

GENERAL CONDITIONS

GENERAL CONDITIONS:

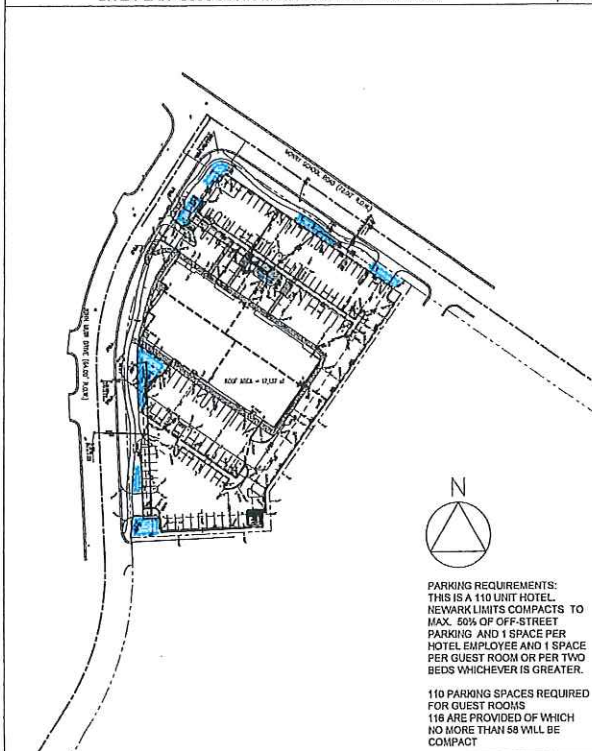
- PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION MEETING ON SITE TO ARRANGE JOB SCHEDULING WITH THE ARCHITECT AND CLIENT.
- THE CONTRACTOR SHALL SCHEDULE WORK AND COORDINATE WITH THOSE DOING OTHER WORK TO AVOID DELAYS, INTERFERENCE AND UNNECESSARY WORK.
- THE CONTRACTOR SHALL MAKE NECESSARY CHANGES, INCLUDING REMOVAL & REINSTALLATION OF MATERIALS AT HIS SOLE EXPENSE, IF HE FAILS TO CHECK WITH THOSE DOING OTHER WORK AND HIS INSTALLED WORK IS LATER FOUND TO INTERFERE WITH SUCH WORK.
- WHERE WORK OF ONE TRADE JOINS OR IS ON OTHER WORK, THERE SHALL BE NO DISCREPANCY WHEN SAME IS COMPLETED. IN ENGAGING ONE KIND OF WORK WITH ANOTHER, HARRING OR DAMAGING SAME WILL NOT BE PERMITTED. SHOULD IMPROPER WORK OF ANY TRADE BE COVERED BY ANOTHER WHICH RESULTS IN DAMAGE OR DEFECTS, THE WHOLE WORK AFFECTED SHALL BE MADE GOOD BY THE CONTRACTOR WITHOUT EXPENSE OR DELAY TO THE PROJECT OR PROJECT SCHEDULE.
- THE EXISTING CONDITIONS IN THE CONSTRUCTION DOCUMENTS ARE BASED ON DRAWINGS PROVIDED BY THE OWNER. ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
- THE CONTRACTOR SHALL PROVIDE STRICT CONTROL OF JOB CLEANING & PREVENT DUST AND DEBRIS FROM EMANATING FROM CONSTRUCTION AREA BY CONSTRUCTION OF DUST BARRIERS AS MAY BE REQUIRED BY THE SCOPE OF WORK.
- THE CONTRACTOR SHALL PATCH & REPAIR ALL FIRE PROOFING DAMAGE INCURRED DURING CONSTRUCTION. THE CONTRACTOR SHALL FIREPROOF ALL PENETRATIONS THROUGH RATED ASSEMBLIES GENERATED BY THE WORK DESCRIBED IN THESE DOCUMENTS.
- THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS AT THE BUILDING BEFORE ORDERING MATERIAL OR DOING ANY WORK. IF ANY INCONSISTENCIES OCCUR, THE CONTRACTOR SHALL REPORT, TO THE ARCHITECT, ANY INCONSISTENCIES OR ERRORS IN WORK OF OTHERS, AFFECTING THE COMPLETION OF HIS WORK. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK. FAILURE TO OBTAIN CLARIFICATION MAY RESULT IN THE WORK BEING REJECTED & CORRECTED AT NO COST TO THE PROJECT OR DELAY IN THE PROJECT SCHEDULE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT THE PARTITION LAYOUT IS ACCURATE. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR SHALL SUBMIT THEM TO THE ARCHITECT & OBTAIN CLARIFICATION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION, OR RELATED WORK. FAILURE TO OBTAIN CLARIFICATION MAY RESULT IN THE WORK BEING REJECTED AND CORRECTED AT NO COST TO THE PROJECT OR DELAY IN THE PROJECT SCHEDULE.
- CONTRACTOR SHALL MARK LOCATIONS OF PARTITIONS AND DOORS FOR REVIEW BY ARCHITECT PRIOR TO INSTALLATION. REVIEW WILL BE FOR DESIGN INTENT. CONTRACTOR SHALL COORDINATE AND VERIFY ALL CONDITIONS TO ENSURE PROPER FIT.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN ALL PARTITION LOCATIONS. ALL DOOR AND OPENING LOCATIONS SHALL BE SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT, NOTIFY THE ARCHITECT. FLOOR PLAN BY ARCHITECT SUPERSEDES OTHER PLANS. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES.

SUBSTITUTIONS

- FOR PRODUCTS INDICATED OR SPECIFIED ONLY BY REFERENCE STANDARD, SELECT ANY PRODUCT MEETING SUCH STANDARD.
- FOR PRODUCTS INDICATED OR SPECIFIED BY NAMING SEVERAL PRODUCTS OR MANUFACTURERS, SELECT ANY ONE OF THE PRODUCTS OR MANUFACTURERS NAMED WHICH COMPLES WITH THE SPECIFIED REQUIREMENTS AND SUBMIT A REQUEST FOR SUBSTITUTION IN THE SAME MANNER AS FOR SUBSTITUTIONS FOR A PRODUCT OR MANUFACTURER NOT SPECIFICALLY NAMED.
- FOR PRODUCTS INDICATED OR SPECIFIED BY NAMING ONE MANUFACTURER, FOLLOWED BY THE WORDS "OR APPROVED EQUAL", SUBMIT A REQUEST FOR REVIEW OF A SUBSTITUTION FOR A PRODUCT OR MANUFACTURER NOT SPECIFICALLY NAMED.
- FOR PRODUCTS INDICATED OR SPECIFIED BY NAMING ONLY ONE PRODUCT AND MANUFACTURER, THERE IS NO SUBSTITUTION.

SITE PLAN -5600 JOHN MUIR DRIVE NEWARK CA

1/8" = 1'-0"



SYMBOL LEGEND

- DOOR SYMBOL: SEE DOOR SCHEDULE A2.5
- PARTITION TYPE: SEE PARTITION SCHEDULE A9.1
- STOREFRONT OR WINDOW: SEE WINDOW SCHEDULE A2.5
- REVISION CLOUD AND NUMBER
- ROOM NAME & NUMBER
- ROOM FINISH TAG: FLOOR, BASE, WALL & CEILING FINISH CODES
- SINGLE FINISH TAG
- KEYNOTE SYMBOL
- DETAIL BUBBLE
- EXTERIOR ELEVATION TAG
- INTERIOR ELEVATION TAG
- SECTION TAG
- DATUM POINT: DATUM POINT 0'-0"

TYPE V-A
NEW HOTEL BUILDING
APPLICABLE BUILDING CODES
THE FOLLOWING CODES, AS ADOPTED BY THE CITY OF NEWARK, IS THE APPLICABLE TO THIS PROJECT:
2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA PLUMBING CODE

ZONING INFORMATION
PARCEL: C-3
BUILDING TYPE: TYPEVA
ZONING DISTRICT: CC
SIDE YARD SETBACK: 2' SHOWN MINIMUM
REAR YARD SETBACK: 2' SHOWN MINIMUM
FRONT YARD SETBACK: 2' SHOWN MINIMUM
MAX HEIGHT: 35' SHOWN
MAX STORIES: 5 SHOWN
LOT COVER: 22.6%
LOT COVERAGE: 22.6%
MAX P.A.R.: 71,119 SQ FT
APPLICABLE PARCEL NUMBER: 001-0195-018 & 001-0195-019

PARKING REQUIREMENTS:
THIS IS A 110 UNIT HOTEL.
NEWARK LIMITS COMPACTS TO MAX. 50% OF OFF-STREET PARKING AND 1 SPACE PER HOTEL EMPLOYEE AND 1 SPACE PER GUEST ROOM OR PER TWO BEDS WHICHEVER IS GREATER.
110 PARKING SPACES REQUIRED FOR GUEST ROOMS
116 ARE PROVIDED OF WHICH NO MORE THAN 58 WILL BE COMPACT

PLANNING APPLICATION REVIEW
SCOPE OF WORK
THESE DRAWINGS DESCRIBE A NEW 5 STOREY 110 ROOM 71,119 SF, TYPE V-A, HOTEL BUILDING AT 5600 JOHN MUIR BLVD IN NEWARK, CALIFORNIA ON A LOT OWNED BY HINSH PATEL.
THIS SET INCLUDES ARCHITECTURAL, AND CIVIL ENGINEERING DRAWINGS IN APPLICATION FOR PLANNING APPROVAL.

