten	Phormium tenax 'Variegatum'	New Zealand Flax	L		WUCOLS	6-8'H x 4-5'W	
5	1gal	Rib vib	Ribes viburnifolium	Evergreen Currant	L		WUCOLS	3-4'H x 4-6' W	
9	1gal	Sar rus	Sarcococca ruscifolia	Sweet Box	L		WUCOLS	3-5' H&W	
21	4"	Sed ter	Sedum ternatum 'Larinem Park'	Stone Crop	L		WUCOLS	6'H x 6-12"W	
13	1gal	Sen man	Senecio talinoides mandraliscae	Blue Chalk Sticks	L		WUCOLS	1-3'H x 2-3'W	
36	flats	Thy ser	Thymus serpyllum 'Elfin'	Elfin Creeping Thyme	L		WUCOLS	1-2'H x 4-8" W	
3	5gal	Yuc glo	Yucca gloriosa 'Bright Star'	Bright Star Yucca	L		WUCOLS	1-2'H x 3-5'W	
1	15 gal	Cer occ	Cercis occidentalis	Western Redbud	VL		WUCOLS	12-10'H x 10-15'W	

**KEY**

- H Ample Water All Year
- H/M Ample Winter Moisture, Reduced Summer Moisture
- M Moderate Water All Year
- M/L Moderate Winter Moisture, Reduced Summer Moisture
- L/L Low Winter Moisture, Reduced Summer Moisture

- EBMUD *Plants and Landscapes for Summer-dry Climates of the San Francisco Bay Region*. Oakland, Calif.: East Bay Municipal Utility District, 2004. Print.
- LPCG *Landscape Plants for California Gardens: An Illustrated Reference of Plants for California Landscapes*. Claremont, Calif.: Land Design Pub., 2010. Print.
- SWG *The New Sunset Western Garden Book: The Ultimate Gardening Guide*. 9th ed. New York, NY: Time Home Entertainment, 2012. Print.
- WUCOLS *Fujino, Dr. David. Water Use Classification of Landscape Species IV*. UC Davis [http://ucanr.edu/sites/WUCOLS/Plant\\_Search/](http://ucanr.edu/sites/WUCOLS/Plant_Search/)

TOTAL SITE AREA TO BE LANDSCAPED: 3,294 SF



SCALE: 1/8" = 1'-0"

**EXHIBIT** Ap7