



CITY OF NEWARK PLANNING COMMISSION

37101 Newark Boulevard, Newark, California 94560-3796 □ 510/578-4330 □ FAX 510/578-4265

City Administration Building
7:30 p.m.
City Council Chambers

AGENDA Tuesday, August 23, 2016

- A. **ROLL CALL**

- B. **MINUTES**
 - B.1 **Approval of Minutes of the regular Planning Commission meeting of Tuesday, August 9, 2016. (MOTION)**

- C. **WRITTEN COMMUNICATIONS**

- D. **ORAL COMMUNICATIONS (Anyone wishing to address the Commission on any planning item not on the Agenda may take the podium and state his/her name and address clearly for the recorder.)**

- E. **PUBLIC HEARINGS**

- F. **STAFF REPORTS**

- G. **COMMISSION MATTERS**
 - G.1 **ASC-16-15, an Administrative Special Civic Review, for an addition and façade change to a single-family residence at 35669 Lundy Drive – from Assistant Planner Bowab. (INFORMATIONAL)**

 - G.2 **Report on City Council actions.**

- H. **ADJOURNMENT**

Pursuant to Government Code 54957.5: Supplemental materials distributed less than 72 hours before this meeting, to a majority of the Planning Commission, will be made available for public inspection at this meeting and at the Planning Division Counter located at 37101 Newark Boulevard, 1st Floor, during normal business hours. Materials prepared by City staff and distributed during the meeting are available for public inspection at the meeting or after the meeting if prepared by some other person. Documents related to closed session items or are exempt from disclosure will not be made available for public inspection.

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City Administration Building
7:30 p.m.
City Council Chambers

MINUTES Tuesday, August 9, 2016

A. ROLL CALL

At 7:30 p.m., Chairperson Aguilar called the meeting to order. All Planning Commissioners were present.

B. MINUTES

B.1 Approval of Minutes of the regular Planning Commission meeting of Tuesday, July 12, 2016.

Vice-Chairperson Nillo moved, Commission Fitts seconded, to approve the Minutes of July 12, 2016. The motion passed 5 AYES.

C. WRITTEN COMMUNICATIONS

None.

D. ORAL COMMUNICATIONS

None.

E. PUBLIC HEARINGS

E.1 Hearing to consider P-16-11, a planned unit development, U-16-12, a conditional use permit, and TTM-16-10, Tentative Tract Map 8340 to construct a 14-unit condominium project (Merida Place) at 36731 Sycamore Street (APN: 92-21-151-3).

Assistant City Manager Grindall gave the staff report.

Answering Commissioner Fitts, Associate Planner Mangalam replied a 6' masonry wall is proposed to be built between the neighboring single-family homes and the proposed units.

Answering Commissioner Fitts, ACM Grindall confirmed that Public Hearing notices were mailed to all property owners within 300' of the subject site and only

one comment was received, via a telephone call, which was favorable to the project once assured that adequate parking would be provided onsite.

Answering Commissioner Bridges, ACM Grindall stated the Noise Study included detailed mitigation measures to ensure the project will meet the City's acceptable noise standards.

Answering Commissioner Otterstetter, ACM Grindall stated an amendment to the Resolution could be made to increase the height of the 6' masonry wall to 8' if the owner agrees to the change in the Conditions.

Answering Chairperson Aguilar, ACM Grindall stated the Fire Department has adequate hose pull distance from Sycamore Street to service all of the units.

Answering Chairperson Aguilar, ACM Grindall confirmed all applicable Impact Fees will be paid by the Developer.

Chairperson Aguilar opened the Public Hearing.

Mr. Joe Wu, 2278 Trade Zone Boulevard, San Jose, CA 95131, stated he has read and is in agreement with the conditions listed in Resolutions 1937 and 1938.

Mr. Wu stated he will follow his Landscape Architect's suggestions in regards to which trees will be removed and/or replaced.

Mr. George Szabo, Architect, 6787 Chapman Place, Moorpark, CA 93021, stated a T-Turnaround is provided onsite for fire truck access and fifty-one 15-gallon trees will be planted to replace 6 existing diseased trees.

Addressing Commissioner Bridge's concerns, Mr. Szabo stated if Mr. Wu agrees to a change in the Conditions, he believes changing 25 of the 51 trees to 25-gallon size (24 inch box) would be a good compromise.

Mr. Szabo stated changing the 6' masonry wall to 8' would be fine.

Addressing Commissioner Fitts' concerns, Mr. Szabo stated the trees proposed along Sycamore Street would all be 25-gallon.

Answering Vice-Chairperson Nillo, Mr. Szabo illustrated via the Exhibits, how the units closest to the single-story existing homes are stepped back to allow privacy and stated 6 trees will be planted in that area to provide additional screening.

Answering Commissioner Bridges, Mr. Wu estimates that he will obtain approval for his Tentative Map by the end of the year and construction would take a year to complete. He has not yet considered pricing for the units.

Chairperson Aguilar closed the Public Hearing.

Motion by Vice-Chairperson Nillo, seconded by Commissioner Bridges, to approve: (1) Resolution 1937, approving P-16-11, a planned unit development, U-16-12, a conditional use permit, with Exhibit A, pages 1 through 43, for a 14 unit condominium project at 36731 Sycamore Street with the addition of Condition "b" (The property owner shall construct an 8-foot high masonry wall on the north side of the property abutting single-family homes) and revision to Condition "yy" (...No less than half of the new trees for the project shall be minimum 24-inch box size...); and (2) Resolution 1938, approving TTM-16-10, Tentative Tract Map 8340 with Exhibit A, pages 1 through 9. Motion passed 5 AYES.

This item will be heard at the September 8, 2016 City Council Meeting.

E.2 Hearing to consider U-16-13, a conditional use permit and P-16-14, a planned unit development to APN(s) 092-0005-029-04 AND 092-0005-029-09 located at 6826 and 6844 Mayhews Landing Road, to facilitate subdivision of approximately +/- 1.41 acres of land by Parcel Map No. 10261 by allowing 5 foot side setbacks and lots a minimum of 45 feet wide while maintaining 6000 square foot lot minimums consistent with R-6000 (Low Density Residential – 6000 district).

Assistant City Manager Grindall gave the staff report.

Answering Commissioner Fitts, ACM Grindall stated the area between Sycamore Street and proposed Parcel 1, is not a buildable lot.

Answering Chairperson Aguilar, ACM Grindall confirmed this proposed PUD is to allow 5' side setbacks and lots that are 45 feet wide at this site, no architectural components are being approved at this time for Planning Commission consideration.

Chairperson Aguilar opened the Public Hearing.

Ms. Raylene Piazza, 6844 Mayhews Landing Road, Newark, CA 94560, stated she has read and agrees to the Conditions.

Answering Chairperson Aguilar, Mr. Piazza stated no one had contacted her with concerns about this proposal.

Answering Chairperson Aguilar, Associate Planner Mangalam stated 3 people came to the City Offices to obtain additional information about the project but did not have any concerns.

Mr. Joe Silva, 6829 Mayhews Landing Road, Newark, CA 94560, needed clarification on the location of the project.

Answering Mr. Silva, ACM Grindall confirmed no changes were proposed for the existing homes located next to Mr. Silva's property, and that the proposed site is further away on a narrow lot.

Answering Mr. Silva, ACM Grindall stated when an application is submitted to build on the narrow lot, all property owners within 300' will be notified and per City standards, 2-car covered parking must be met.

Mr. Rick Geha, 3100 Mowry Avenue, Suite 408, Fremont, CA 94538 complemented staff on their cooperation and assistance on this project.

Chairperson Aguilar closed the Public Hearing.

Motion by Commissioner Fitts, seconded by Vice-Chairperson Nillo, to approve Resolution 1939, approving U-16-13, a conditional use permit and P-16-14, a planned unit development, with Exhibit A, page 1, to APN(s) 092-0005-029-04 AND 092-0005-029-09, located at 6826 and 6844 Mayhews Landing Road, to facilitate subdivision of approximately +/- 1.41 acres of land by Parcel Map No. 10261 by allowing 5 foot side setbacks and lots a minimum of 45 feet wide while maintaining 6000 square foot lot minimums consistent with R-6000 (Low Density Residential – 6000 district). Motion passed 5 AYES.