SQUARE FOOTAGE SUMMARY

2000 AREA	SF FT TO EXTERIOR FACE	ROOMS	PARKING
GROUND FLR	18,365 SF	4	-
SECOND FLR	12,565 SF	25	-
THIRD FLR	13,365 SF	27	-
FOURTH FLR	13,365 SF	27	-
FIFTH FLR	13,365 SF	27	-
TOTALS	71,119 SF	110	122

PROPOSED BUILDING: 110
TOTAL # GUEST ROOMS: 110
REQUIRED NO. OF ACCESSIBLE ROOMS: 5 + 2 WITH ROLL IN SHOWER
PROVIDED NO. OF ACCESSIBLE ROOMS: 5 + 2 WITH ROLL IN SHOWER
(ROOM NOS. 105, 205, 228, 328, 405, 428, 528)

PARKING: REQUIRED 116 (GUEST) + 10 (EMPLOYEE) = 126
PROVIDED 116 INCLUDING 5

GUEST ROOM COUNT BREAKDOWN:

	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	TOTAL
KING	13	15	15	15	15	63
DOUBLE QUEEN	10	10	10	10	10	40
ADA KING	1	1	1	2	1	4
ADA QUEEN	1	1	1	1	1	3
TOTAL	4	25	27	27	27	110

REMARKS:
ADA KING WITH TUB: 1 (205, 405, 428)
ADA KING WITH ROLL-IN SHOWER: 1 (328)
ADA QUEEN WITH TUB: 1 (105, 528)
ADA QUEEN WITH ROLL-IN SHOWER: 1 (228)

- ARCHITECTURAL
- A0.0 COVER SHEET
 - A0.1 HOTEL DATA
 - A1.1 SITE PLAN
 - A1.2 EGRESS PLAN
 - A2.1 FIRST FLOOR PLAN
 - A2.2 SECOND AND THIRD FLOOR PLAN
 - A2.3 FOURTH AND FIFTH FLOOR PLAN
 - A2.4 ROOF PLAN
 - A3.1 ELEVATIONS
 - A3.2 ELEVATIONS
 - A4.1 MATERIAL BOARD
- CIVIL
- C-1 TOPOGRAPHIC SURVEY
 - C-2 TITLE SHEET AND NOTES
 - C-3 GRADING, DRAINAGE AND UTILITY PLAN
 - C-3.1 STORMWATER CONTROL AND DETAILS
 - C-3.2 FIRE
- LANDSCAPE
- L-0 TITLE SHEET
 - L-1 EXISTING TREE SURVEY PLAN
 - L-2 TREE PLANTING PLAN
 - L-3 SITE AND GROUND COVER PLAN
 - L-4 HYDROZONES PLAN
 - L-5 GENERAL NOTES

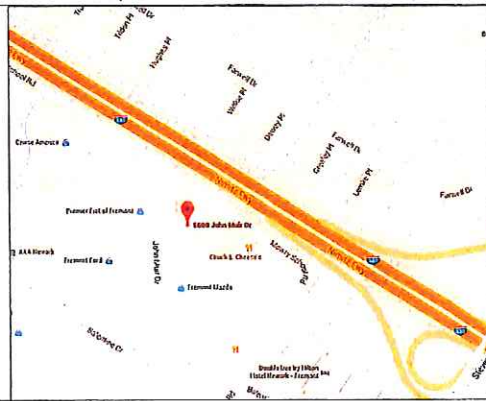
PROJECT TEAM
OWNER: SYLVAN REAL ESTATE LLC
1515831274
sgspatel@verizon.net
ARCHITECT: IHER & ASSOCIATES
IHER BUILDING
828 SANDHOG STREET
SUITE 200
SAN FRANCISCO, CA 94111
ARVID S. IHER, AIA
415-828-4937 (CELL)
iher@iherarch.com
CIVIL: STERLING CONSULTANTS
DAN S. WISNOWN, PE, OES
11010 BOLLINGER CANYON ROAD,
SUITE E-102
SAN RAFAEL, CA 94582
TEL: 925-705-3633
FAX: 925-705-3943
STERLINGCONSULTANTS@GMAIL.COM
LANDSCAPE DESIGN: MICRO RESORT
ELLEN REIZ
810 304 0233
ELLEN@REIZORLANDSCAPE.COM

IHER & ASSOCIATES
Architects • Interiors • Planning

1515831274
ARVID S. IHER
AIA 02/19/2017
STATE OF CALIFORNIA

NEWARK HOTEL
5600 JOHN MUIR BLVD,
NEWARK, CA 94560.

VICINITY (NEWARK CALIFORNIA ZONING)



Sheet COVER SHEET

Date: 07/10/16	Issued for: Billan approval
	planning submittal
Drawn by: JS	
Checked by: AST	
Scale: AS NOTED	
Project no. 12160102	Sheet no. A0.0

EXHIBIT Ap1



NEWARK HOTEL

5600 JOHN MUIR BLVD,
NEWARK, CA 94560.

Sheet

SITE PLAN

Date	Issued for:
07/29/14	Bill of Approval
07/10/14	Planning Submittal

Drawn by JS

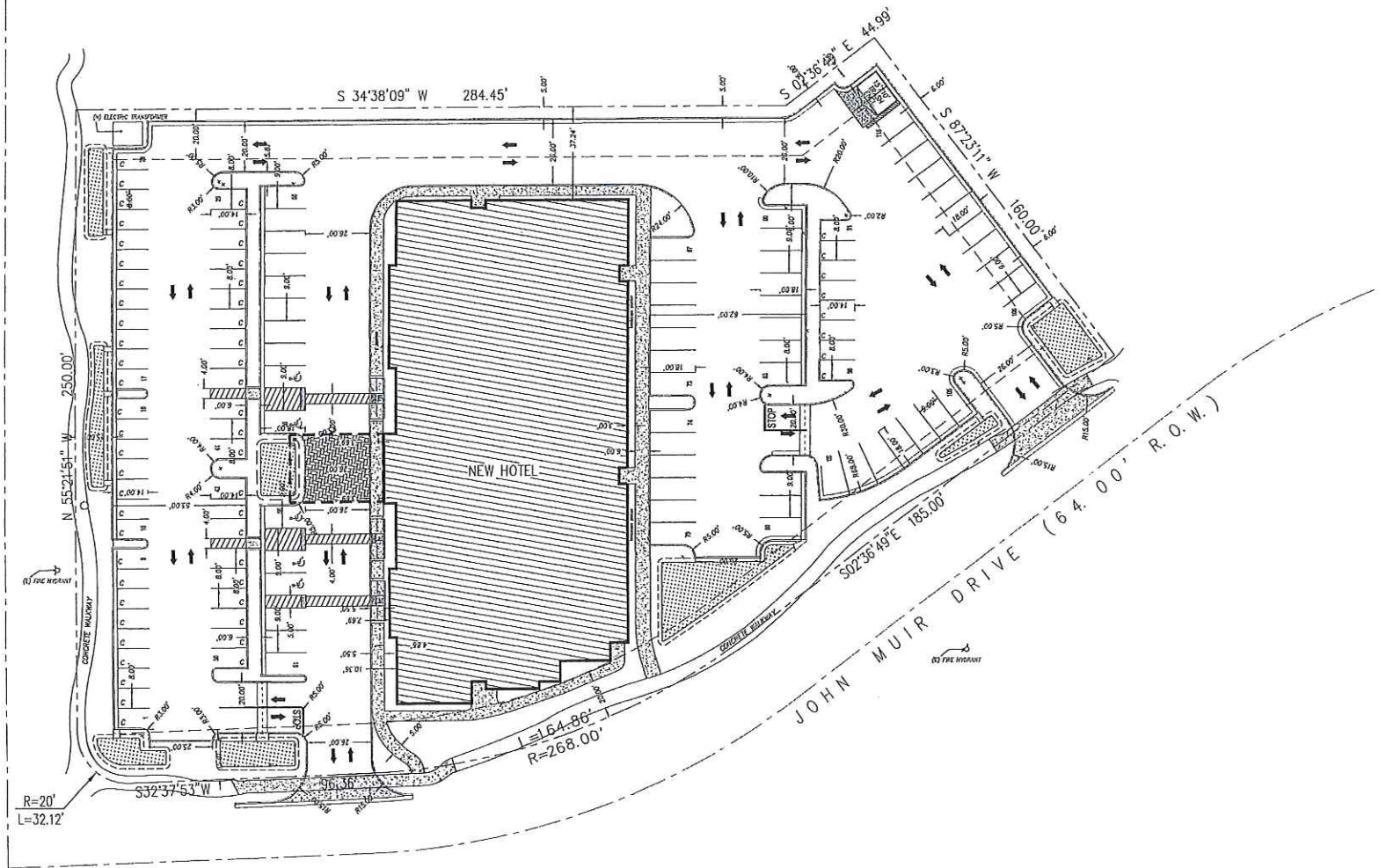
Checked by ASI

Scale: AS NOTED

Project no.
12160102

Sheet no.
A1.1

MOWRY SCHOOL ROAD (72.00' R.O.W.)

