

LEGEND

- LOT BOUNDARY
- RIGHT-OF-WAY
- CENTERLINE
- ADJACENT PROPERTY LINE
- ////// NEW BUILDING
- ////// EX. BUILDING
- EX. ASPHALT
- NEW ASPHALT
- NEW CONCRETE
- NEW PAVERS
- BIO RETENTION AREA
- Ⓐ EX 14.00' EASEMENT FOR STORM AND SANITARY SEWER (7385 O.R. 255)
- 22.0 x 5% FINISHED SPOT GRADE
- 5% FINISHED GRADE SLOPE
- DIRECTION OF DRAINAGE FLOW
- EX. TREE
- STORM DRAIN LINE
- KEYSTONE RETAINING WALL OR APPROVED EQUAL

ABBREVIATIONS

- AB - AGGREGATE BASE
- AC - ACRE
- AD - AREA DRAIN
- BW - BOTTOM OF WALL
- CB - CATCH BASIN
- CONC - CONCRETE
- DET - DETAIL
- DU - DWELLING UNITS
- EVAE - EMERGENCY VEHICLE ACCESS EASEMENT
- EX - EXISTING
- FF - FINISH FLOOR
- FG - FINISH GRADE
- FL - FLOW LINE ELEVATION
- G - GRATE ELEVATION
- GFF - GARAGE FLOOR
- GL - GARAGE LIP ELEVATION
- HP - HIGH POINT
- LF - LINEAR FEET
- P - PAD
- PL - PROPERTY LINE
- PUE - PUBLIC UTILITY EASEMENT
- PVC - POLYVINYL CHLORIDE
- PVAW - PRIVATE VEHICLE ACCESS WAY
- R/W - RIGHT OF WAY
- SD - STORM DRAIN
- SDWK - SIDEWALK
- SF - SQUARE FEET
- SSCO - SEWER CLEANOUT
- STD - STANDARD
- SDE - STORM DRAIN EASEMENT
- STE - SELF TREATED AREA
- TC - TOP OF CURB
- TSL - TOP OF SOIL LAYER
- TW - TOP OF WALL
- TYP - TYPICAL

ADDRESS ASSIGNMENT

LOT NO.	ADDRESS
1	6033 MAYHEWS LANDING ROAD
2	6019 MAYHEWS LANDING ROAD
3	6005 MAYHEWS LANDING ROAD
4	6075 MAYHEWS LANDING ROAD
5	6061 MAYHEWS LANDING ROAD
6	6047 MAYHEWS LANDING ROAD