This item will be heard at the September 8, 2016 City Council Meeting.

F. STAFF REPORTS

None.

G. COMMISSION MATTERS

G.1 Report on City Council actions.

None.

ACM Grindall informed the Planning Commission that the August 4, 2016 Community Meeting on the Citywide Parks Master Plan had approximately 70 members of the public in attendance and provided some good feedback to staff.

ACM Grindall stated the next Bicycle and Pedestrian Master Plan Meeting would be held in September; and a Workshop to discuss the Zoning Code Update will be held in the near future.

Commissioners' Comments

Commissioner Otterstetter informed the public that Stage One Theatre will be presenting a youth performance of "One Year with Frog and Toad" at the Newark Memorial High School.

H. ADJOURNMENT


At 8:21 p.m., Chairperson Aguilar adjourned the regular Planning Commission meeting of Tuesday, August 9, 2016.

Respectfully submitted,



TERRENCE GRINDALL
Secretary



G.1 ASC-16-15, an Administrative Special Civic Review, for an addition and façade change to a single-family residence at 35669 Lundy Drive – from Assistant Planner Bowab.  (INFORMATIONAL)

Background/Discussion – Ms. Juan Sun, property owner, has submitted an Administrative Special Civic Review application for a sunroom/balcony addition and a façade change to their residence located at 35669 Lundy Drive. Attached is exhibit A, pages 1 through 6 (site plan, floor plans, and roof plan) and pages 7 through 8 (elevations).

The subject site is located in the Lake Area and zoned R-8000-SC (Low Density Residential – 8,000 District – Special Civic). It is on the south side of Lundy Drive, west of Channel Drive, and backs up to Lakeshore Park. Special Civic Districts were established to assure an orderly development in the vicinity of civic centers, public parks and public buildings. Whenever an application is submitted for a building permit for the erection or alteration of a building or structure in an SC District, design review approval is required.

The project consists of replacing an existing rectangular balcony with a semi-circle balcony, an enclosed 118 square foot sunroom addition and changing the exterior building materials from wood paneling to stucco. The applicant has obtained letters from all the property owners within 100 feet of the subject site stating that they do not object to the project.

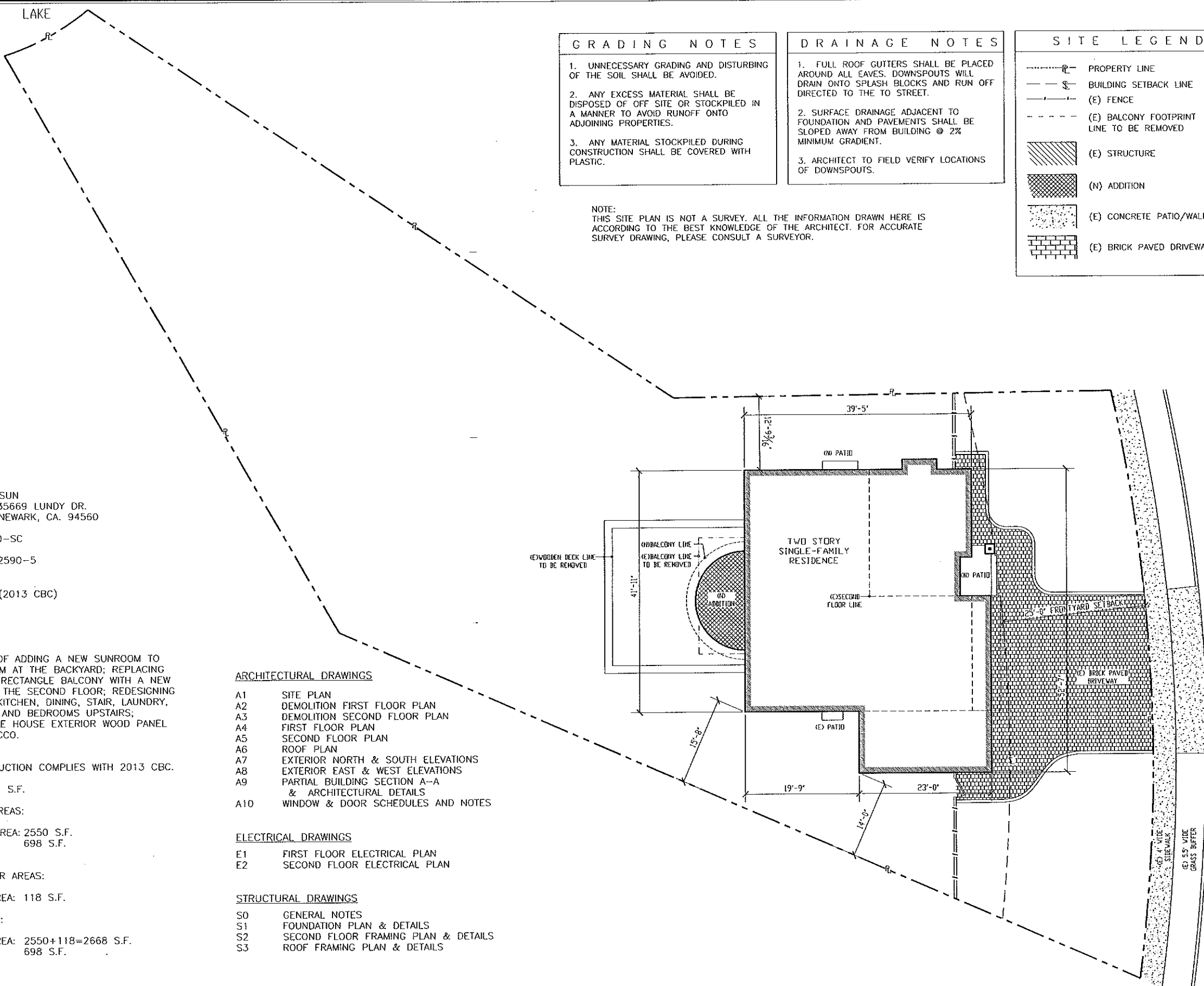
The Zoning Administrator has approved the project subject to the following condition: “The owner and/or contractor shall implement all applicable Storm Water Quality Best Management Practices for the duration of all work activity. Additional best management practices may be required by the City Engineer to minimize the pollution of storm water runoff from the project area. A note to this effect shall appear on the building permit plans.”

Environmental Review

This project is categorically exempt from the California Environmental Quality Act (CEQA) per section 15301, Class 1, additions to existing facilities.

Attachment

Action – This is an informational item only.



GRADING NOTES

1. UNNECESSARY GRADING AND DISTURBING OF THE SOIL SHALL BE AVOIDED.
2. ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF SITE OR STOCKPILED IN A MANNER TO AVOID RUNOFF ONTO ADJOINING PROPERTIES.
3. ANY MATERIAL STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.

DRAINAGE NOTES

1. FULL ROOF GUTTERS SHALL BE PLACED AROUND ALL EAVES. DOWNSPOUTS WILL DRAIN ONTO SPLASH BLOCKS AND RUN OFF DIRECTED TO THE TO STREET.
2. SURFACE DRAINAGE ADJACENT TO FOUNDATION AND PAVEMENTS SHALL BE SLOPED AWAY FROM BUILDING @ 2% MINIMUM GRADIENT.
3. ARCHITECT TO FIELD VERIFY LOCATIONS OF DOWNSPOUTS.

SITE LEGEND

- P ----- PROPERTY LINE
- - - - - S - - - - - BUILDING SETBACK LINE
- - - - - F - - - - - (E) FENCE
- - - - - B - - - - - (E) BALCONY FOOTPRINT LINE TO BE REMOVED
- [Hatched Box] (E) STRUCTURE
- [Cross-hatched Box] (N) ADDITION
- [Dotted Box] (E) CONCRETE PATIO/WALKWAY
- [Brick Pattern Box] (E) BRICK PAVED DRIVEWAY

NOTE:
THIS SITE PLAN IS NOT A SURVEY. ALL THE INFORMATION DRAWN HERE IS ACCORDING TO THE BEST KNOWLEDGE OF THE ARCHITECT. FOR ACCURATE SURVEY DRAWING, PLEASE CONSULT A SURVEYOR.