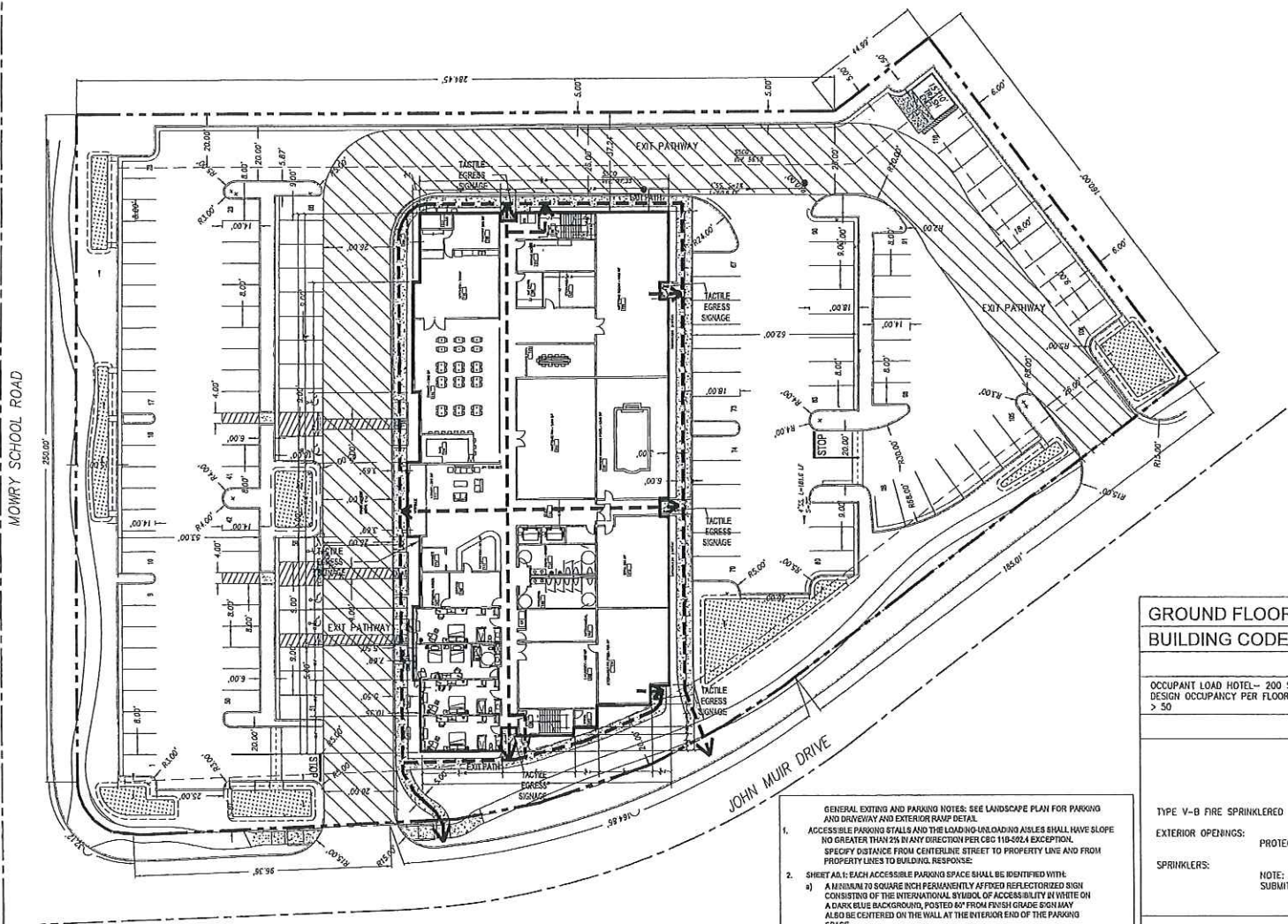


SITE PLAN



EXHIBIT *Ap2*

NEWARK HOTEL
 5600 JOHN MUIR BLVD,
 NEWARK, CA. 94560.



EGRESS PLAN
 1:20

**GROUND FLOOR EXITING PLAN
 BUILDING CODE COMPLIANCE**

OCCUPANT LOAD HOTEL - 200 SF
 DESIGN OCCUPANCY PER FLOOR : 53 OCCUPANTS - 2 EXITS REQUIRED
 > 50

TYPE V-B FIRE SPRINKLERED
 EXTERIOR OPENINGS: PROTECTED WHEN <10 FEET FROM PROPERTY LINE
 SPRINKLERS: NOTE: A NFPA 13 FIRE SPRINKLER SYSTEM WILL BE SUBMITTED TO FIRE DEPARTMENT FOR PERMITTING.

1. ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. KEY LOCKING HARDWARE MAY BE USED ON THE MAIN EXIT WHEN THERE IS A READILY VISIBLE, DURABLE SIGN ON OR ADJACENT TO THE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS".
2. ALL WALKWAYS ALONG ACCESSIBLE ROUTES OF TRAVEL MUST: 1) BE CONTINUOUSLY ACCESSIBLE, 2) HAVE MAXIMUM 1/2" CHANGES IN ELEVATION, 3) BE A MINIMUM OF 48" WIDE, 4) HAVE A MAXIMUM OF 1/4" PER FOOT CROSS SLOPES, AND 5) HAVE A RAMP TO CHANGE ELEVATION WHERE THE SLOPE EXCEEDS 5%.

NOTE: NO ACCESSIBLE PATH OF TRAVEL HAS A SLOPE OF GREATER THAN 2% ON THE EXTERIOR. THE ONLY INTERIOR RAMP (IN THE OFFICE) IS 1:12 AND INCLUDES ACCESSIBLE RAILING

- GENERAL EXITING AND PARKING NOTES: SEE LANDSCAPE PLAN FOR PARKING AND DRIVEWAY AND EXTERIOR RAMP DETAIL.
1. ACCESSIBLE PARKING STALLS AND THE LOADING/UNLOADING ANGLES SHALL HAVE SLOPE NO GREATER THAN 2% IN ANY DIRECTION PER CBC 11B-0924 EXCEPTION. SPECIFY DISTANCE FROM CENTERLINE STREET TO PROPERTY LINE AND FROM PROPERTY LINES TO BUILDING. RESPONSE:
 2. SHEET A0.1: EACH ACCESSIBLE PARKING SPACE SHALL BE IDENTIFIED WITH:
 - a) A MINIMUM 70 SQUARE INCH PERMANENTLY AFFIXED REFLECTORIZED SIGN CONSISTING OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY BY VISITE ON A DARK BLUE BACKGROUND, POSTED 60" FROM FINISH GRADE SIGN MAY ALSO BE CENTERED ON THE WALL AT THE INTERIOR END OF THE PARKING SPACE.
 - b) AN ADDITIONAL SIGN OR ADDITIONAL LANGUAGE BELOW THE SYMBOL OF ACCESSIBILITY SHALL STATE "MINIMUM FINE \$250". CBC SECTION 11B-092.2
 - c) VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN OR ADDITIONAL LANGUAGE STATING "VAN ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY.
 - d) POSTED AT SITE EN/ TRANCE TO OFF-STREET PARKING FACILITIES OR ADJACENT TO AND VISIBLE FROM EACH STALL A 17" X 22" MINIMUM SIGN WITH 1" LETTERING STATING: "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT OWNERS' EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT _____ OR BY TELEPHONING _____." CBC SECTION 11B-092.2
 3. PAINT 1" HIGH "NO PARKING" ON THE GROUND WITHIN EACH 8' & WIDE LOADING ANGLES OF THE DISABLED PARKING SPACES PER CBC FIG 11B-092.1.1.

