



PROJECT DATA

SITE ADDRESS:
36589 NEWARK BLVD.
NEWARK, CA

APN: 092A-0623-043
LOT SIZE: ±.53 ACRE = ±22,449 SQ. FT.

PROJECT DESCRIPTION:
THE SITE IS LOCATED AT THE INTERSECTION OF NEWARK BOULEVARD AND MAYHEWS LANDING ROAD. THE REAR OF THE PARCEL ABUTS AN ESTABLISHED SINGLE FAMILY SUBDIVISION. SITE AREA IS APPROXIMATELY .53 ACRES AND IS ROUGHLY CONFIGURED IN THE SHAPE OF A TRIANGLE. IT IS BISECTED BY A FOURTEEN FOOT WIDE EASEMENT.

THE DESIGN PROPOSES SIX ATTACHED SINGLE FAMILY TWO STORY UNITS (FEE SIMPLE). UNITS ARE 1,823 TO 2,797 SQUARE FEET IN SIZE, AND CONFIGURED IN TWO ROWS ON EITHER SIDE OF THE EASEMENT. AUTO ACCESS IS FROM MAYHEWS LANDING ROAD AND RUNS OVER THE EASEMENT. FIVE OF THE SIX UNIT HAVE FRONT ENTRANCES ORIENTED TOWARDS ONE OF THE STREETS. ALL UNITS HAVE ENCLOSED USABLE OUTDOOR PATIOS AND GARDENS.

THE EXTERIOR IS MEDITERRANEAN IN CHARACTER, IN PART TO BE CONSISTENT WITH THE ADJACENT NEIGHBORHOOD, AND IS ACHIEVED WITH CONCRETE "S TILE" ROOFS, AND STUCCO AND STONE FACADES.

**36589 NEWARK BOULEVARD
NEWARK, CA**

SUBMITTAL DATE: 10/20/2016
RESUBMITTAL DATE: 05/04/2018

DRAWING INDEX

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TOTAL GROSS AREA: 22449 SQ. FT.
TOTAL NET AREA: 17321 SQ. FT.
ZONING: RM - MEDIUM DENSITY RESIDENTIAL
GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL
EXISTING USE: VACANT
PROPOSED USE: 6 LOTS - MULTI FAMILY RESIDENTIAL
PROPOSED DENSITY: 12 DU/ AC
FEMA FLOOD DESIGNATION: ZONE "X" UNSHADED
MAXIMUM BUILDING HEIGHT: 28'-0"
FIRE PROTECTION DISTRICT: ALAMEDA COUNTY FIRE PROTECTION DIST

PARKING
2 COVERED SPACES
PER UNIT: 12
GUEST SPACE: 3
TOTAL SPACES: 15

SETBACKS
FROM NEWARK BLVD: 15'-0"
FROM MAYHEWS LANDING: 15'-0"
REAR SETBACKS: 10'-0"

6 UNITS	LOTS	LOT SIZE	LOT COVERAGE	%	
UNIT #1	LOT #1	2254 SQ. FT.	2533 SQ. FT.	1451 SQ. FT.	57.2%
UNIT #2	LOT #2	2064 SQ. FT.	1873 SQ. FT.	1346 SQ. FT.	71.9%
UNIT #3	LOT #3	2017 SQ. FT.	2220 SQ. FT.	1333 SQ. FT.	60.0%
UNIT #4	LOT #4	2134 SQ. FT.	2364 SQ. FT.	1404 SQ. FT.	59.4%
UNIT #5	LOT #5	2032 SQ. FT.	1823 SQ. FT.	1183 SQ. FT.	64.9%
UNIT #6	LOT #6	2408 SQ. FT.	2797 SQ. FT.	1664 SQ. FT.	59.5%

LOT COVERAGE: 8381 SQ. FT. (37.3%)
OPEN SPACE: 5341 SQ. FT. (23.8%)
LANDSCAPE: 8805 SQ. FT. (39.2%)

PARCEL (A&B) SIZE: 8838 SQ. FT.

DEVELOPER
DAVID LANGON CONSTRUCTION, INC.
3189 DANVILLE BLVD., SUITE 245
ALAMO, CA 94507
PHONE: (510)368-3263

ARCHITECT
HUNT HALE JONES ARCHITECTS
444 SPEAR STREET, SUITE 200
SAN FRANCISCO, CA 94105
PHONE: (415)512-1300
FAX: (415)288-0288

LANDSCAPE ARCHITECT
LEVESQUE DESIGN
1414 BAY STREET, SUITE 100
ALAMEDA, CA 94501
PHONE: (510)521-6700

CIVIL ENGINEER
APEX CIVIL ENGINEERING &
LAND SURVEYING
817 ARNOLD DRIVE, SUITE 50
MARTINEZ, CA 94553
PHONE: (925)639-5635

EXHIBIT *Ap1*



VIEW OF MAYHEWS LANDING RD AT NEWARK BLVD.

NEWARK PROJECT
36589 NEWARK BLVD, NEWARK CA
REVISED: 05/04/2018
335001.00

EXHIBIT APP2

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SECURITY & POLICE DEPARTMENT NOTES:

1. THE DEVELOPMENT SHALL COMPLY WITH CHAPTER 15.06, SECURITY CODE, OF THE NEWARK MUNICIPAL CODE AND SECTION 5.10 OF THE CALIFORNIA FIRE CODE FOR RADIO RECEPTION.
2. SECURITY CAMERAS NEED TO BE PLACED SO THAT THE DRIVEWAYS/STREETS ARE CAPTURED BY SURVEILLANCE CAMERAS. CAMERAS PLACED AT THE ENTRANCE TO THE COMPLEX SHOULD BE OF SUFFICIENT ACUITY TO IDENTIFY VEHICLE LICENSE PLATES, VEHICLE MAKE, MODEL AND COLOR. CAMERAS NEED TO BE PLACED AT PEDESTRIAN AND VEHICLE ACCESS POINTS TO DETERMINE CHURNAL ACTIVITY. CAMERAS COULD BE OPERATED AND CONTROLLED BY INDIVIDUAL OWNERS OR A HOA.