OWNER / DEVELOPER

MAYHEWS PLACE, LLC.
3189 DANVILLE BLVD. SUIT 245
ALAMO, CA 94507
925-946-1850

CIVIL ENGINEER

APEX CIVIL ENGINEERING & LAND SURVEYING
817 ARNOLD DRIVE, SUITE 50
MARTINEZ, CA 94553
(925) 476-8499

ARCHITECT

HUNT HALE JONES
444 SPEAR STREET, SUITE 105
SAN FRANCISCO, CA 94105
(415) 512-1300

LANDSCAPE ARCHITECT

KEVIN LEVESQUE
LEVESQUE DESIGN
1414 BAY STREET
ALAMEDA, CA, 94501
510-521-6700

BASIS OF ELEVATIONS

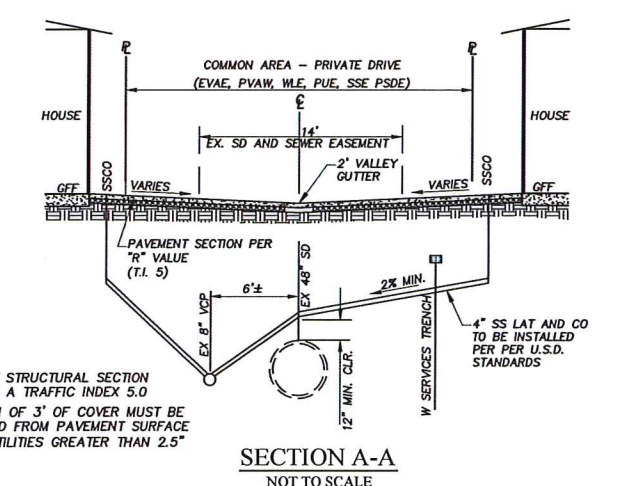
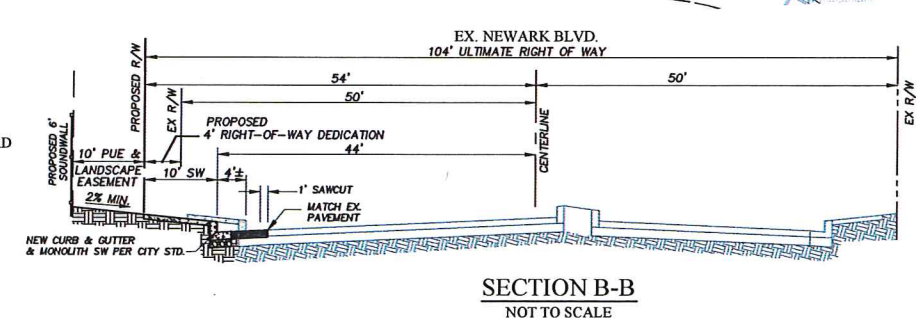
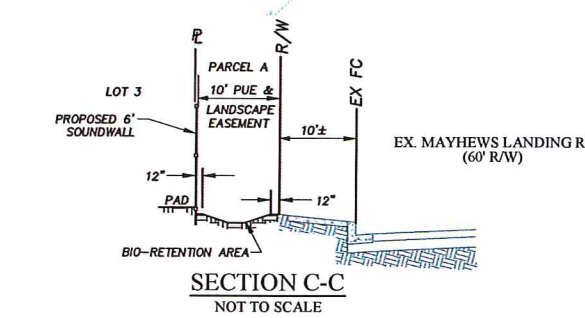
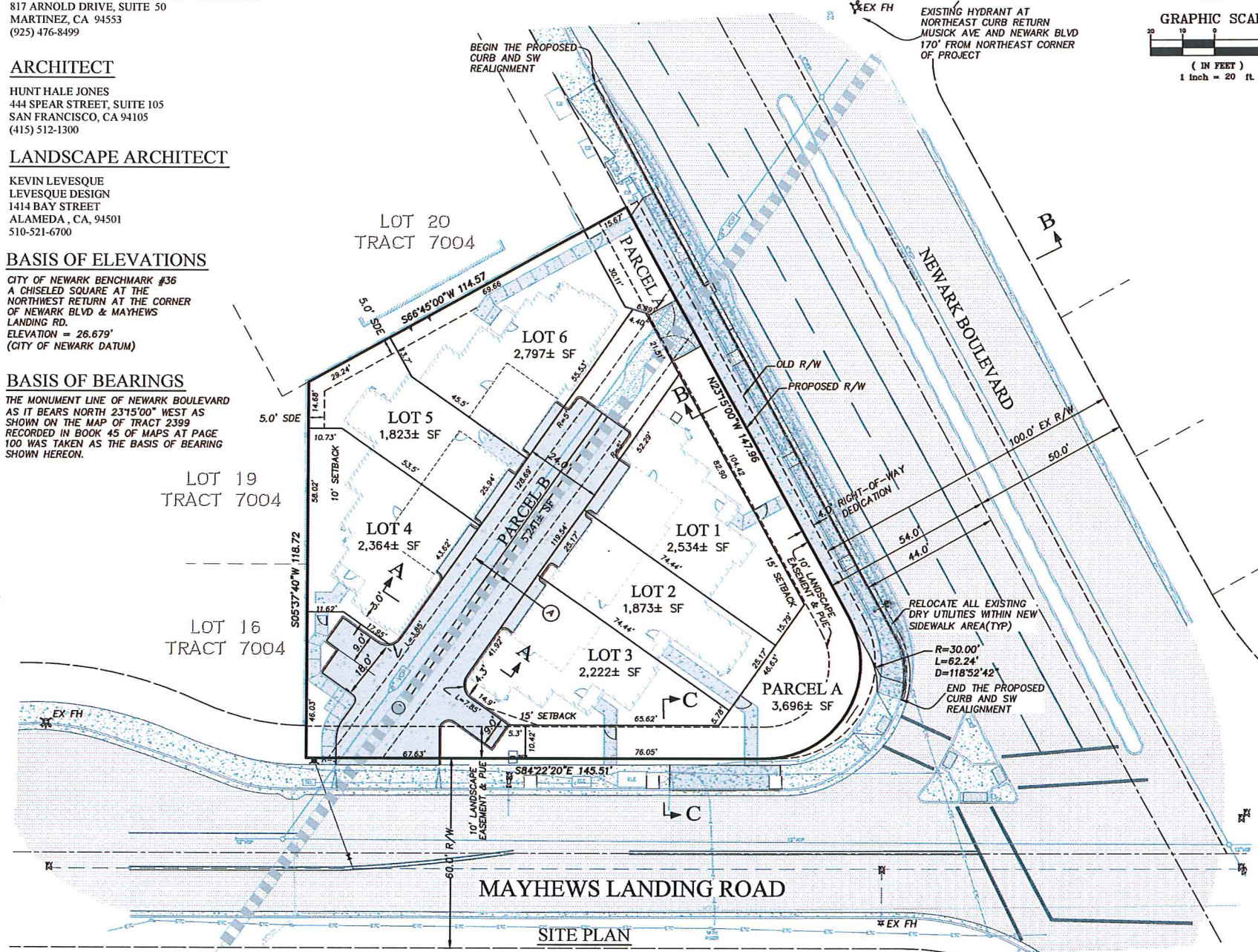
CITY OF NEWARK BENCHMARK #36
A CHISELED SQUARE AT THE
NORTHWEST RETURN AT THE CORNER
OF NEWARK BLVD & MAYHEWS
LANDING RD.
ELEVATION = 26.679'
(CITY OF NEWARK DATUM)