OWNERS: JUAN SUN
35669 LUNDY DR.
NEWARK, CA. 94560

ZONING : R8000-SC

A. P. N. : 92A-2590-5

OCCUPANCY GROUP: R-3 (2013 CBC)

CONSTRUCTION TYPE: V-B

PROJECT DESCRIPTION:
THIS PROJECT CONSISTS OF ADDING A NEW SUNROOM TO THE EXISTING FAMILY ROOM AT THE BACKYARD; REPLACING THE EXISTING SOUTHERN, RECTANGLE BALCONY WITH A NEW HALF CIRCLE BALCONY AT THE SECOND FLOOR; REDESIGNING THE INTERIOR AREAS OF KITCHEN, DINING, STAIR, LAUNDRY, BONUS ROOM, BATHROOM AND BEDROOMS UPSTAIRS; REPLACING EXISTING WHOLE HOUSE EXTERIOR WOOD PANEL MATERIALS WITH NEW STUCCO.

CODE COMPLIANCE:
THIS RESIDENTIAL CONSTRUCTION COMPLIES WITH 2013 CBC.

LOT SIZE: 13,711 S.F.

EXISTING GROSS FLOOR AREAS:

GROSS LIVING AREA: 2550 S.F.
GARAGE AREA: 698 S.F.

PROPOSED ADDITION FLOOR AREAS:

CONDITIONED AREA: 118 S.F.

NEW GROSS FLOOR AREAS:

CONDITIONED AREA: 2550+118=2668 S.F.
GARAGE AREA: 698 S.F.

ARCHITECTURAL DRAWINGS

- A1 SITE PLAN
- A2 DEMOLITION FIRST FLOOR PLAN
- A3 DEMOLITION SECOND FLOOR PLAN
- A4 FIRST FLOOR PLAN
- A5 SECOND FLOOR PLAN
- A6 ROOF PLAN
- A7 EXTERIOR NORTH & SOUTH ELEVATIONS
- A8 EXTERIOR EAST & WEST ELEVATIONS
- A9 PARTIAL BUILDING SECTION A-A & ARCHITECTURAL DETAILS
- A10 WINDOW & DOOR SCHEDULES AND NOTES

ELECTRICAL DRAWINGS

- E1 FIRST FLOOR ELECTRICAL PLAN
- E2 SECOND FLOOR ELECTRICAL PLAN

STRUCTURAL DRAWINGS

- S0 GENERAL NOTES
- S1 FOUNDATION PLAN & DETAILS
- S2 SECOND FLOOR FRAMING PLAN & DETAILS
- S3 ROOF FRAMING PLAN & DETAILS

PROJECT SUMMARY



SHEET INDEX



SITE PLAN

SCALE: 1" = 8' - 0"



EXHIBIT A-PI

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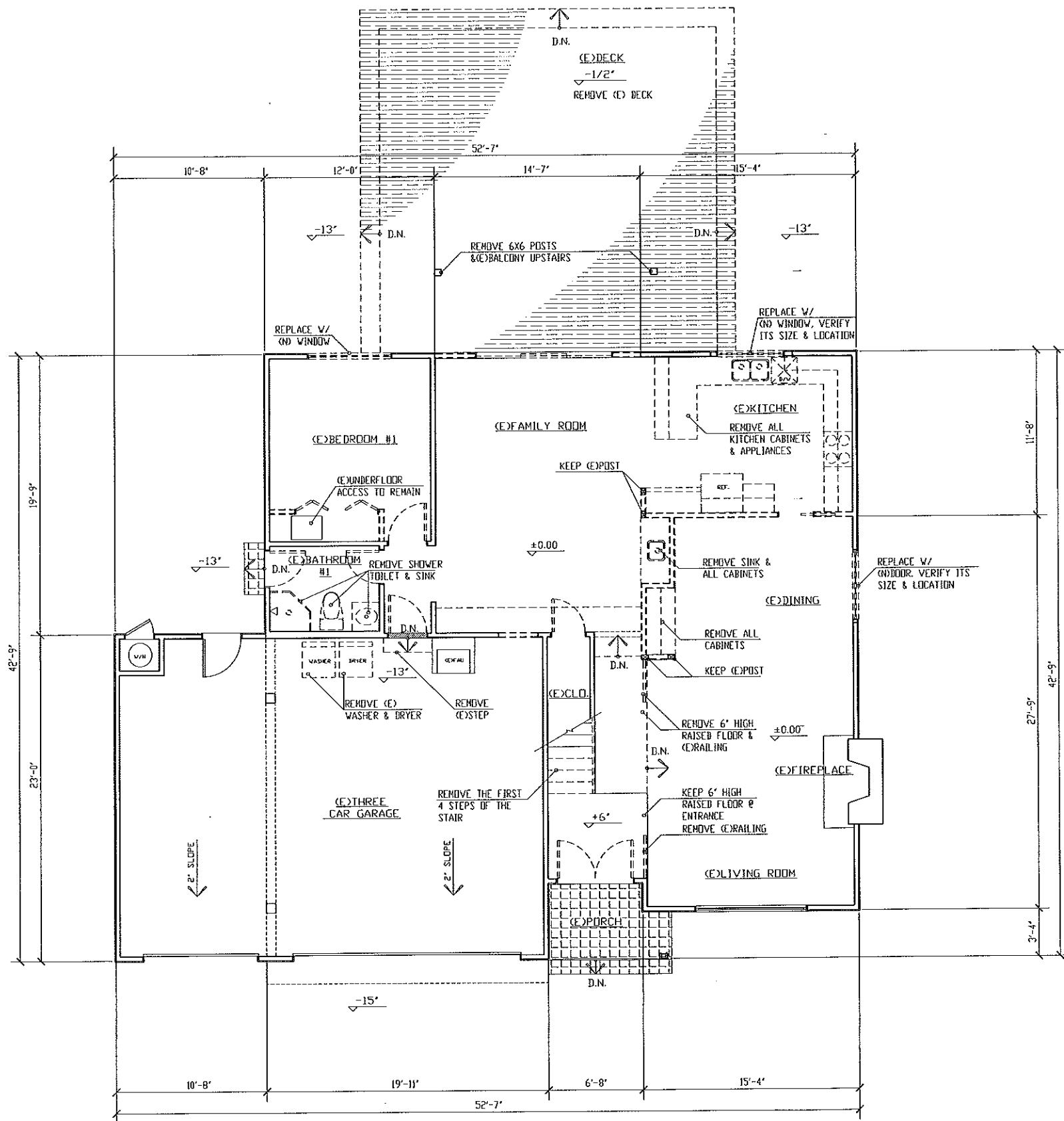
SUN RESIDENCE
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NEWARK CA 94560
A.P.N.: 092A-2590-005-00
TEL: 650-666-5916

SITE PLAN



REVISION/ISSUE		
NO.	DATE	DESCRIPTION

PROJECT NAME: SUN
DESIGNED BY: ZHEN CAO
DRAWN BY: ZHEN CAO
DATE: 5/19/2016
SHEET: A1



DEMOLITION FIRST FLOOR PLAN
SCALE: 1/4" = 1' - 0"



DEMOLITION LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING DOOR & WINDOW TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR & WINDOWS TO BE REMOVED
	EXISTING DOOR & WINDOWS TO BE FILLED