OTHER CONSTRUCTION NOTES:

1. CONSTRUCTION FOR THIS PROJECT, INCLUDING SITE WORK AND ALL STRUCTURES, CAN OCCUR ONLY BETWEEN THE HOURS OF 8:00 AM AND 6:00 PM, MONDAY THROUGH FRIDAY. THE APPLICANT MAY MAKE A WRITTEN REQUEST TO THE BUILDING OFFICIAL FOR EXTENDED WORKING HOURS AND/OR DAYS, IN GRANTING OR DENYING ANY REQUEST THE BUILDING OFFICIAL WILL TAKE INTO CONSIDERATION THE NATURE OF THE CONSTRUCTION ACTIVITY WHICH WOULD OCCUR DURING EXTENDED HOURS/DAYS, THE TIME DURATION OF THE REQUEST, THE PROXIMITY TO RESIDENTIAL NEIGHBORHOODS AND INPUT BY AFFECTED NEIGHBORS. ALL APPROVALS WILL BE DONE SO IN WRITING.
2. AS PER THE NEWARK MUNICIPAL CODE ALL THE STRUCTURES SHALL BE EQUIPPED WITH A FULLY AUTOMATIC FIRE SPRINKLER SYSTEM.

DISTANCES TAKEN FROM BUILDING TO PROPERTY LOT LINES, FOR ROOF OVERHANGS AND DISTANCES, SEE ROOF PLANS ON SHEETS A1.2 & A2.2.

*NOTE - COMPACT SPACE WILL CLEARLY BE INDICATED THROUGH SIGNAGE OR OTHER LABELLING METHOD.