Sheet
EGRESS PLAN

Date	Issued for:
2/17/18	Ellian approval
02/10/18	planning_submittal

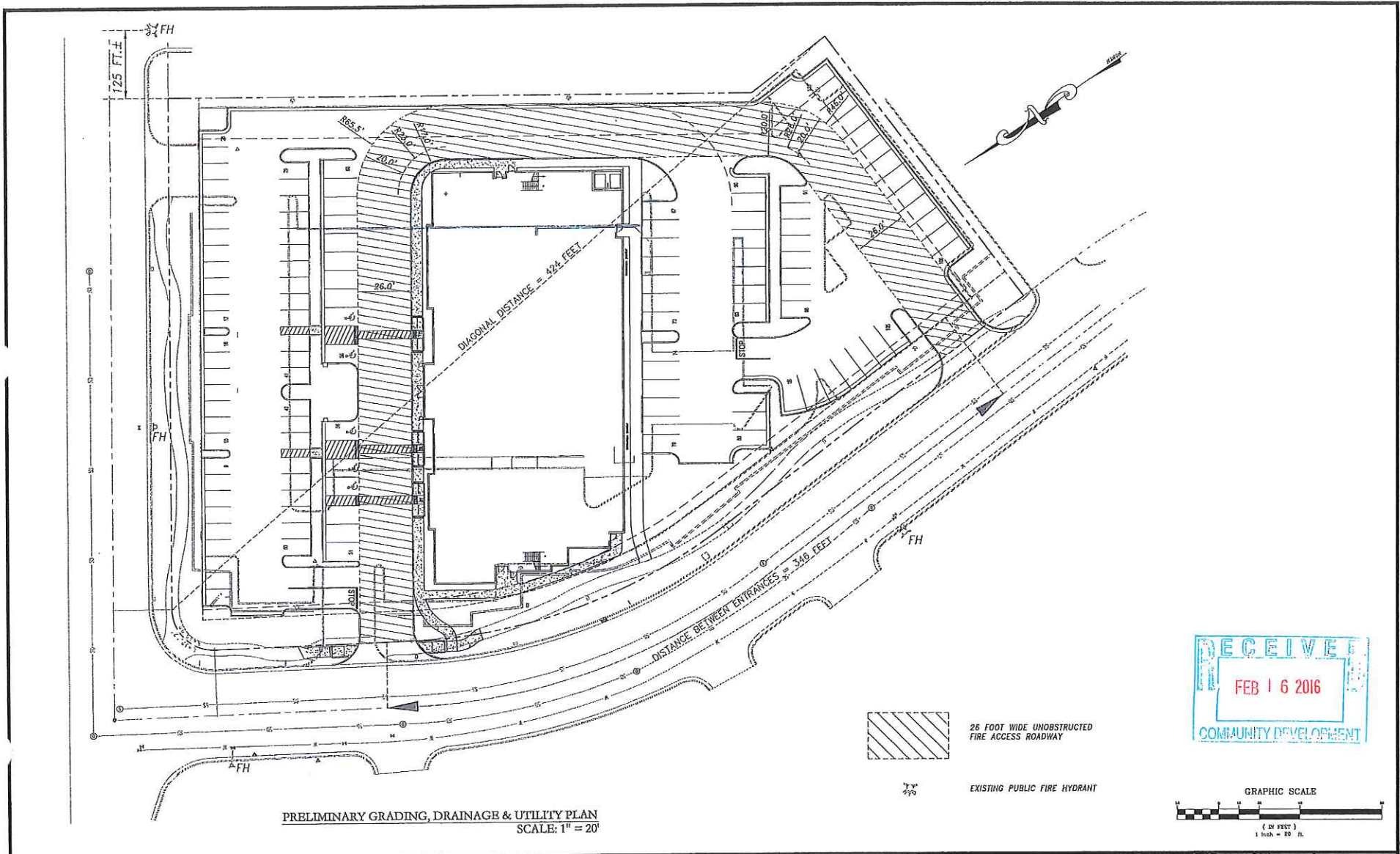
Drawn by JS

Checked by ASI

Scale: AS NOTED

Project no. 12160102
 Sheet no. A1.2

EXHIBIT Ap3



PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
SCALE: 1" = 20'

DATE: DEC 14, 2015					
SCALE: AS NOTED					
DRAWN: DSK					
DESIGNED: DSK					
CHECKED: DSK					
MANAGER: DSK					
	NO.	BY	DATE	REVISIONS	CITY APPR.

PREPARED BY, OR UNDER THE DIRECTION OF:

PREPARED BY:
STERLING CONSULTANTS
ENGINEERING • SURVEYING • CONSTRUCTION SUPPORT
1550 HOLLINGER CANTON RD, SUITE B-119
SAN FRANCISCO, CA 94132
PHONE: 923.793.3633
FAX: 656.956.6343
tsterling@sterlingcs.com

PREPARED FOR:
SHIVAM REAL ESTATE, LLC
23385 FOLEY STREET
HAYWARD, CA 94545
(510) 785-1915

APNs: 901-0195-018 & -019

CITY OF NEWARK

**NEW HOTEL BUILDING
FIRE DEPARTMENT EXHIBIT**

ALAMEDA COUNTY

5800 JOHN MUIR DRIVE
CALIFORNIA

SHEET NO. **FIRE**
2 of 3 SHEETS
JOB NO. 2015-215

PRELIMINARY • NOT FOR CONSTRUCTION

EXHIBIT Ap4

PRINTED: DECEMBER 14, 2015



NEWARK HOTEL

5600 JOHN MUIR BLVD,
NEWARK, CA 94560.

Sheet

FIRST FLOOR PLAN

Date	Issued for:
01/20/16	Hilton approval
07/10/16	planning submittal

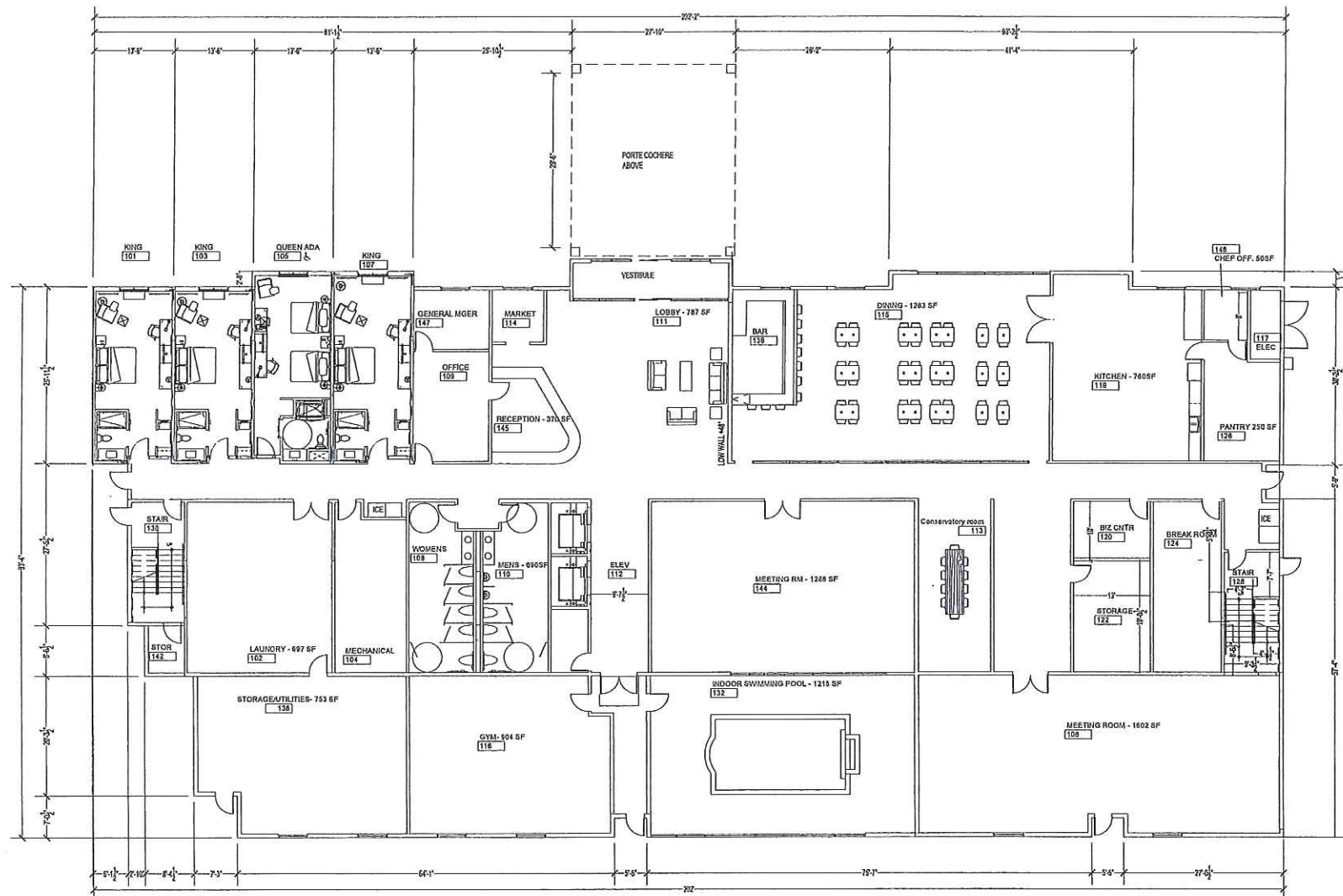
Drawn by JS

Checked by ASI

Scale: AS NOTED

Project no. 12160102

Sheet no. **A2.1**

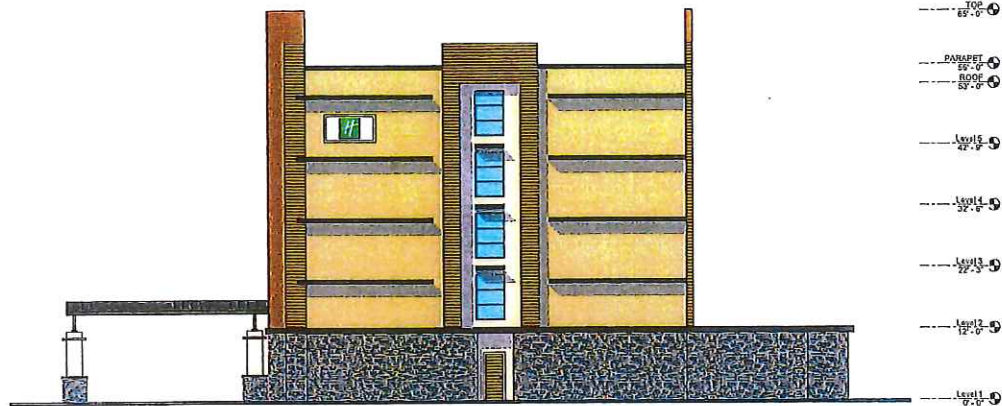


1 FIRST FLOOR PLAN
1/8" = 1'-0"

EXHIBIT Ap5



1 MOWRY SCHOOL ROAD (NORTH) ELEVATION
1/2" = 1'-0"



2 JOHN MUIR DRIVE (WEST) ELEVATION
1/2" = 1'-0"

PRIMARY MATERIALS:

- STUCCO PANEL SYSTEM WITH BLACK ANODIZED ALUMINUM DOORS AND WINDOW SYSTEM
- STONE SPLIT FACE FOR BASE

[SEE MATERIAL BOARD (A4.1)]