- DEMOLITION NOTES**
1. ALL WINDOWS TO BE REMOVED. PROTECT ADJACENT WALL.
 2. REFER TO STRUCTURAL PLANS PRIOR TO REMOVAL OF ANY WALL OR STRUCTURAL MEMBER. SOME STRUCTURAL BEAMS & POSTS TO REMAIN AT DEMOLISHED WALLS. VERIFY WITH ARCHITECT ANY QUESTIONS PERTAINING TO ANY STRUCTURAL MEMBERS TO REMAIN OR TO BE REMOVED.
 3. REFER TO FLOOR PLAN FOR LOCATION OF WALLS TO BE REMOVED. DEMOLITION INCLUDES ALL ELEMENTS WITHIN AND CONNECTED TO THE WALL. TERMINATE ALL ASSOCIATED ITEMS (ELECTRICAL, GAS, CABLE, ETC.) AS NECESSARY. ALL PIPING CONDUIT, ETC. SHALL BE TERMINATED AND CAPPED IN A LOCATION THAT WILL NOT BE VISIBLE WHEN NEW CONSTRUCTION IS COMPLETE.
 4. PROTECT ALL SURFACES ADJACENT TO AREAS OF DEMOLITION. CONTRACTOR TO BE RESPONSIBLE FOR ALL ITEMS DAMAGED DURING DEMOLITION.
 5. ITEMS TO BE SALVAGED SHALL BE CAREFULLY REMOVED IN A MANNER TO ENSURE MINIMUM DAMAGE AND SHALL BE STORED IN A STAGING AREA DESIGNATED BY THE OWNER. ALL MATERIALS, EQUIPMENT, AND OTHER ITEMS NOT TO BE RETAINED FOR FUTURE USE SHALL BE REMOVED FROM SITE.
 6. REMOVE ALL EXISTING BRANCH CIRCUIT FEEDERS AND CONDUITS BACK TO ELECTRICAL PANEL.
 7. REMOVE ALL EXISTING LIGHT FIXTURES AND THEIR ASSOCIATED SWITCHING, SUPPORTS, CONDUIT, AND CONDUCTORS. SEE NOTE #6 FOR SALVAGED FIXTURES.
 8. ERECT TEMPORARY, TIGHT FITTING DUSTPROOF PARTITIONS/BARRIERS AT THE PERIMETER OF THE AREA OF WORK PRIOR TO COMMENCEMENT OF DEMOLITION. DUSTPROOF PARTITIONS/BARRIERS SHALL REMAIN IN PLACE UNTIL COMPLETION OF ALL CONSTRUCTION WORK.
 9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL EXISTING EQUIPMENT THAT IS TO REMAIN IS IN PROPER WORKING ORDER.

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DEMOLITION FIRST FLOOR PLAN

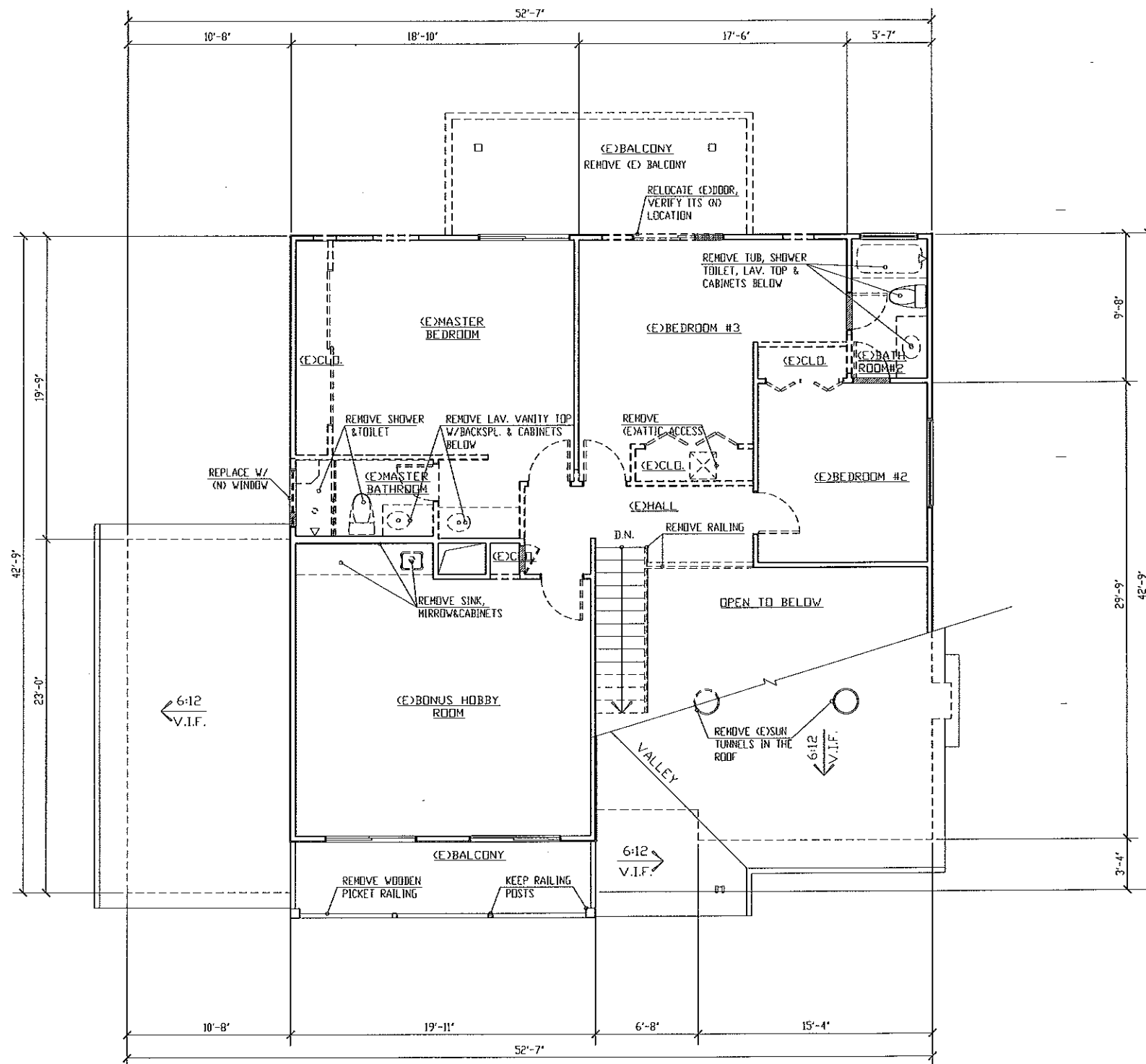


REVISION/ISSUE		
NO.	DATE	DESCRIPTION

PROJECT NAME	SUN
DESIGNED BY	ZHEN CAO
DRAWN BY	ZHEN CAO
DATE	5/19/2016

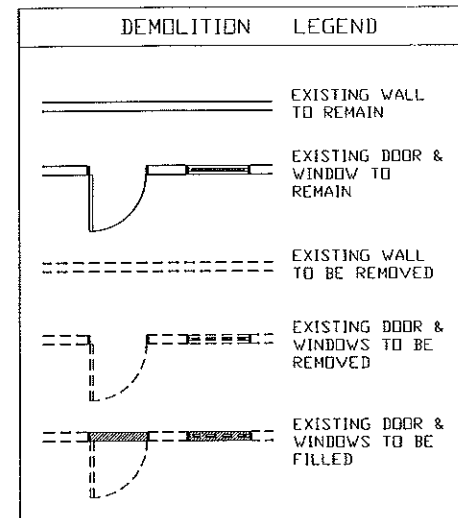
SHEET **A2**

EXHIBIT A-PZ



DEMOLITION SECOND FLOOR PLAN

SCALE: 1/4" = 1' - 0"