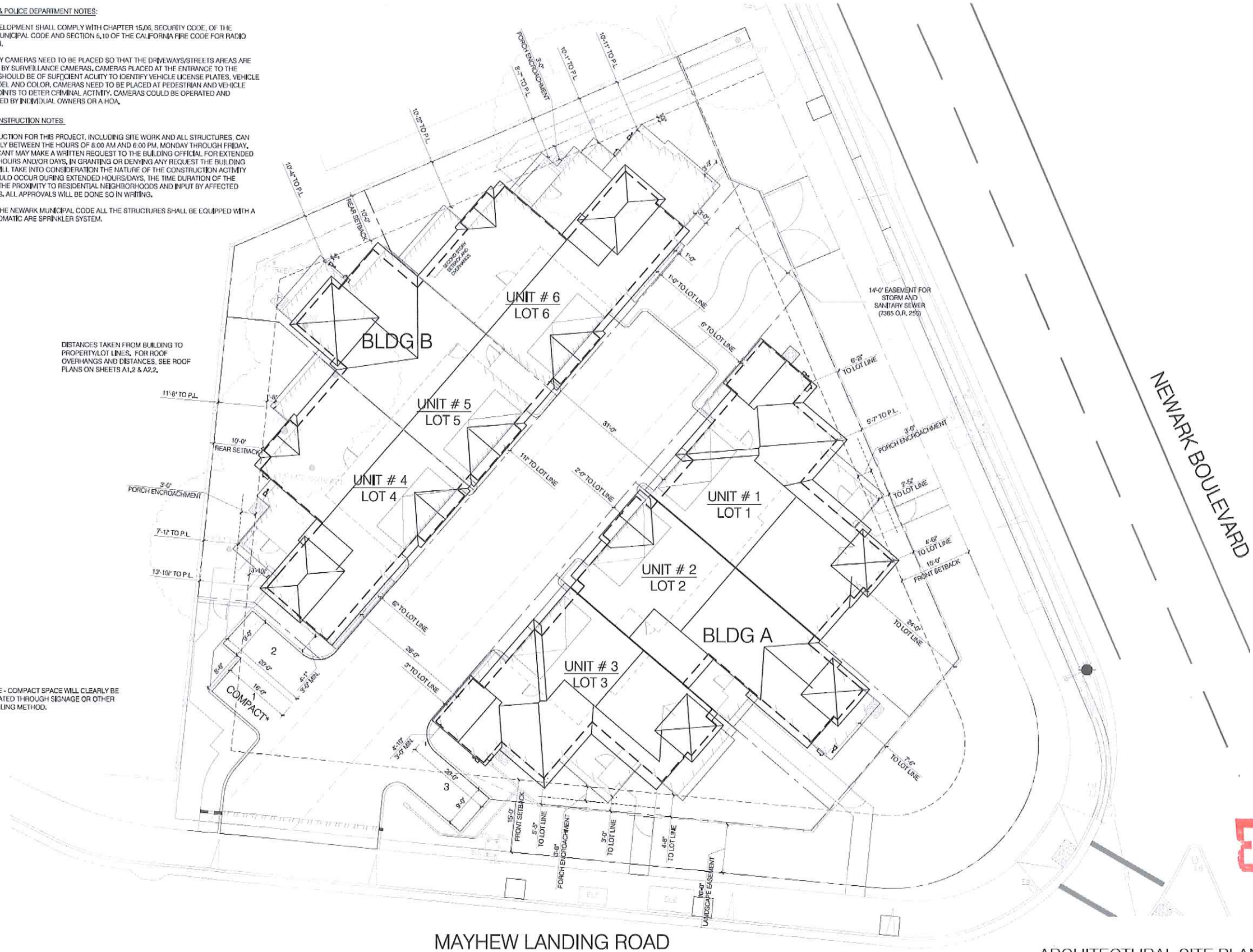


EXHIBIT Ap3

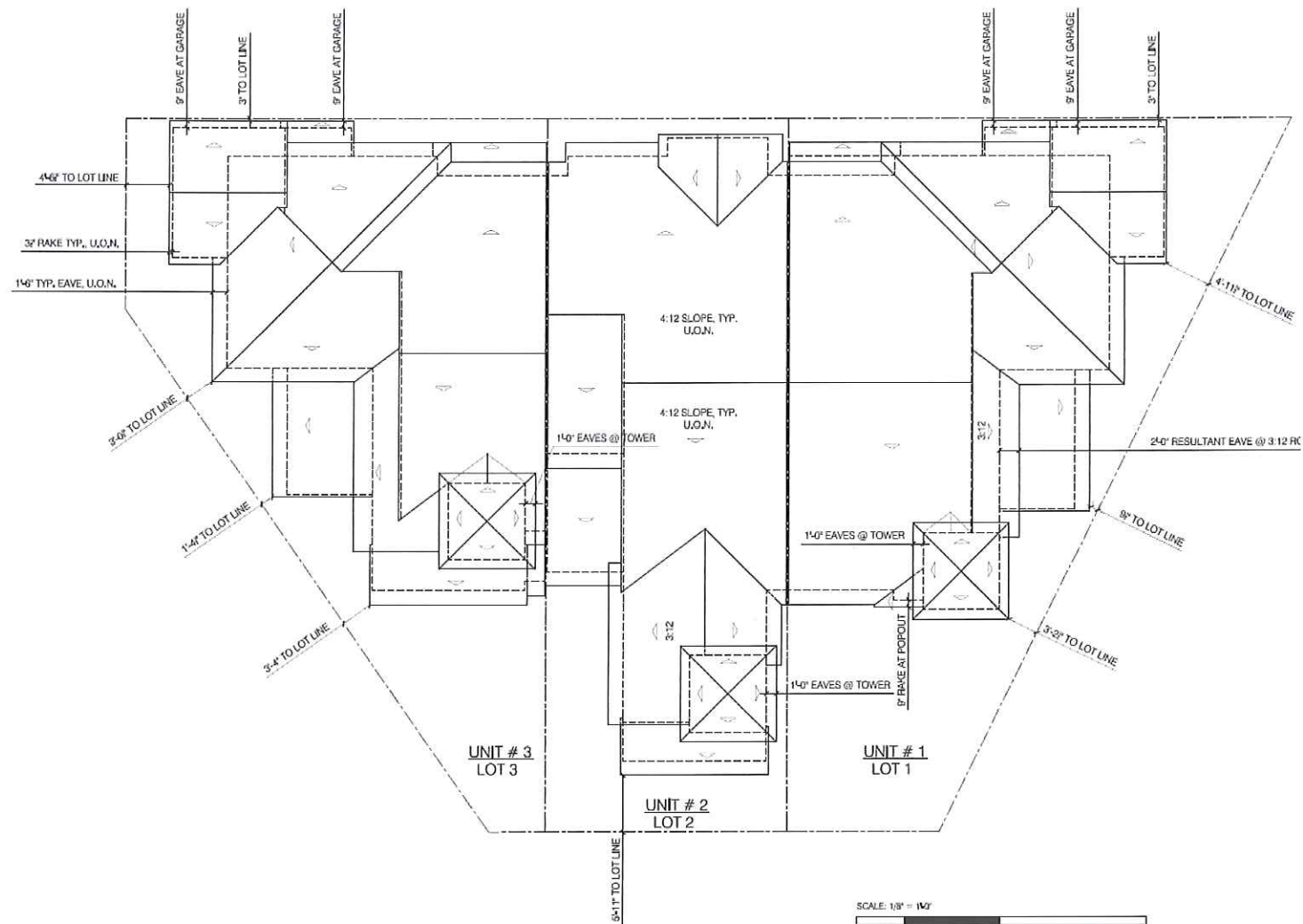
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 335001.00

ARCHITECTURAL SITE PLAN
SP

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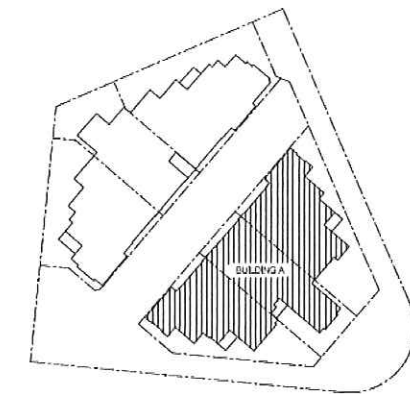


SCALE: 1"=10'-0"



ROOF PLAN

BUILDING A - NORTHWEST BLDG.



BUILDING KEY

EXHIBIT *Ap5*

BLDG. A - ROOF PLAN

A1.2

SCALE: 1/8"=1'-0"

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1 SOUTH ELEVATION
BUILDING A - NORTHWEST BLDG.



2 EAST ELEVATION
BUILDING A - NORTHWEST BLDG.

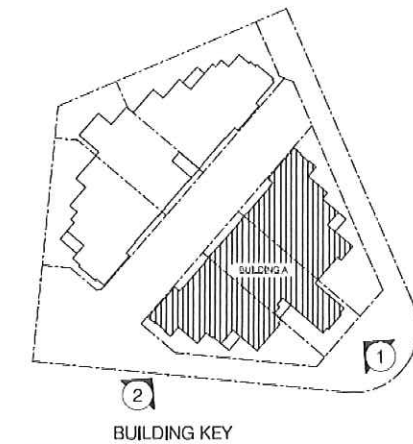


EXHIBIT *ApG*

BLDG. A - SOUTH & EAST ELEVATIONS

A1.3

SCALE: 1/8"=1'-0"