IYER & ASSOCIATES
Architecture • Interiors • Planning

IYER BUILDING
3155 PASADENA STREET,
SUITE 200, LOS ANGELES,
CALIFORNIA 90031
TEL: (818) 301-1111
FAX: (818) 301-1114

IYER

2018 © IYER & ASSOCIATES



NEWARK HOTEL

5600 JOHN MUIR BLVD,
NEWARK, CA 94560.

Sheet
ELEVATIONS

Date	Issued for:
07/27/18	TO OWNER

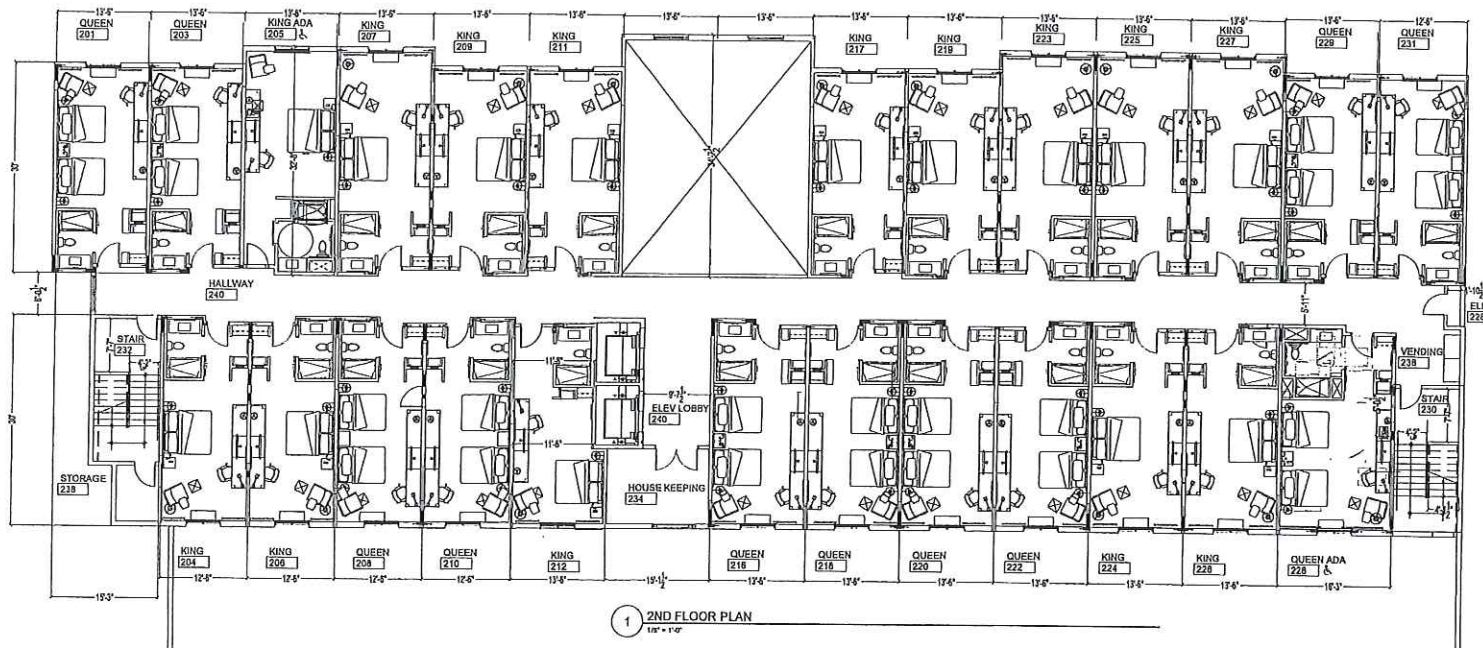
Drawn by JS

Checked by ASI

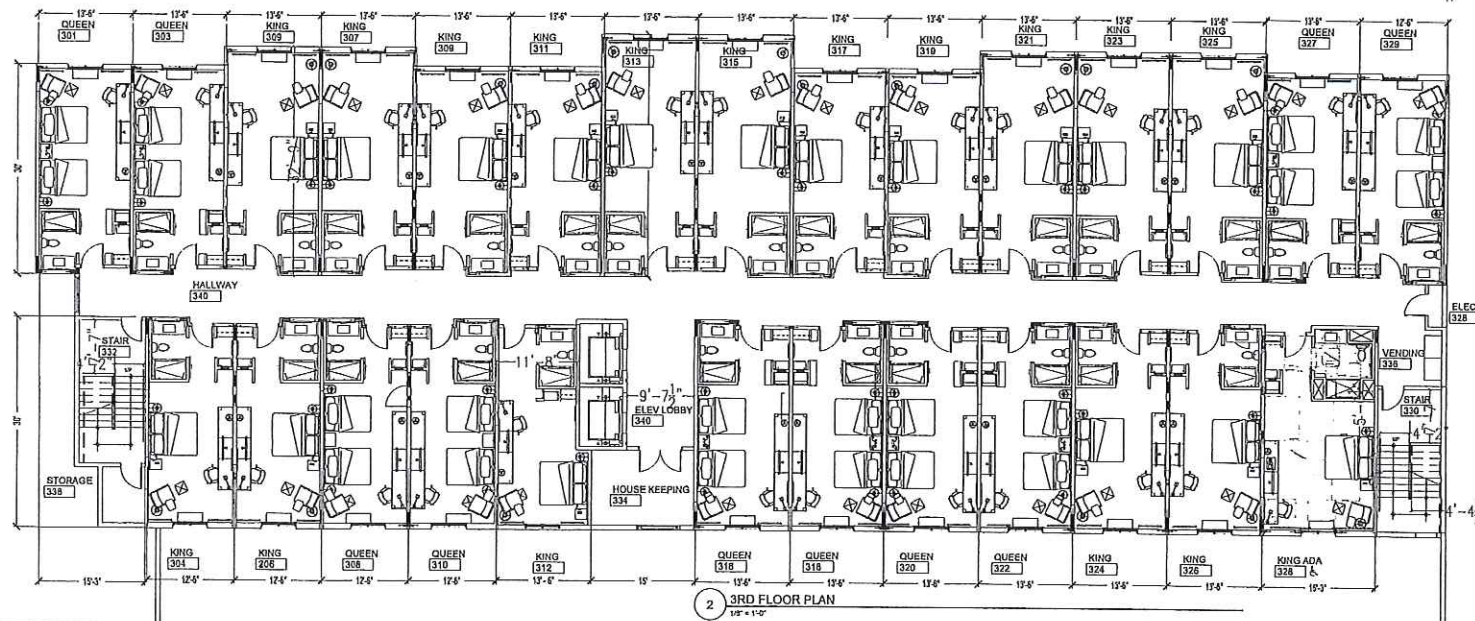
Scale: AS NOTED

Project no. 12160102	Sheet no. A3.1
-------------------------	-------------------

EXHIBIT Ap6



1 2ND FLOOR PLAN
1/8" = 1'-0"



2 3RD FLOOR PLAN
1/8" = 1'-0"

IYER & ASSOCIATES
Architects • Interiors • Planning
IYER BUILDING
855 MARCOVE STREET,
SUITE 205
SAN FRANCISCO, CA 94111
PHONE (415) 771-0127
FAX (415) 381-4155