DEMOLITION NOTES

1. ALL WINDOWS TO BE REMOVED. PROTECT ADJACENT WALL.
2. REFER TO STRUCTURAL PLANS PRIOR TO REMOVAL OF ANY WALL OR STRUCTURAL MEMBER. SOME STRUCTURAL BEAMS & POSTS TO REMAIN AT DEMOLISHED WALLS. VERIFY WITH ARCHITECT ANY QUESTIONS PERTAINING TO ANY STRUCTURAL MEMBERS TO REMAIN OR TO BE REMOVED.
3. REFER TO FLOOR PLAN FOR LOCATION OF WALLS TO BE REMOVED. DEMOLITION INCLUDES ALL ELEMENTS WITHIN AND CONNECTED TO THE WALL. TERMINATE ALL ASSOCIATED ITEMS (I.E. ELECTRICAL, GAS, CABLE, ETC.) AS NECESSARY. ALL PIPING CONDUIT, ETC. SHALL BE TERMINATED AND CAPPED IN A LOCATION THAT WILL NOT BE VISIBLE WHEN NEW CONSTRUCTION IS COMPLETE.
4. PROTECT ALL SURFACES ADJACENT TO AREAS OF DEMOLITION. CONTRACTOR TO BE RESPONSIBLE FOR ALL ITEMS DAMAGED DURING DEMOLITION.
5. ITEMS TO BE SALVAGED SHALL BE CAREFULLY REMOVED IN A MANNER TO ENSURE MINIMUM DAMAGE AND SHALL BE STORED IN A STAGING AREA DESIGNATED BY THE OWNER. ALL MATERIALS, EQUIPMENT, AND OTHER ITEMS NOT TO BE RETAINED FOR FUTURE USE SHALL BE REMOVED FROM SITE.
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7. REMOVE ALL EXISTING LIGHT FIXTURES AND THEIR ASSOCIATED SWITCHING, SUPPORTS, CONDUIT, AND CONDUCTORS. SEE NOTE #6 FOR SALVAGED FIXTURES.
8. ERECT TEMPORARY, TIGHT FITTING DUSTPROOF PARTITIONS/BARRIERS AT THE PERIMETER OF THE AREA OF WORK PRIOR TO COMMENCEMENT OF DEMOLITION. DUSTPROOF PARTITIONS/BARRIERS SHALL REMAIN IN PLACE UNTIL COMPLETION OF ALL CONSTRUCTION WORK.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL EXISTING EQUIPMENT THAT IS TO REMAIN IS IN PROPER WORKING ORDER.

EXHIBIT A-P3

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DEMOLITION SECOND FLOOR PLAN

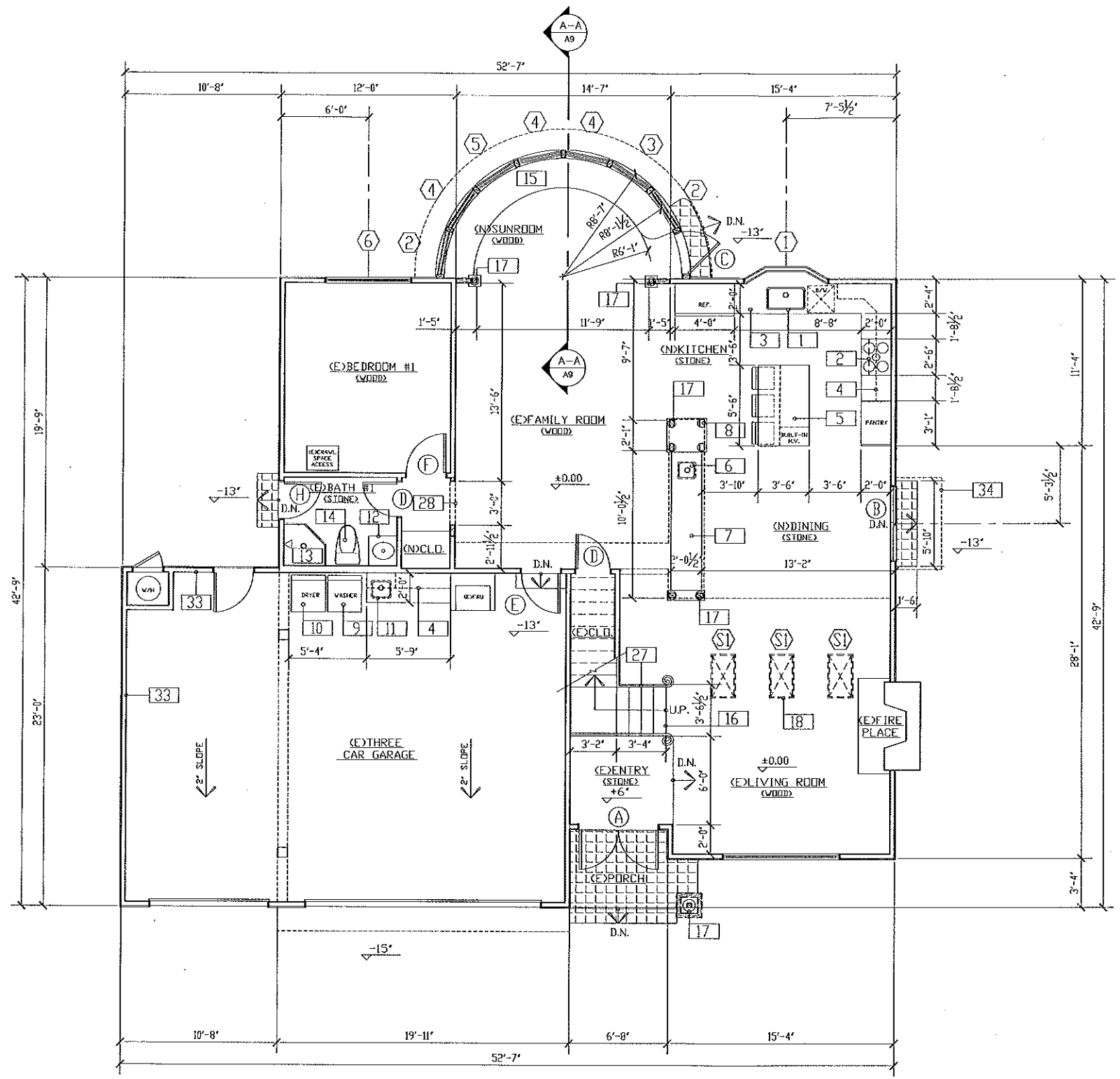


REVISION/ISSUE

NO.	DATE	DESCRIPTION

PROJECT NAME: SUN
 DESIGNED BY: ZHEN CAO
 DRAWN BY: ZHEN CAO
 DATE: 5/19/2016

SHEET A3



FIRST FLOOR PLAN
SCALE: 1/4" = 1' - 0"



FLOOR PLAN LEGEND

- (C) WALL
- (ND) PARTIAL WALL
- (ND) WALL @ 16" D.C., U.N.D.
- (ND) WALL WITH SOUND ABSORBENT INSULATION

FLOOR PLAN NOTES

- 1 BASIN SINK
- 2 COOKTOP RANGE W/ DOWN VENT
- 3 COUNTERTOP WITH BACKSPLASH, DRAWERS & CABINETS BELOW
- 4 COUNTERTOP WITH BACKSPLASH, DRAWERS & CABINETS BELOW & ABV.
- 5 36" ISLAND COUNTERTOP W/ DRAWERS & CABINETS BELOW
- 6 PREP SINK
- 7 36" HIGH COUNTERTOP W/ DRAWERS & CABINETS BELOW
- 8 DECORATION COLUMN
- 9 WASHER
- 10 DRYER
- 11 LAUNDRY SINK
- 12 LAV. VANITY COUNTERTOP W/BACKSPL. CABINETS BELOW & MIRROR ABV.
- 13 SHOWER W/ ONE HEAD
- 14 TOILET
- 15 BUILT-IN BENCH W/CLOSET BELOW
- 16 STAIRS: 4 TREADS @ 10"=3'-4" 5 RISERS @ 7 1/6"=3'-0" LANDING (3'-2"X 3'-4")
- 17 DECORATION COLUMN W/STRUCTURAL POST INSIDE
- 18 SKYLIGHT
- 19 WHIRLPOOL TUB IN BUILT-IN PLATFORM @ MASTER BATH
- 20 BUILT-IN LINEN
- 21 TOILET W/BIDET ELECTRONIC TOILET SEAT
- 22 DOUBLE LAV. VANITY TOP W/BACKSPL. CABINETS BELOW & MIRROR ABV.
- 23 BATH TUB W/ SHOWER
- 24 LAV. VANITY COUNTERTOP W/BACKSPL. CABINETS BELOW & MIRROR ABV.
- 25 24"X30" ACCESS TO ATTIC SPACE
- 26 BUILT-IN BOOKSHELF
- 27 WROUGHT IRON RAILING
- 28 ARCH DOORWAY, HEADER HEIGHT 7'-0"
- 29 POLE & SHELF
- 30 BUILT-IN COUNTERTOP W/ CABINETS BELOW
- 31 6x6 POST INSIDE, STUCCO EXTERIOR W/ PRECAST CONCRETE CAP
- 32 FIRST FLOOR LINE
- 33 GARAGE USE 5/8" GYPSUM BOARD TO INTERIOR FACE & PAINT.
- 34 LIGHTLINE CURVE CANOPY MODEL: CURVE 1900 OR SIMILAR