3 NORTH ELEVATION
BUILDING A - NORTHWEST BLDG.



4 WEST ELEVATION
BUILDING A - NORTHWEST BLDG.

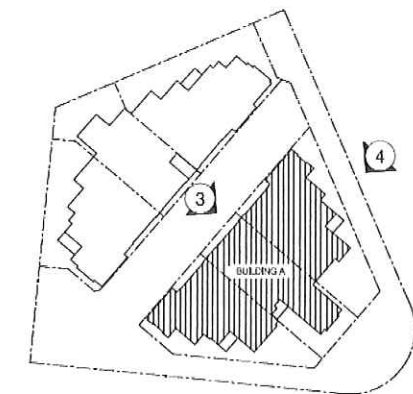


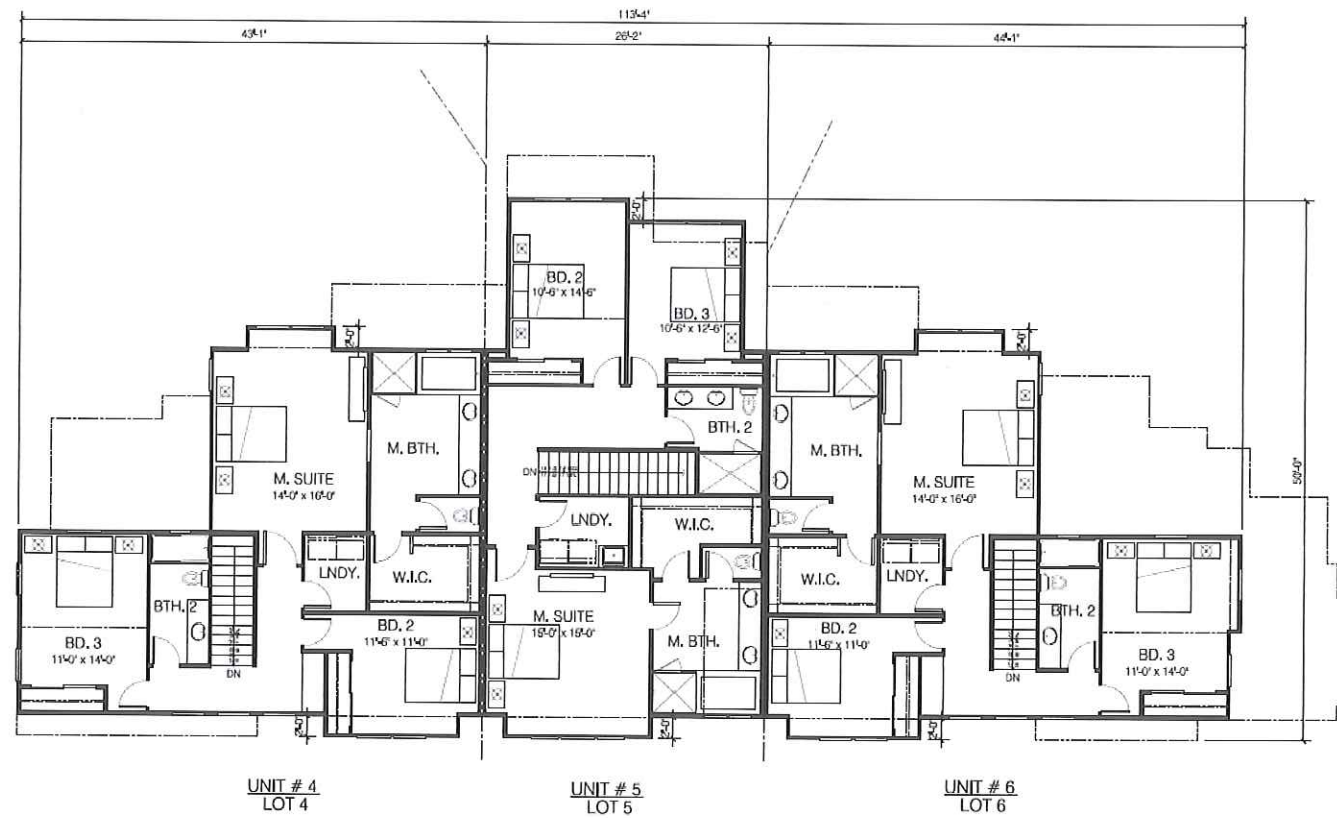
EXHIBIT *Ap7*

BUILDING KEY

BLDG. A - NORTH & WEST ELEVATIONS

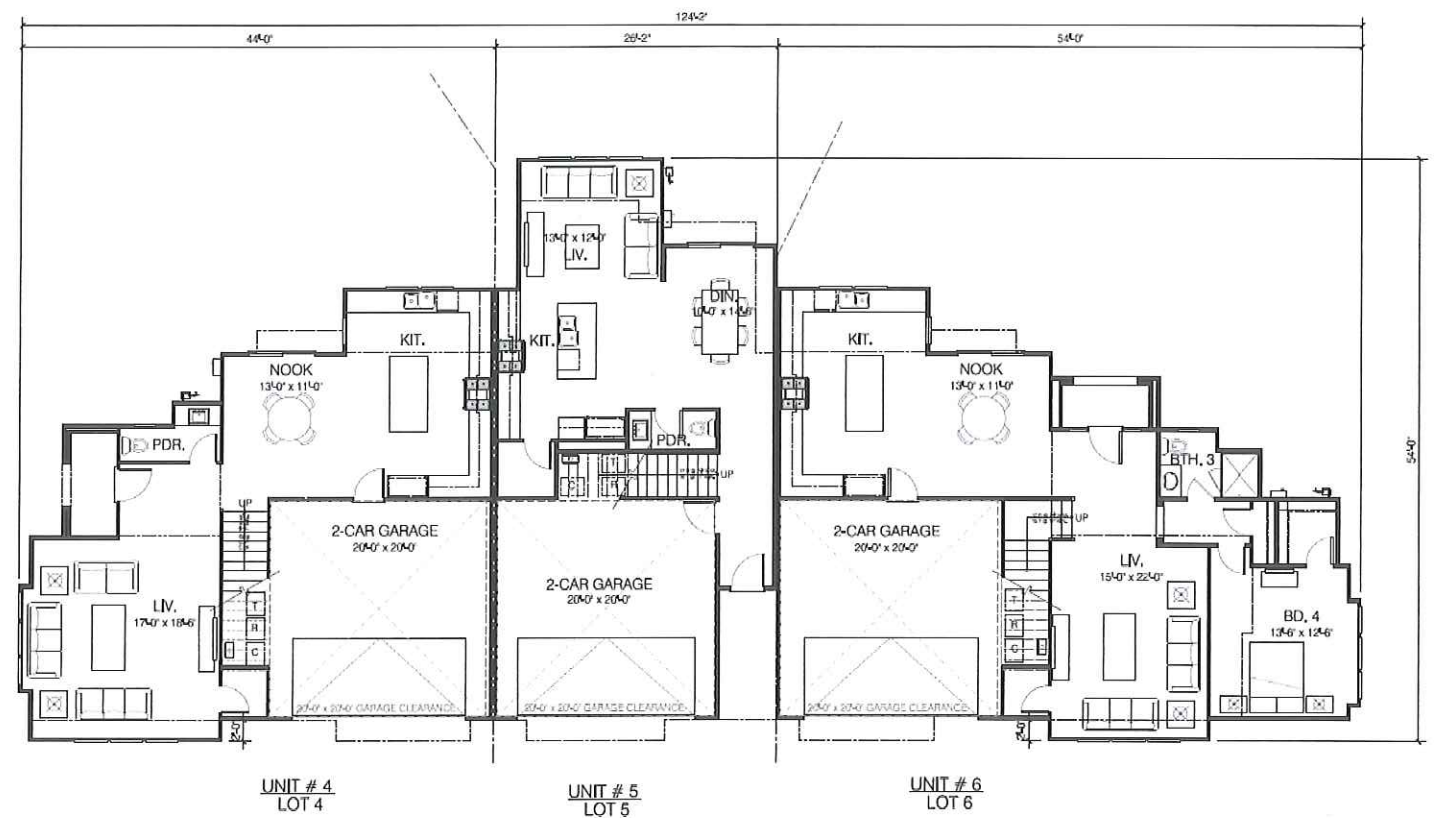
A1.4