BASIS OF BEARINGS

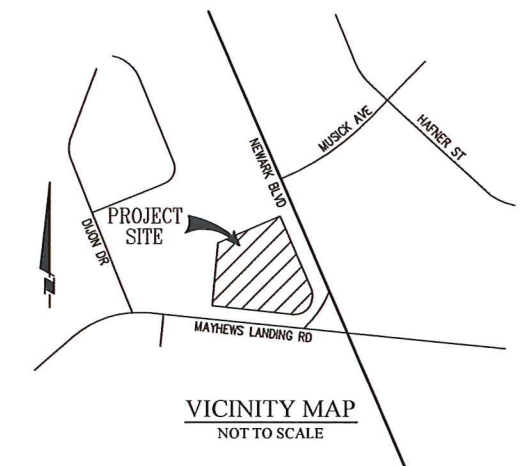
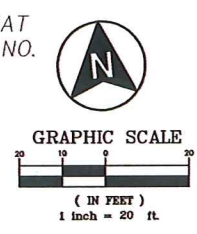
THE MONUMENT LINE OF NEWARK BOULEVARD
AS IT BEARS NORTH 23°15'00" WEST AS
SHOWN ON THE MAP OF TRACT 2399
RECORDED IN BOOK 45 OF MAPS AT PAGE
100 WAS TAKEN AS THE BASIS OF BEARING
SHOWN HEREON.

TENTATIVE TRACT MAP 8409 MAYHEWS PLACE 6-LOT RESIDENTIAL TOWNHOUSE PROJECT

A 6 LOT RESIDENTIAL TOWNHOUSE PROJECT BEING AN 8 LOT SUBDIVISION OF ALL OF THAT
PARCEL OF LAND DESCRIBED IN THE DEED RECORDED SEPT. 6, 2016 RECORDERS SERIES NO.
2016226248 ALAMEDA COUNTY RECORDS
CITY OF NEWARK, CALIFORNIA



- NOTES:**
1. PAVEMENT STRUCTURAL SECTION BASED ON A TRAFFIC INDEX 5.0
 2. A MINIMUM OF 3' OF COVER MUST BE MAINTAINED FROM PAVEMENT SURFACE TO ANY UTILITIES GREATER THAN 2.5"



SHEET INDEX

SHEET No.	DESCRIPTION
C1	TITLE SHEET & SITE PLAN
C2	TOPOGRAPHIC SURVEY & DEMOLITION PLAN
C3	PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
C4	PRELIMINARY C.3 STORM WATER CONTROL PLAN

- NOTES**
1. NO PUBLIC AREAS ARE PROPOSED.
 2. NO NEW STREET NAMES ARE PROPOSED.