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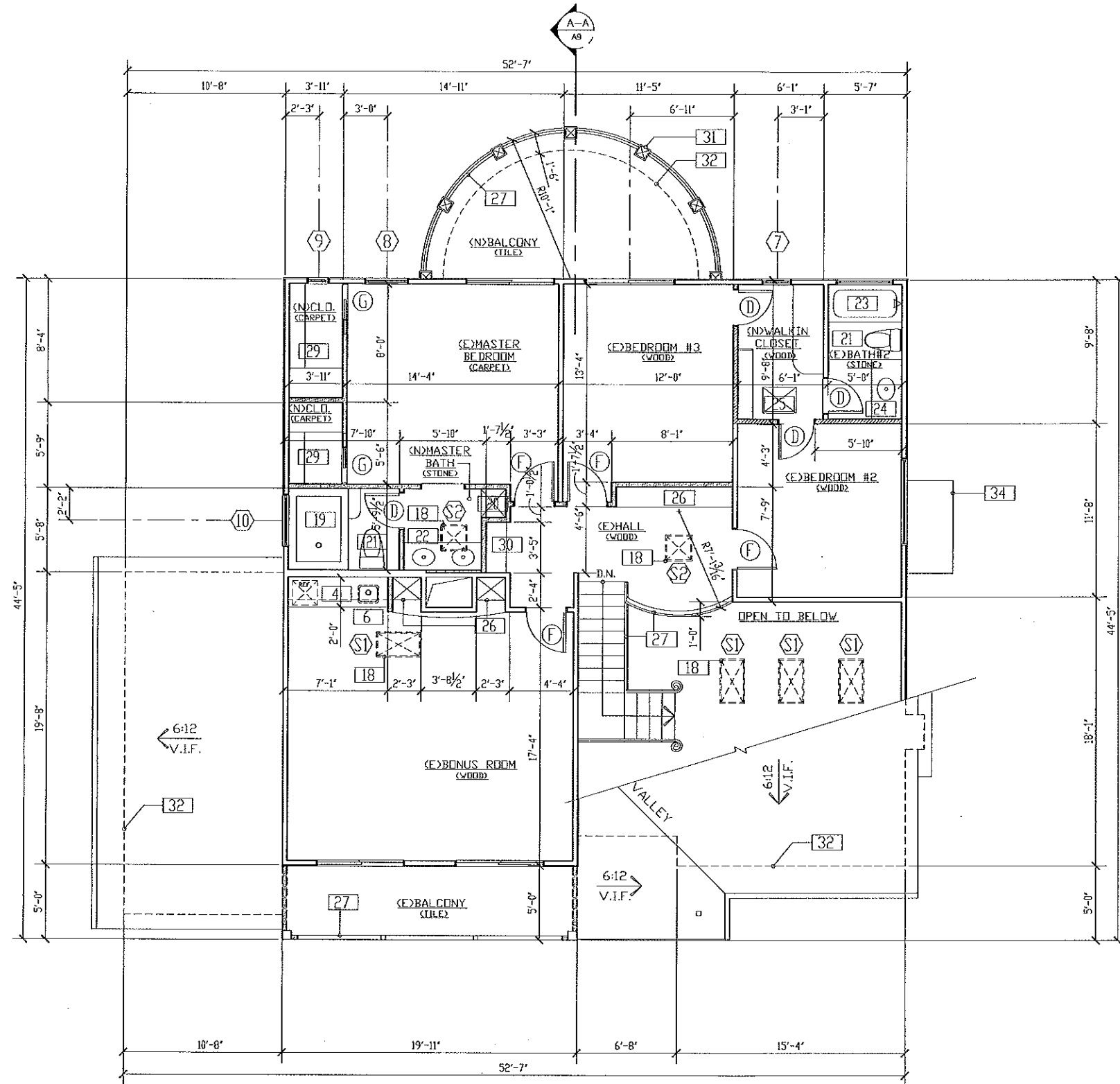
FIRST FLOOR PLAN



REVISION/ISSUE		
NO.	DATE	DESCRIPTION

PROJECT NAME	SUN
DESIGNED BY	ZHEN CAO
DRAWN BY	ZHEN CAO
DATE	5/19/2016

EXHIBIT A-P4



SECOND FLOOR PLAN
SCALE: 1/4" = 1' - 0"



FLOOR PLAN LEGEND

- (-) WALL
- (ND) PARTIAL WALL
- (ND) WALL @ 16" O.C., U.N.D.
- (ND) WALL WITH SOUND ABSORBENT INSULATION

FLOOR PLAN NOTES

- 1 BASIN SINK
- 2 COOKTOP RANGE W/ DOWN VENT
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- 34 LIGHTLINE CURVE CANOPY MODEL: CURVE 1900 OR SIMILAR