SCALE: 3/16"=1'-0"



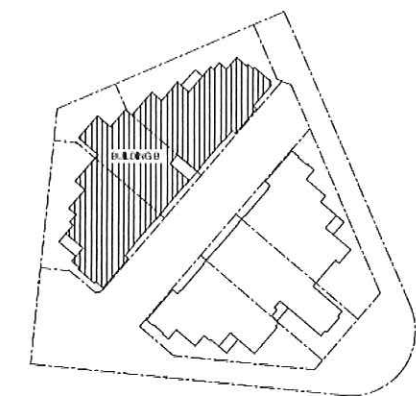
UPPER FLOOR PLAN

BUILDING B - SOUTHEAST BLDG.



MAIN FLOOR PLAN

BUILDING B - SOUTHEAST BLDG.



BUILDING KEY

EXHIBIT *A_{2.1}*

BLDG. B - MAIN & UPPER FLOOR PLANS

A2.1

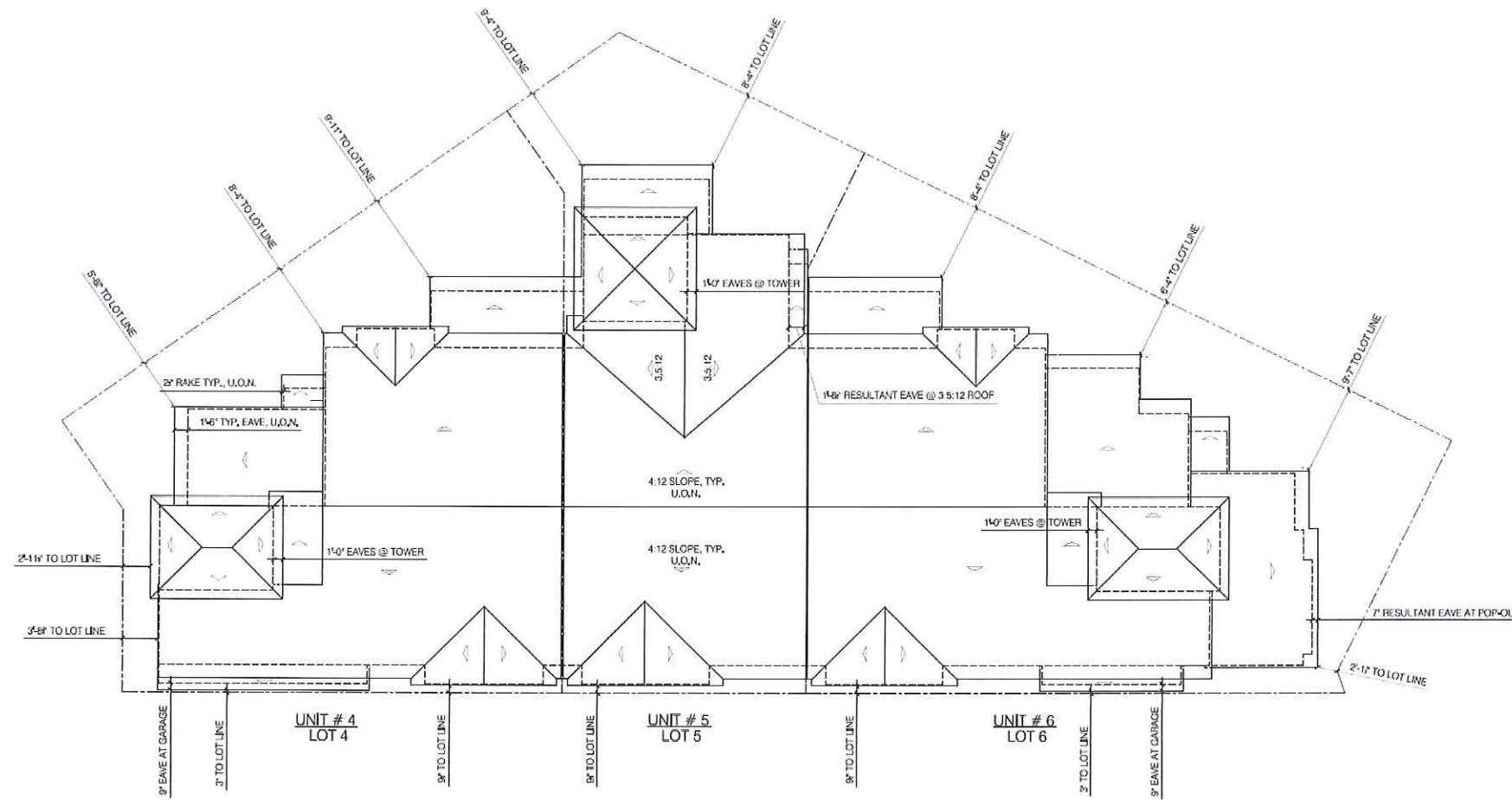
SCALE: 1/8"=1'-0"