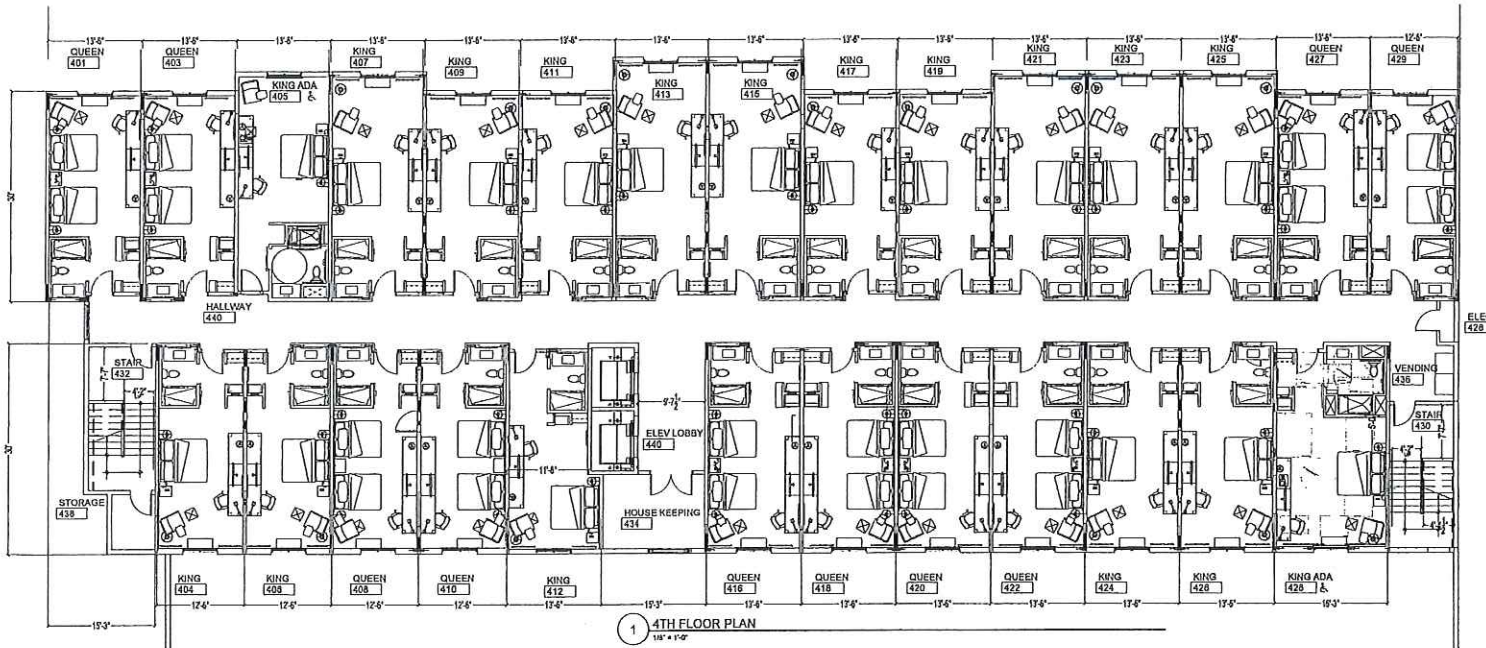
IYER



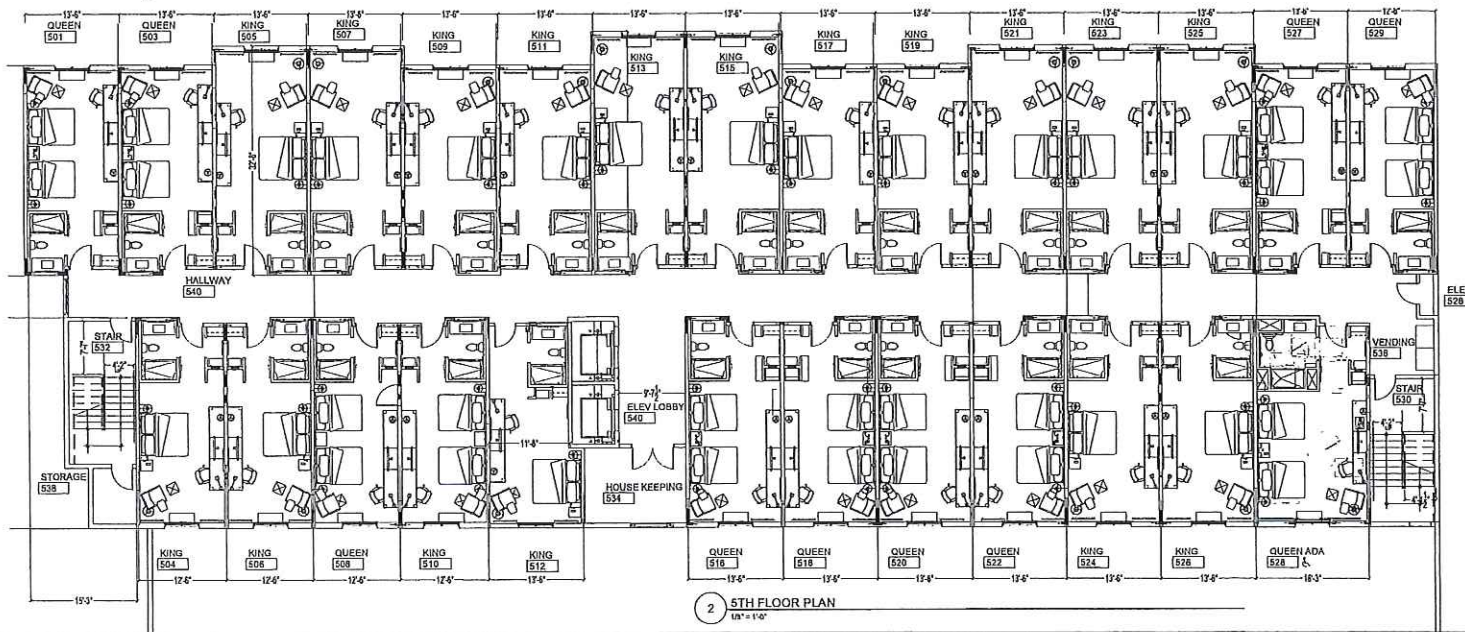
NEWARK HOTEL
5600 JOHN MUIR BLVD.,
NEWARK, CA 94560.

Sheet	
2 & 3 FLOOR PLANS	
Date	Issued for:
8/20/15	final approval
12/10/16	planning submittal
Drawn by	JS
Checked by	ASI
Scale:	AS NOTED
Project no.	Sheet no.
12160102	A2.2

EXHIBIT Ap7



1 4TH FLOOR PLAN
15'0" x 14'0"



2 5TH FLOOR PLAN
15'0" x 14'0"

HYER & ASSOCIATES
Architecture - Interiors - Planning
HYER BUILDING
111 BAYVIEW TRAIL,
SUITE 205
SAN FRANCISCO, CA 94111
PHONE (415) 362-1127
FAX (415) 362-8114

HYER

© 2016 HYER & ASSOCIATES



NEWARK HOTEL

5600 JOHN MUIR BLVD,
NEWARK, CA 94560.

Sheet	
4 & 5 FLOOR PLANS	
Date: 11/28/16	Issued for: Dillon, anacova_planning_submittal
Drawn by: JS	Checked by: ASI
Scale: AS NOTED	
Project no. 12160102	Sheet no. A2.3

EXHIBIT Ap8

TREE NUMBER	ELEVATION	BOTANICAL NAME	DBH	COMMON NAME	QTY.	DESIGNATION	REMARKS
A-01	16'	CELEBRA PARVIFLOA	2"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-02	14'	CELEBRA PARVIFLOA	3"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-03	14'	CELEBRA PARVIFLOA	2"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-04	14'	CELEBRA PARVIFLOA	1"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-05	13'	CELEBRA PARVIFLOA	2"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-06	16'	CELEBRA PARVIFLOA	2"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-07	16'	CELEBRA PARVIFLOA	3"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-08	14'	CELEBRA PARVIFLOA	2"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-09	15'	CELEBRA PARVIFLOA	1"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-10	12'	CELEBRA PARVIFLOA	1"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-11	13'	CELEBRA PARVIFLOA	2"	AUSTRALIAN WILLOW 'WILG'	1	REMOVE	
A-12	12'	CELEBRA PARVIFLOA	1"	AUSTRALIAN WILLOW 'WILG'	1	REMOVE	
A-13	14'	CELEBRA PARVIFLOA	2"	AUSTRALIAN WILLOW 'WILG'	1	REMOVE	
A-14	17'	CELEBRA PARVIFLOA	1"	AUSTRALIAN WILLOW 'WILG'	1	REMOVE	
A-15	13'	CELEBRA PARVIFLOA	1"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-16	13'	CELEBRA PARVIFLOA	2"	AUSTRALIAN WILLOW 'WILG'	1	REMOVE	
A-17	12'	CELEBRA PARVIFLOA	2"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-18	14'	CELEBRA PARVIFLOA	2"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-19	12'	CELEBRA PARVIFLOA	2"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-20	12'	CELEBRA PARVIFLOA	2"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-21	12'	CELEBRA PARVIFLOA	2"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-22	13'	CELEBRA PARVIFLOA	2"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-23	12'	CELEBRA PARVIFLOA	2"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-24	17'	CELEBRA PARVIFLOA	2"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-25	15'	CELEBRA PARVIFLOA	2"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-26	14'	CELEBRA PARVIFLOA	2"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-27	16'	CELEBRA PARVIFLOA	2"	AUSTRALIAN WILLOW 'WILG'	1	TO REMAIN	
A-28	15'	CELEBRA PARVIFLOA	2"	AUSTRALIAN WILLOW 'WILG'	1	REMOVE	
B-01	14'	CINNAMOMUM CAMPHORA	24"	CAMPHOR TREE	1	TO REMAIN	
B-02	13'	CINNAMOMUM CAMPHORA	1"	CAMPHOR TREE	1	TO REMAIN	
B-03	15'	CINNAMOMUM CAMPHORA	2"	CAMPHOR TREE	1	TO REMAIN	
B-04	12'	CINNAMOMUM CAMPHORA	1"	CAMPHOR TREE	1	TO REMAIN	
B-05	15'	CINNAMOMUM CAMPHORA	2"	CAMPHOR TREE	1	REMOVE	
B-06	10'	CINNAMOMUM CAMPHORA	1"	CAMPHOR TREE	1	REMOVE	
B-07	12'	CINNAMOMUM CAMPHORA	2"	CAMPHOR TREE	1	REMOVE	
B-08	7'	CINNAMOMUM CAMPHORA	1"	CAMPHOR TREE	1	TO REMAIN	
B-09	14'	CINNAMOMUM CAMPHORA	2"	CAMPHOR TREE	1	TO REMAIN	
B-10	14'	CINNAMOMUM CAMPHORA	2"	CAMPHOR TREE	1	TO REMAIN	
B-11	12'	CINNAMOMUM CAMPHORA	2"	CAMPHOR TREE	1	TO REMAIN	
C-01	23'	TRICHOCARPUS FRUTICOSUS	1"	WINDMILL PALM TREE	1	REMOVE	
D-01	4'	TRICHOCARPUS FRUTICOSUS	8"	WINDMILL PALM TREE	1	REMOVE	
D-02	10'	12"	1	TO REMAIN			
D-03	8'	15"	1	TO REMAIN			
D-04	12'	15"	1	TO REMAIN			
D-05	13'	2"	1	REMOVE			
D-06	13'	2"	1	TO REMAIN			
D-07	13'	2"	1	TO REMAIN			

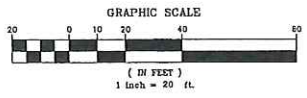
JOHN MUIR DRIVE (64.00' R.O.W.)

(E) BUILDING
PARCEL 1
A = 2.049 ± AC.