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SECOND FLOOR PLAN

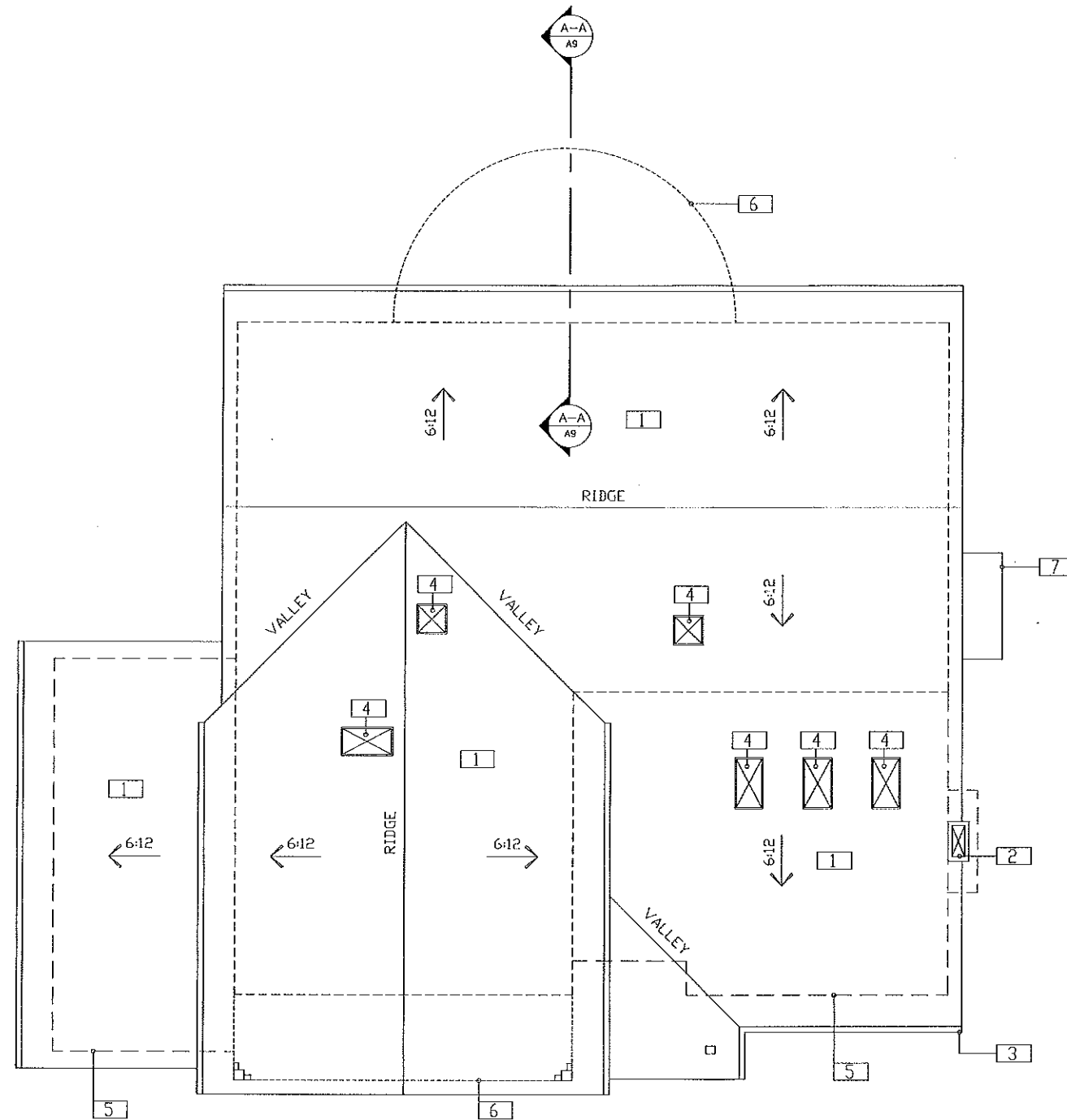


REVISION/ISSUE

NO.	DATE	DESCRIPTION

PROJECT NAME: SUN
DESIGNED BY: ZHEN CAO
DRAWN BY: ZHEN CAO
DATE: 5/19/2016
SHEET: A5

EXHIBIT A-PS



ROOF PLAN LEGEND

1	(X) CONCRETE TILES
2	(X) COPPER CHIMNEY CAP V/ SPARK ARRESTOR
3	(X) GUTTER
4	(X) SKYLIGHT
5	FIRST FLOOR LINE
6	SECOND FLOOR BALCONY LINE
7	(O) CURVE CANOPY

ROOF NOTES

1. ROOF TO BE CONCRETE TILES.
2. ROOFING TO BE MINIMUM FIRE RATED CLASS C PER 2001 U.B.C.
3. ALL FLASHING, COUNTERFLASHING, AND COPING TO BE MINIMUM 26 GA. NON-CORROSIVE METAL. FLASH AND COUNTERFLASH AS REQUIRED.
4. GUTTERS TO BE ALUMINUM SEAMLESS GUTTERS. DOWNSPOUTS LOCATIONS & NUMBERS ARE SCHEMATIC. FINAL LOCATION AND NUMBERS TO BE VERIFIED BY ARCHITECT PRIOR TO PLACEMENT.
5. ARROWS POINT TO DOWNSLOPE.
6. DASHED LINE INDICATES WALL BELOW.
7. DIMENSIONS OF GUTTERS ON ROOF PLAN INDICATE WRAP OF FASCIA & GUTTER @ GABLE ENDS, TYPICAL.

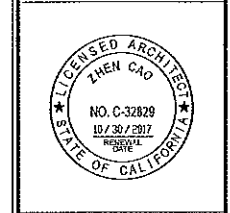
ROOF PLAN
SCALE: 1/4" = 1' - 0"



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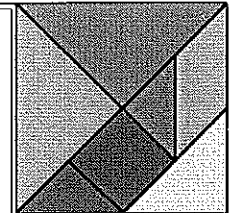
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ROOF PLAN



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SHEET	A6	

EXHIBIT A-P6



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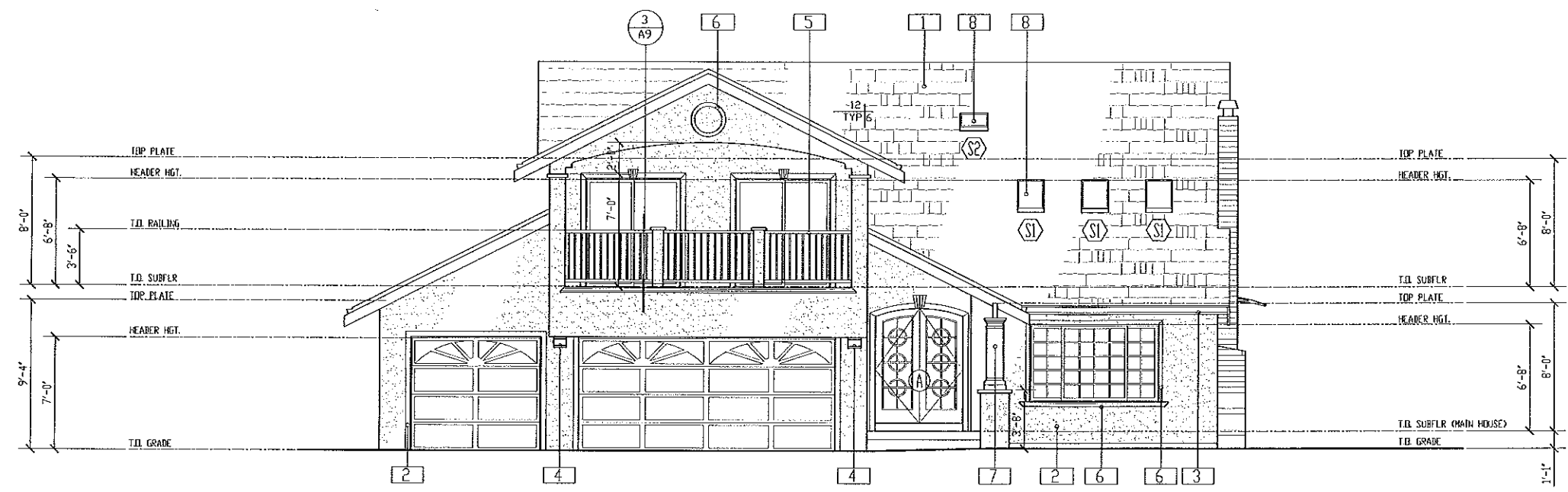
BUILDING NORTH &
 WEST ELEVATIONS



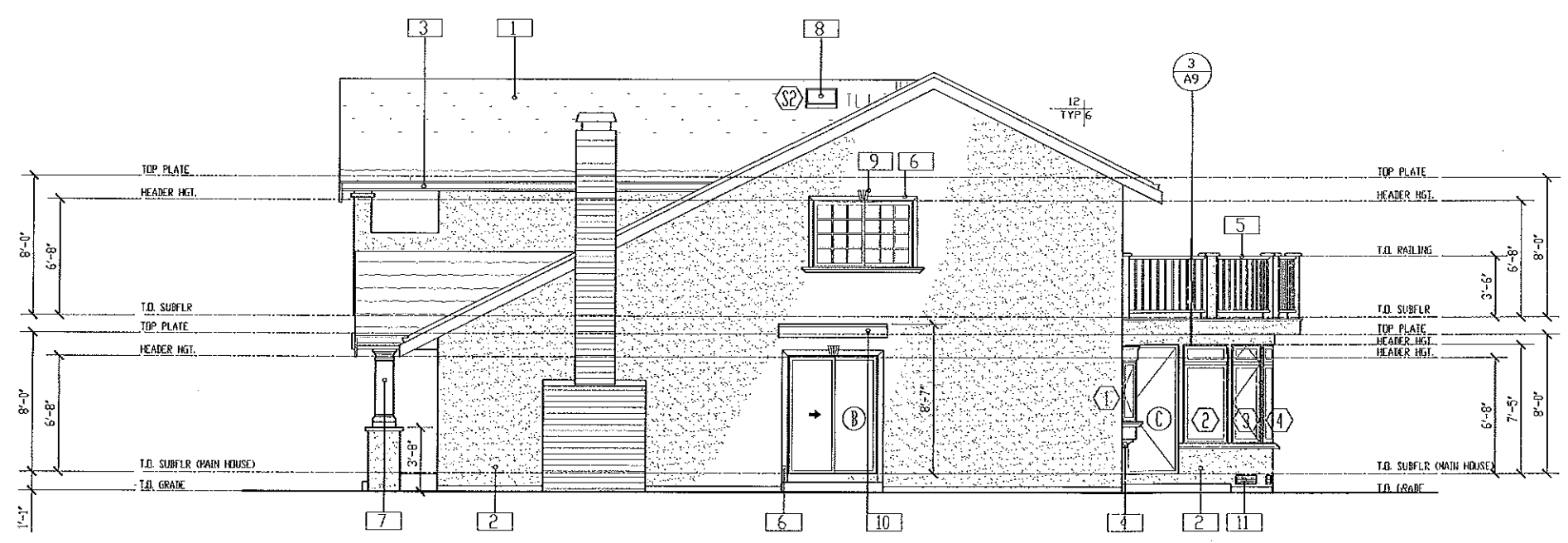
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SHEET A7