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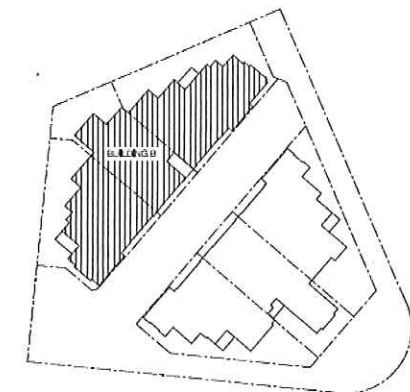
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ROOF PLAN

BUILDING B - SOUTHEAST BLDG.



BUILDING KEY

EXHIBIT *Ap9*

BLDG. B - ROOF PLAN

A2.2

SCALE: 1/8"=1'-0"



1 SOUTH ELEVATION
BUILDING B - SOUTHEAST BLDG.



2 WEST ELEVATION
BUILDING B - SOUTHEAST BLDG.

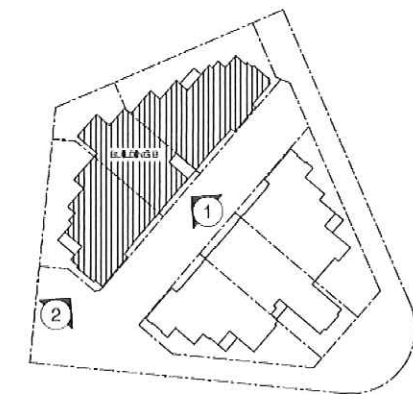


EXHIBIT *A*10

BLDG. B - SOUTH & WEST ELEVATIONS

A2.3

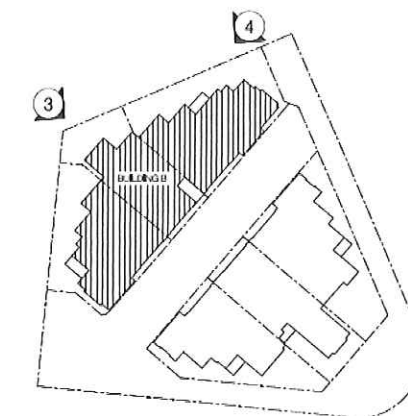
SCALE: 1/8"=1'-0"



3 NORTH ELEVATION
BUILDING B - SOUTHEAST BLDG.



4 EAST ELEVATION
BUILDING B - SOUTHEAST BLDG.



BUILDING KEY

EXHIBIT *Ap11*

BLDG. B - NORTH & EAST ELEVATIONS

A2.4

SCALE: 3/16"=1'-0"



EAST ELEVATION

BUILDING A - NORTHWEST BLDG.



SOUTH ELEVATION

BUILDING A - NORTHWEST BLDG.

- LEGEND:**
1. SMOOTH FINISHED STUCCO COLOR:
SHERWIN WILLIAMS - NOMADIC DESERT
 2. ELDORADO STONE:
CYPRESS RIDGE - ORCHARD
 3. HARDIE TRIM AND PANELS:
SELECT CEDARMILL - TIMBER BARK
 4. ALUMINUM WINDOWS - ANODIZED FINISH
 5. DECORATIVE METAL AWNING
 6. PRECAST TRIM
 7. SECTIONAL ROLL-UP GARAGE DOOR
 8. DECORATIVE BARN DOOR
 9. WOOD TRIM PAINTED:
SHERWIN WILLIAMS - BEST BRONZE



WEST ELEVATION

BUILDING A - NORTHWEST BLDG.



NORTH ELEVATION

BUILDING A - NORTHWEST BLDG.

EXHIBIT *Apl2*

BLDG. A - RENDERED ELEVATIONS

A3.1

SCALE: N.T.S.

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WEST ELEVATION

BUILDING B - SOUTHEAST BLDG.



SOUTH ELEVATION

BUILDING B - SOUTHEAST BLDG.

LEGEND:

- 1. SMOOTH FINISHED STUCCO COLOR:
SHERWIN WILLIAMS - NOMADIC DESERT
- 2. EL DORADO STONE:
CYPRESS RIDGE - ORCHARD
- 3. HARDIE TRIM AND PANELS:
SELECT CEDARMILL - TIMBER BARK
- 4. ALUMINUM WINDOWS - ANODIZED FINISH
- 5. DECORATIVE METAL AWNING
- 6. PRECAST TRIM
- 7. SECTIONAL ROLL-UP GARAGE DOOR
- 8. DECORATIVE BARN DOOR
- 9. WOOD TRIM PAINTED:
SHERWIN WILLIAMS - BEST BRONZE



EAST ELEVATION

BUILDING B - SOUTHEAST BLDG.



NORTH ELEVATION

BUILDING B - SOUTHEAST BLDG.

EXHIBIT *Ap13*

BLDG. B - RENDERED ELEVATIONS

A3.2

SCALE: N.T.S.