PARCEL 2 PM 5092

EXISTING TREE SURVEY PLAN

SCALE 1" = 20'-0"



DESIGNER
Micro Resorts
 By ELDER JEREZ ASSOCIATES INC.
 LEISURE ARCHITECTURE DESIGN BUILD
 1635 SYLVIA STREET,
 HAYWARD, CA 94545
 Phone: (510) 304-0293
 www.microresorts.com
 elderjerez@microresorts.com

SEAL

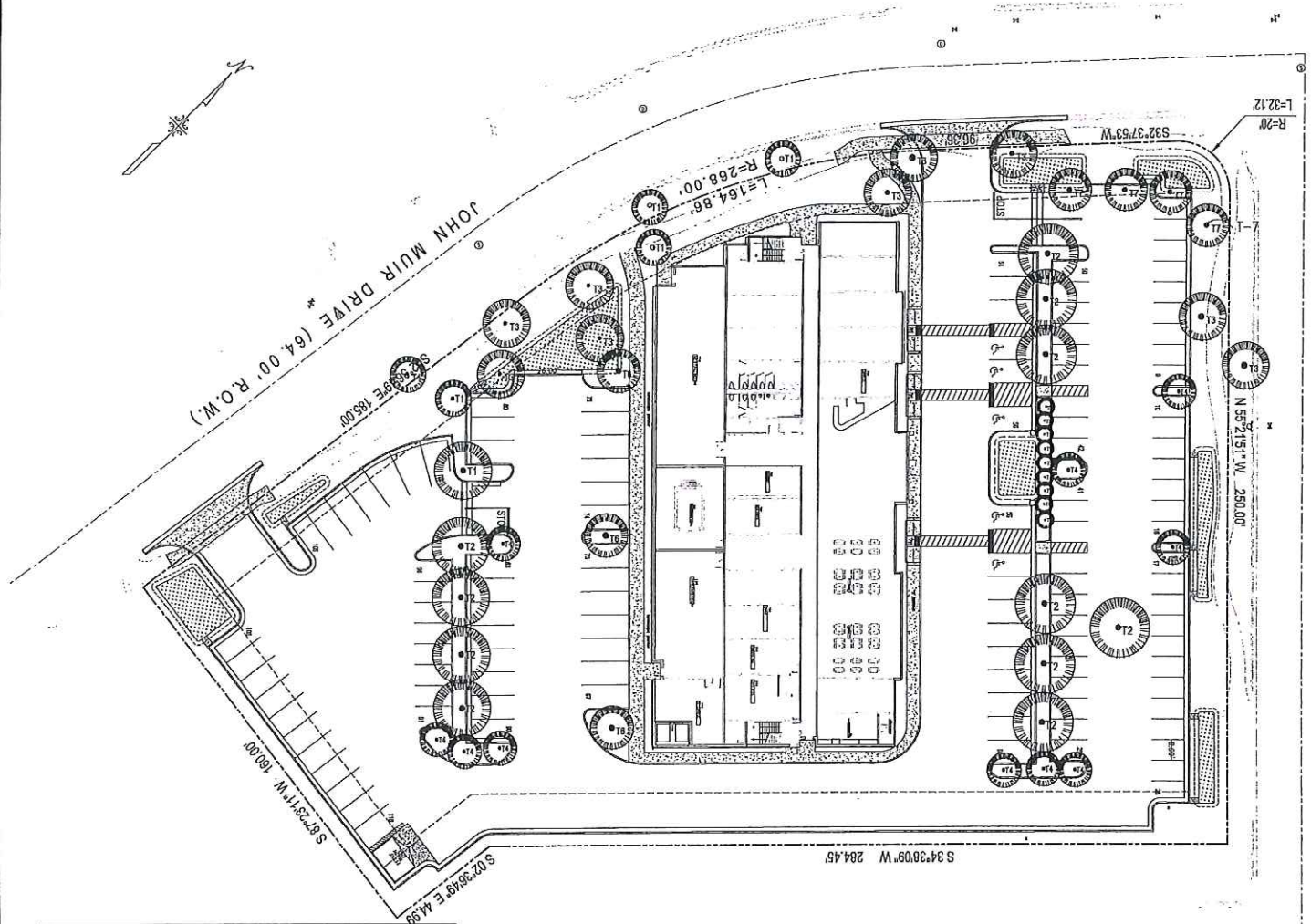
PROJECT TITLE
NEW HOTEL
 5600 JOHN MUIR DRIVE,
 NEWARK, CA 94560

SHEET CONTENT
 EXISTING TREE SURVEY PLAN (PARCEL 1)

DATE	ISSUED FOR	BY
02-08-18	PERMIT	EJ

DRAWN BY: MAR
 CHECKED BY: ELDER JEREZ
 SCALE: AS NOTED
 PROJECT NO.: 16-
 SHEET NO.: L-1

EXHIBIT Ap9



PLANTING LEGEND

KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
TREES					
T1	7	2\"/>			

PLANTING TREES TO REMAIN:
 A = EXISTING GELERA PARVIFLORA TREE
 B = EXISTING CINNABARUM CAMPHORA TREE
 C = EXISTING LIQUIDAMBARYUM - PINETREE

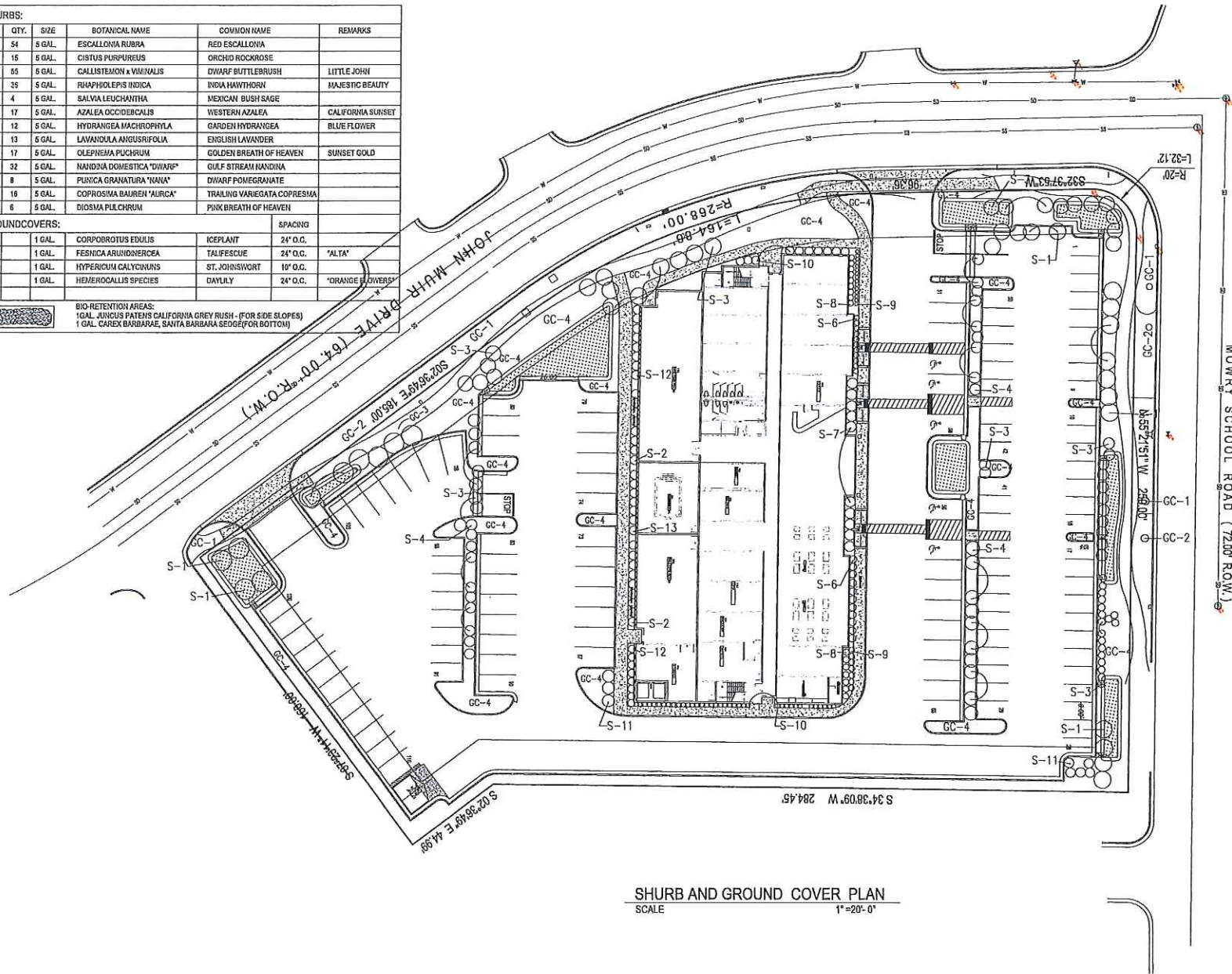
TREE PLANTING PLAN
 SCALE 1" = 20'-0"

MOWRY SCHOOL ROAD (7200' R.O.W.)