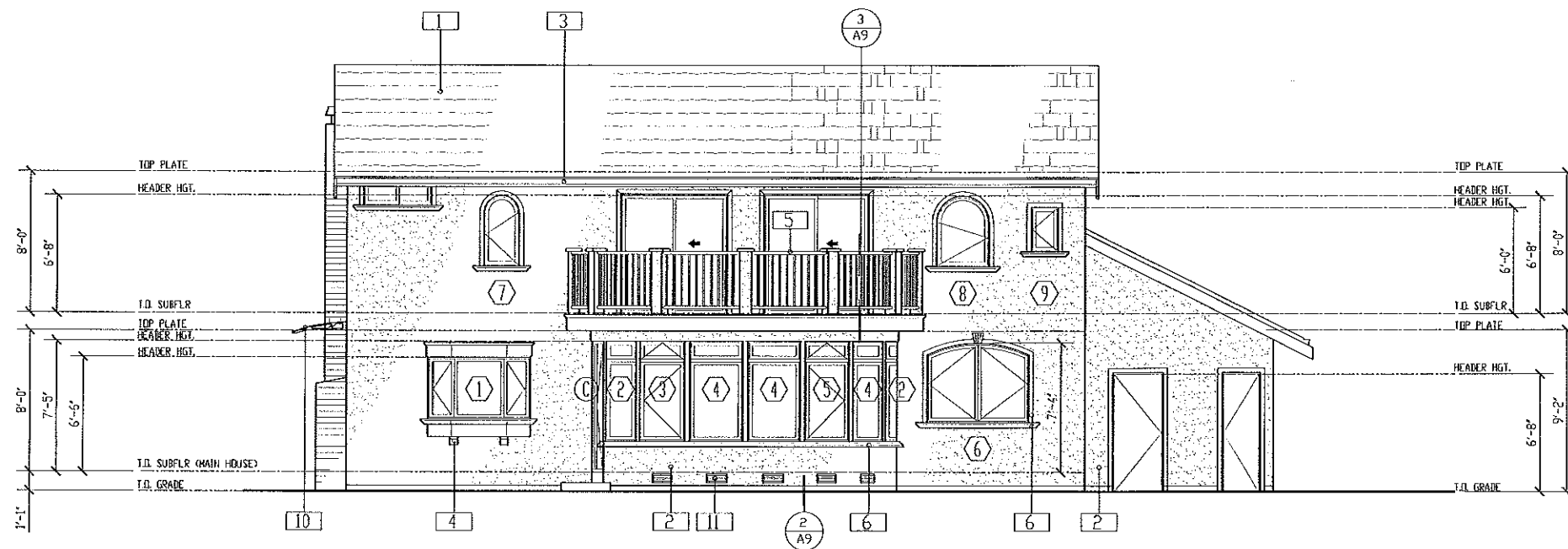
NORTH ELEVATION
 SCALE: 1/4"=1'-0"



WEST ELEVATION
 SCALE: 1/4"=1'-0"

ELEVATION NOTES	
1	(C) CONCRETE TILE ROOF
2	(O) HARD TROWEL STUCCO W/ TWO COAT PAINTED
3	(C) GUTTERS
4	(O) CORBEL
5	(O) WROUGHT IRON RAILING
6	(O) PAINTED STUCCO TRIM
7	(O) DECORATION COLUMN
8	(O) SKYLIGHT
9	(O) KEYSTONE
10	(O) CURVE CANOPY
11	(O) 14"x6' VENT @ CRAWL SPACE

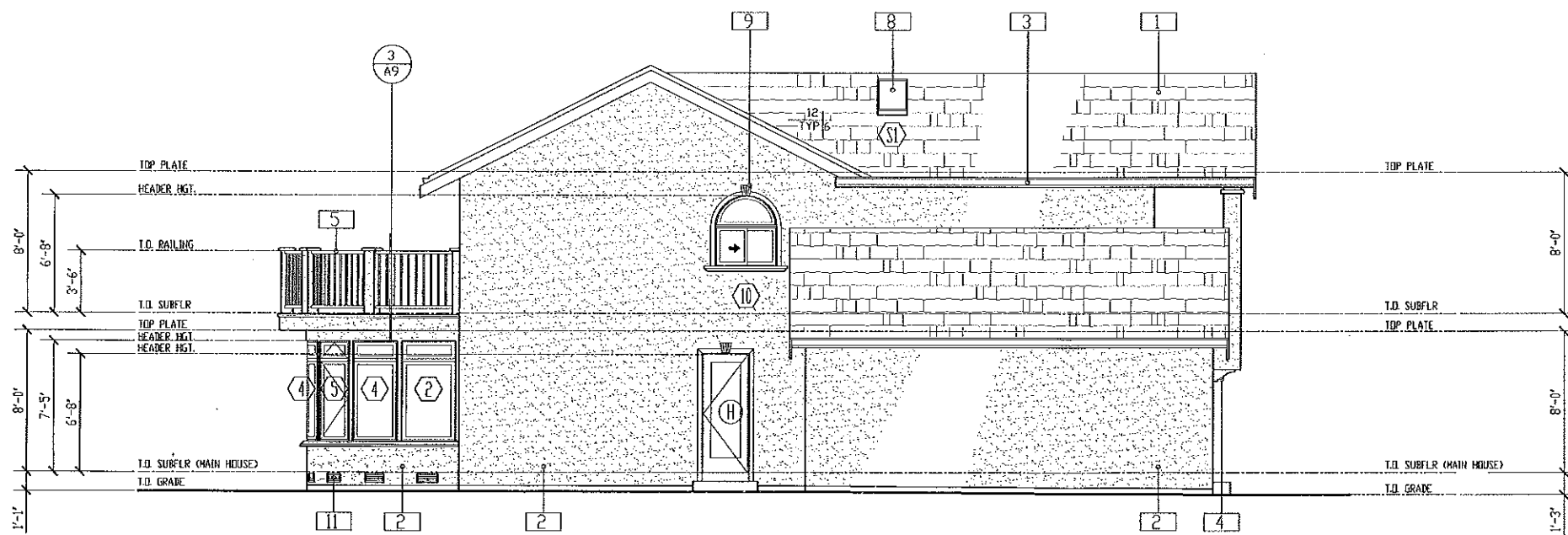
EXHIBIT A-27



SOUTH ELEVATION

SCALE: 1/4"=1'-0"

①



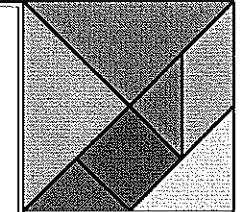
EAST ELEVATION

SCALE: 1/4"=1'-0"

②

ELEVATION NOTES

- 1 (C) CONCRETE TILE ROOF
- 2 (N) HARD TROWEL STUCCO
V/ TWO COAT PAINTED
- 3 (C) GUTTERS
- 4 (N) CORBEL
- 5 (N) WROUGHT IRON RAILING
- 6 (N) PAINTED STUCCO TRIM
- 7 (N) DECORATION COLUMN
- 8 (N) SKYLIGHT
- 9 (N) KEYSTONE
- 10 (N) CURVE CANDOPY
- 11 (N) 14'X6' VENT @ CRAWL SPACE



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BUILDING SOUTH &
 EAST ELEVATIONS



REVISION/ISSUE		
NO.	DATE	DESCRIPTION

PROJECT NAME	SUN
DESIGNED BY	ZHEN CAO
DRAWN BY	ZHEN CAO
DATE	5/19/2016
SHEET	A8

EXHIBIT A-P8