NEWARK PROJECT

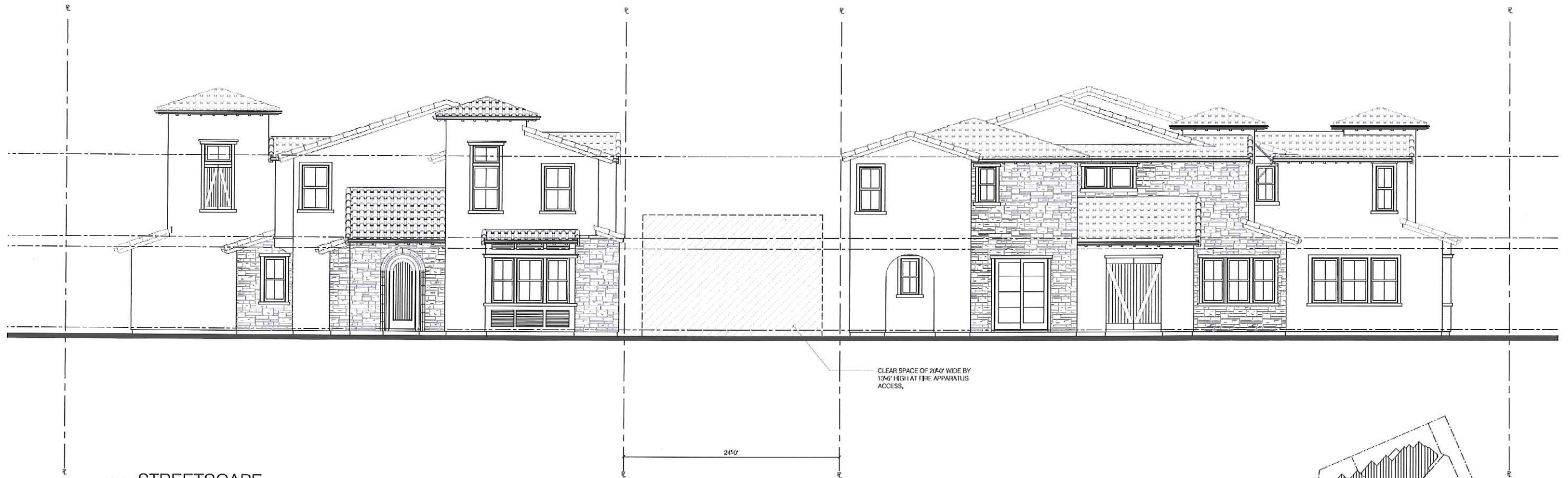
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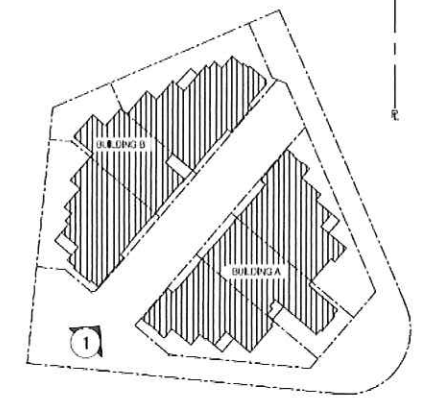
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CLEAR SPACE OF 20'-0" WIDE BY
13'-6" HIGH AT FIRE APPARATUS
ACCESS.

24'-0"

1 STREETScape
PASEO/DRIVEWAY



BUILDING KEY

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EXHIBIT Ap14

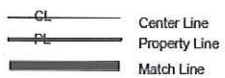
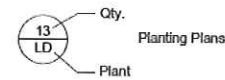
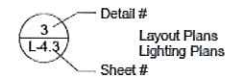
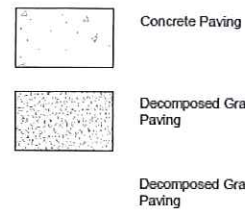
STREETScape
A4.1

SCALE: 3/16"=1'-0"

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LAYOUT LEGEND



AD	Area Drain
BOC	Back of Curb
BC	Back of Curb
CL	Center Line
CO	Clean Out
CP	Center Point
DIA	Diameter
DI	Drain Inlet
EQ	Equal
EJ	Expansion Joint
FOC	Face of Curb
FC	Face of Curb
GALV	Galvanized
MA	Mulch Area
MAX	Maximum
MIN	Minimum
PA	Planting Area
PL	Property Line
POC	Point of connection
PREF	Perforated
PREP	Perpendicular
PT	Pressure Treated
RDRW	Redwood
RW	Right of Way
ROW	Right of Way
SAD	See Architect's Drawings
SCD	See Civil Engineer's Drawings
SED	See Electrical Engineer's Drawings
SHT	Sheet
SP	Start Point
SSD	See Structural Engineer's Drawings
TBD	To Be Determined
TYP	Typical



LAYOUT NOTES

- The Contractor shall verify all distances and dimensions in the field and bring any discrepancies to the attention of the builder and Landscape Architect for a decision before proceeding with the work.
- All written dimensions supersede all scaled distances and dimensions. Dimensions shown are from the face of building, wall, face of curb, edge of walk, property line, or centerline of street or column unless otherwise noted on the drawings.
- Walk scoring, expansion joints and headers shall be located as indicated on the Plans or as field adjusted under the direction of the Landscape Architect.
- The contractor is to verify location of all on-site utilities before commencing with the work. The contractor shall also be responsible for the repair of any damaged utilities.
- All work is to be in compliance with the City of Mountain View's Conditions of Approval, standard plans and specifications.

7. Design Team :

Architect:
Hunt Hale Jones Architects
444 Spear Street, #105
San Francisco, California 94105
(415) 512-1300

Civil Engineer:
Apex Civil Engineering & Land Surveying
817 Arnold Drive, Suite 50
Martinez, California 94533
(925) 476-8499

FINE GRADING NOTES:

- The Landscape Contractor is responsible for fine grading and positive surface drainage in all landscape areas. The Contractor shall verify all rough grades in the field and bring any discrepancies to the attention of the General Contractor, Landscape Architect and Civil Engineer for a decision before proceeding with the work.
- See Civil Engineer's drawings for road surface elevations, roadway sections, catch basins, sidewalks, and top of curb elevations.
- Contractors are to exercise extreme care in backfilling and compacting any excavation or trenching in areas previously compacted for other aspects of the work.
- The Landscape Contractor shall remove from the site all debris and unsuitable material generated by their construction operations.
- All on-grade areas marked for planting shall be verified, by the fine grading contractor, that they are within a tenth of a foot of final grade. The Landscape Contractor shall rip compacted rough graded soil to a depth of 12 inches in both directions (park site), then till in the soil amendment. Soil amendment shall be determined by an agricultural suitability's analysis (see Planting Note 5). A minimum of one foot depth of non-mechanically compacted soil is available for water absorption and root growth in planted areas.
- Review structural soils report for recommendations on soil type, grading procedures, soil compaction, maximum allowable slopes, flatwork base material, etc. Copies of the report are available from the Owner.
- Minimum paving slope to be typically 1 percent. Minimum planting area slope to be typically 2 percent. Bring any discrepancies to the attention of the Landscape Architect for a decision prior to fine grading.
- Groundcover areas: Finish grades shall be 2 inch below the top of adjacent pavement, headers, curbs, or walls, unless otherwise specified. Lower headers where required to allow water to flow to drainage structures.
- Lawn Areas: Finish grades shall be 1 inch below the top of adjacent pavement, headers, curbs, or walls, unless otherwise specified. Lower headers where required to allow water to flow to drainage structures.

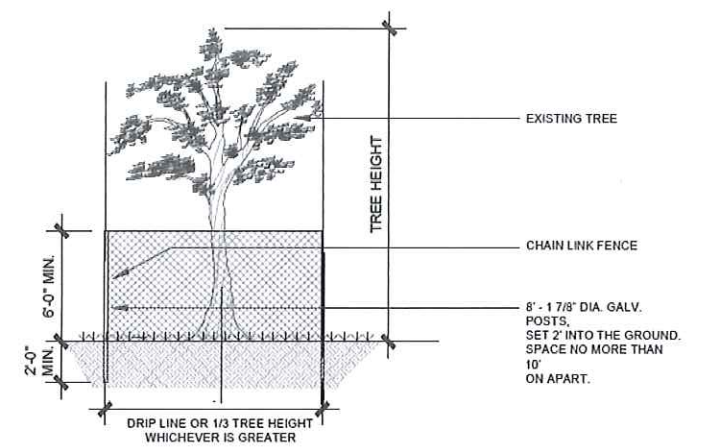
CERTIFICATE OF COMPLETION

Final Acceptance section / Certificate of Completion
At the completion of the project the contractor shall supply a Certificate of Completion document. Document shall include:

- Project information sheet that contains:
 - Date,
 - Project name,
 - Project applicant name, telephone and mailing address,
 - Project address and location,
 - Property owner name, telephone, and mailing address.
- Certification by either the signer of the landscape design plan, the designer of the irrigation design plan or the licensed landscape contractor that the landscape project has been installed per the approved Landscape documentation Package.
 - Where that have been significant changes made in the field during construction, these "as-built" or record drawings shall be included with the certification.
 - A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.
- Irrigation scheduling parameters used to set the controller.
- Landscape and irrigation maintenance schedule.
- Irrigation audit report.
- Soils analysis report if not submitted with the Landscape Documentation package and documentation verifying implementation of the soil recommendations.

TREE PROTECTION NOTES:

- Prior to initiating any construction activity in the area, including grading, temporary protective fencing shall be installed at each site tree. Fencing shall be located at or beyond the canopy drip line so that 100% of the drip line will be protected by fencing. To reduce soil compaction from equipment, a mulch of 1-2 inch sized wood chips shall be placed at a depth of 4 inches where no excavation is to occur in the vicinity of the trees to be protected.
- The tree protection fence shall be per detail. The fencing shall form a continuous barrier without entry points around each tree. Any encroachment into the drip line for fencing or construction purposes shall not be permitted.
- Low hanging limbs of saved trees shall be pruned prior to grading, or any equipment mobilization on site. The purpose of this requirement is to avoid tearing limbs by heavy equipment. All limbs to be pruned shall be supervised by the arborist of record for the job.
- This fencing shall serve as a barrier to prevent drip line encroachment of any type of construction activities and equipment. No oils, gas, chemicals, liquid waste, solid waste construction machinery or construction materials shall be stored or allowed to stand for any period of time within the drip line of the tree. Further, no one shall enter the fence perimeter for any reason except for the purpose of monitoring the health of the tree. Accidental damage to bark, root crown, or limbs may increase potential for future decline.
- Contractors and subcontractors shall direct all equipment and personnel to remain outside the fenced area and at all times until project is complete, and shall instruct employees as to the purpose and importance of fencing. A warning sign shall be posted at each tree indicating the purpose of the fencing. See Arborists Report for specified signage.
- The arborist of record for the job or the city arborist shall be responsible for inspection and approval of the fencing prior to any grading operations. Fencing must remain in place and shall not be removed until all construction activities are completed. This shall include grading and compaction activities, installation of underground, all construction activities and any other construction or activity which is scheduled prior or landscape installation.
- Roots of single standing trees often extend up to three times the distance of the actual drip line and function primarily in they uptake of nutrients and water. the drip line is arbitrarily established as the minimum root area generally required to preserve tree health. As much area around the circumference of the tree should have minimum intrusion to further insure tree survival and health.



TYPICAL EXISTING TREE PROTECTION
NOT TO SCALE

SHEET SCHEDULE

L-1.0	NOTES AND LEGENDS
L-3.1	LAYOUT PLAN
L-4.1	DETAILS
L-4.2	DETAILS
L-4.3	DETAILS
L-5.0	IRRIGATION NOTES
L-5.1	HYDROZONE PLAN
L-6.0	PLANTING NOTES
L-6.1	PLANTING PLAN
L-6.2	PLANTING DETAILS
L-7.1	LIGHTING PLAN

EXHIBIT Apr 15

NOTES & LEGENDS
PRELIMINARY LANDSCAPE PLAN

I have complied with the criteria of the Model Efficient Landscape Ordinance and applied them for efficient use of water in the landscape and irrigation design plans.

[Signature]
5/1/2018

Mayhew's Landing Townhomes

36589 Newark Boulevard
Newark, California



LEVESQUE DESIGN

1414 BAY STREET, SUITE 100
ALAMEDA, CALIFORNIA 94501
(510) 521 6700

Date: May 7, 2018
Job: 16-133

L-1.0