GENERAL

ASSESSORS PARCEL NO: 092A-0623-043
PROJECT ADDRESS: 36589 NEWARK BOULEVARD, NEWARK, CA

TOTAL GROSS AREA: 22,449 SF
TOTAL NET AREA: 17,321 SF
EXISTING ZONING: RM-MEDIUM DENSITY RESIDENTIAL
GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL
EXISTING USE: VACANT
PROPOSED USE: 6 LOTS - MULTI-FAMILY RESIDENTIAL
PROPOSED DENSITY: 12 DU/AC
FEMA FLOOD DESIGNATION: ZONE "X" UNSHADED
EXISTING TOPOGRAPHY DATE: 02-14-2014 BY LEA & BRAZE ENGINEERING
MAXIMUM BUILDING HEIGHT: 28'
FIRE PROTECTION DISTRICT: ALAMEDA COUNTY FIRE PROTECTION DIST

FACILITIES

WATER: ALAMEDA COUNTY WATER DISTRICT
SEWER: UNION SANITARY DISTRICT
STORM DRAIN: CITY OF NEWARK & ALAMEDA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
TELEPHONE: AT&T
GARBAGE: REPUBLIC SERVICES



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NO.	REVISIONS	BY	APP	DATE

TENTATIVE MAP
TITLE SHEET & SITE PLAN
MAYHEWS PLACE - TRACT 8409
NEWARK, CA

SHEET	C1
DATE	05-03-2018
PROJECT #	16152

1652 NEWARK BLVD ~ TENTATIVE MAP ~ 05-03-2018

EXHIBIT A-1

TENTATIVE TRACT MAP 8409 MAYHEWS PLACE EXISTING CONDITION / DEMOLITION PLAN 6-LOT RESIDENTIAL TOWNHOUSE PROJECT

A 6 LOT RESIDENTIAL TOWNHOUSE PROJECT BEING AN 8 LOT SUBDIVISION OF ALL OF THAT PARCEL OF LAND DESCRIBED IN THE DEED RECORDED SEPT. 6, 2016 RECORDERS SERIES NO. 2016226248 ALAMEDA COUNTY RECORDS CITY OF NEWARK, CALIFORNIA
CITY OF NEWARK, ALAMEDA COUNTY, CALIFORNIA

BASIS OF BEARINGS

THE MONUMENT LINE OF NEWARK BOULEVARD AS IT BEARS NORTH 23°15'00" WEST AS SHOWN ON THE MAP OF TRACT 2399 RECORDED IN BOOK 45 OF MAPS AT PAGE 100 WAS TAKEN AS THE BASIS OF BEARING SHOWN HEREON.