EXHIBIT Ap10

SHURBS:					
KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
S-1	54	5 GAL.	ESCALLONIA RUBRA	RED ESCALLONIA	
S-2	15	5 GAL.	CISTUS PURPUREUS	ORCHID ROCKROSE	
S-3	55	5 GAL.	CALLISTEMON x VIMINALIS	DWARF BUTTLERUSH	LITTLE JOHN
S-4	35	5 GAL.	RHAPHIOLEPIS INDICA	INDIA HAWTHORN	MAJESTIC BEAUTY
S-5	4	5 GAL.	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	
S-6	17	5 GAL.	AZALEA OCCIDENTALIS	WESTERN AZALEA	CALIFORNIA SUNSET
S-7	12	5 GAL.	HYDRANGEA MACROPHYLLA	GARDEN HYDRANGEA	BLUE FLOWER
S-8	13	5 GAL.	LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	
S-9	17	5 GAL.	OLEPINEA PUCHURUM	GOLDEN BREATH OF HEAVEN	SUNSET GOLD
S-10	32	5 GAL.	NANDINA DOMESTICA 'DWARF'	GULF STREAM NANDINA	
S-11	8	5 GAL.	PUNICA GRANATURA 'MINA'	DWARF POMEGRANATE	
S-12	16	5 GAL.	COPROSMA BAUREN 'AURICA'	TRAILING VARIEGATA COPRESMA	
S-13	6	5 GAL.	DIOSMA PLECHURUM	PINK BREATH OF HEAVEN	
GROUNDCOVERS:					
GC-1	1 GAL.	CORPOROTUS EDULIS	ICEPLANT	24" O.C.	
GC-2	1 GAL.	FESNICA ARUNDINACEA	TALIFESCUE	24" O.C.	'ALTA'
GC-3	1 GAL.	HYPERICUM CALYCONUNUS	ST. JOHNSWORT	19" O.C.	
GC-4	1 GAL.	HEMEROCALLIS SPECIES	DAYLILY	24" O.C.	'ORANGE DIVERS'

BIO-RETENTION AREAS:
 1 GAL. JUNCUS PATENS CALIFORNIA GREY RUSH - (FOR SIDE SLOPES)
 1 GAL. CAREX BARBARAE, SANTA BARBARA SEDGE (FOR BOTTOM)



SHURB AND GROUND COVER PLAN
 SCALE 1" = 20'-0"

DESIGNER



Micro Resorts
 BR. ELDER JEREZ ASSOCIATES INC.
 LEISURE ARCHITECTURE
 DESIGN, B.U.I.D.

1635 SYLVIA STREET,
 HAYWARD, CA 94545
 Phone: (510) 304-0293
 www.microresorts.com
 elderjerez@microresorts.com

SEAL

PROJECT TITLE

NEW HOTEL
 5600 JOHN MUIR DRIVE,
 NEWARK, CA 94560

SHEET CONTENT

SHURB AND GROUND COVER PLAN

DATE	ISSUED FOR	BY
03-15	PERMIT	EX

DRAWN BY	MRA
CHECKED BY	ELDER JEREZ
SCALE	AS NOTED
PROJECT NO.	SHEET NO.
16-	L-3

EXHIBIT April

MICRO
RESORTS
BY: ELDER JEREZ ASSOCIATES

HYDROZONES AND PRELIMINARY CALCULATIONS
RELATED TO THE MAXIMUM APPLIED WATER
ALLOWANCE (WAMA)

(CONCEPTUAL LANDSCAPE PLAN)

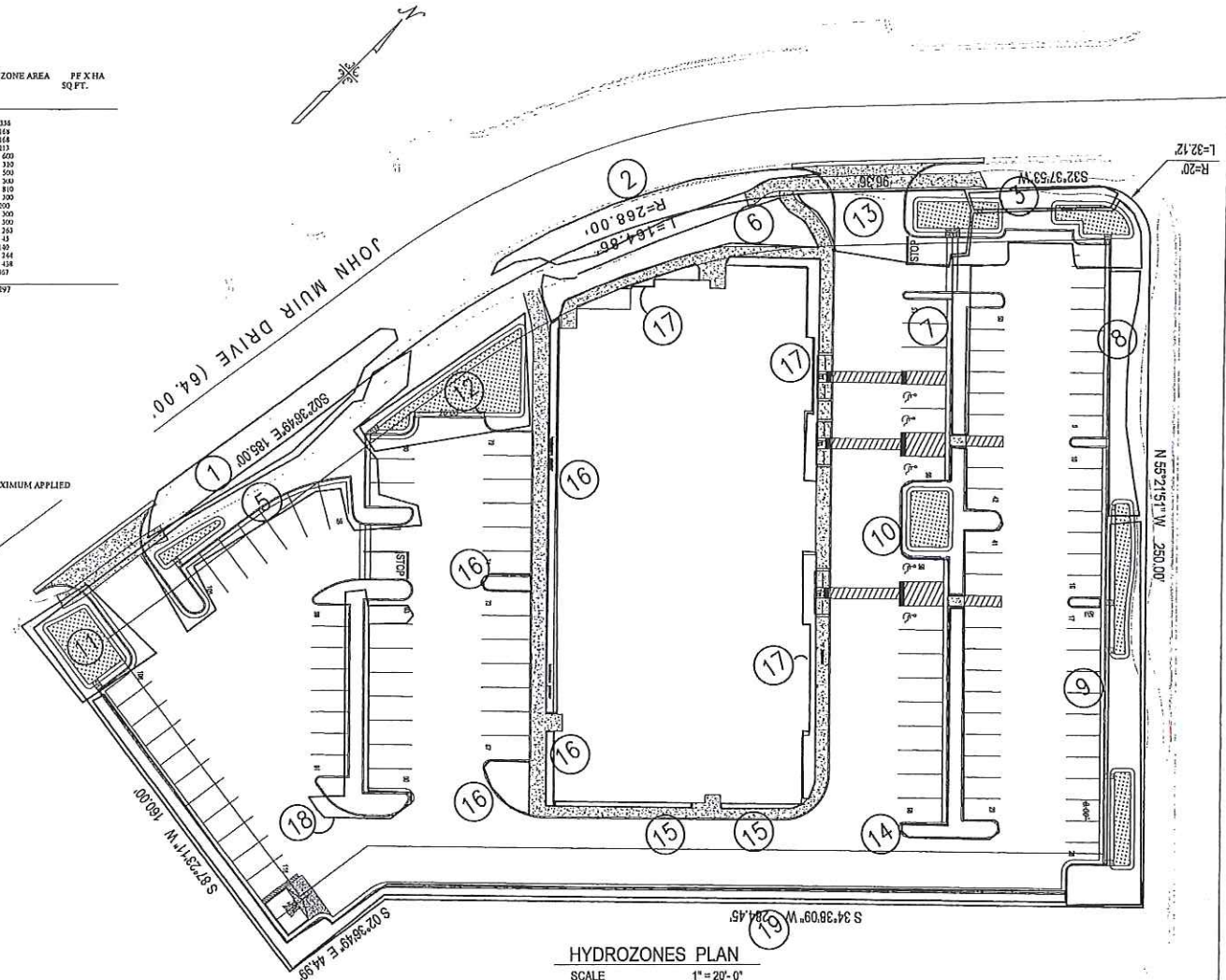
DATE: DECEMBER 04, 2015
 APPLICANT: MR. NIMISHI PATEL
 ADDRESS: 5600 JOHN MUIR DRIVE
 LANDSCAPE AREA: 9,364 SQ.FT.
 PROJECT TYPE: HOTEL
 WATER SUPPLY: ACWD

HYDROZONE NUMBER	PLANT WATER USE TYPE(S)	PLANT FACTOR (PF)	HYDROZONE AREA SQ.FT.	PE X HA SQ.FT.
1	LOW	0.2	1450	338
2	LOW	0.2	840	168
3	LOW	0.2	710	142
4	LOW	0.3	1064	213
5	MEDIUM	0.5	1200	600
6	MEDIUM	0.5	620	310
7	MEDIUM	0.5	1000	500
8	MEDIUM	0.5	690	345
9	MEDIUM	0.5	1632	816
10	MEDIUM	0.5	660	330
11	MEDIUM	0.8	295	236
12	MEDIUM	0.5	600	300
13	MEDIUM	0.5	600	300
14	MEDIUM	0.5	332	166
15	LOW	0.2	225	45
16	LOW	0.2	700	140
17	MEDIUM	0.5	458	229
18	MEDIUM	0.5	815	408
19	LOW	0.2	1833	367
ETWA:			6,078	2,297


ETWA = (ETa) (0.62) [(PHe HA) + SLA]
 IE
 ETWA = (46)(0.62) [(2,297) + 1800]
 (28,52) (2,231 + 1800)
 ETWA = 143,598 gallons per year.

COMPARING ETWU WITH MAWA:
 MAWA = (ETa) (0.62) [(0.7xLA) + (0.3xSLA)]
 MAWA = (46) (0.62) [(0.7 x 9,364) + (0.3 x 1800)]
 MAWA = (28,52) (6,973) + 310
 MAWA = 199,467 Gallons per year.

THIS PROJECT WATER BUDGET COMPLIES WITH THE MAXIMUM APPLIED WATER ALLOWANCE PER YEAR.



HYDROZONES PLAN
SCALE 1" = 20'-0"



Micro Resorts
 BY: ELDER JEREZ ASSOCIATES INC.
 LEISURE ARCHITECTURE
 DESIGN, BUILD

1636 SYLVIA STREET,
 HAYWARD, CA 94545
 Phone: (510) 304-0293
 www.microresorts.com
 elderjerez@microresorts.com

PROJECT TITLE

NEW HOTEL
 5600 JOHN MUIR DRIVE,
 NEWARK, CA 94560

SHEET CONTENT

HYDROZONES PLAN

DATE	ISSUED FOR	BY
07-01-15	FEASIT	BJ

DRAWN BY	MRA
CHECKED BY	ELDER JEREZ
SCALE	AS NOTED
PROJECT NO.	SHEET NO.
16-	L-4

EXHIBIT A p12