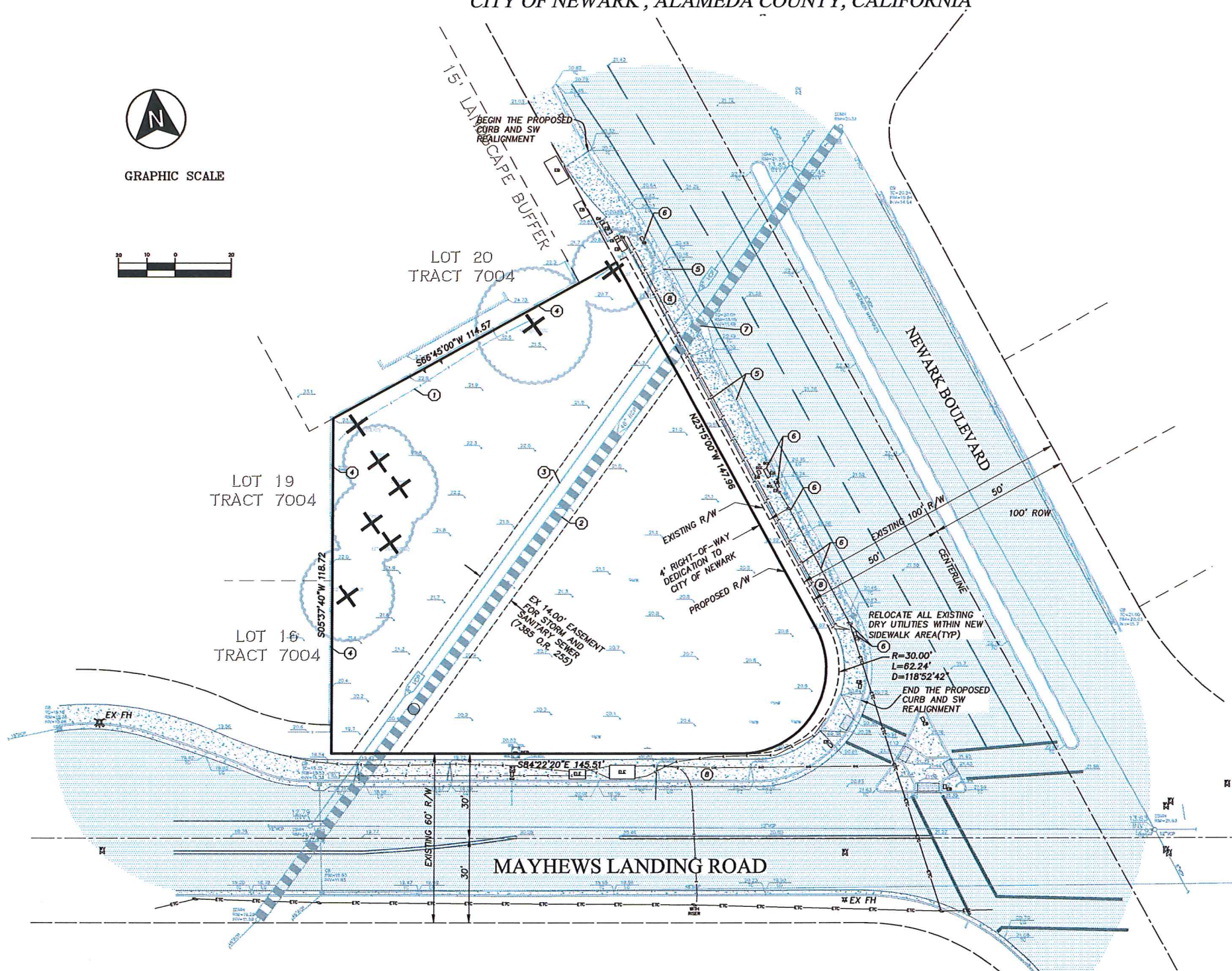
BASIS OF ELEVATIONS

CITY OF NEWARK BENCHMARK #36 A CHISELED SQUARE AT THE NORTHWEST CORNER AT THE CORNER OF NEWARK BLVD & MAYHEWS LANDING RD.
ELEVATION = 26.679'
(CITY OF NEWARK DATUM)

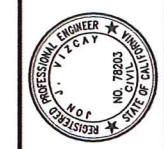
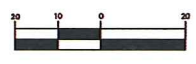
DEMOLITION KEY LEGEND

- ① EXISTING CHAINLINK FENCE TO BE REMOVED
- ② EXISTING 48" SD AT S=0.0004
- ③ EXISTING 8" VCP SEWER PIPE AT S=-0.0023
- ④ EXISTING SOUNDWALL TO BE REMAIN
- ⑤ EXISTING CURB, GUTTER AND SIDEWALK TO BE REMOVED AND REALIGNED ALONG FRONTAGE OF NEWARK BLVD.
- ⑥ EXISTING POWER POLES TO BE REMOVED (2 TOTAL) / UTILITY BOXES TO BE UNDERGROUND, OVERHEAD UTILITY LINES ACROSS MAYHEWS LANDING ROAD AND NEWARK BOULEVARD TO BE UNDERGROUND.
- ⑦ EXISTING CB TO BE RELOCATED TO NEW CURB ALIGNMENT.
- ⑧ EXISTING DRIVEWAY TO BE REMOVED.

LEGEND



GRAPHIC SCALE



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NO.	REVISIONS	BY	APP	DATE

TENTATIVE MAP
TOPOGRAPHIC SURVEY & DEMOLITION PLAN
MAYHEWS PLACE - TRACT 8409
NEWARK, CA

SHEET
C2
DATE
05-03-2018
PROJECT #: 16152

EXHIBIT Ap2

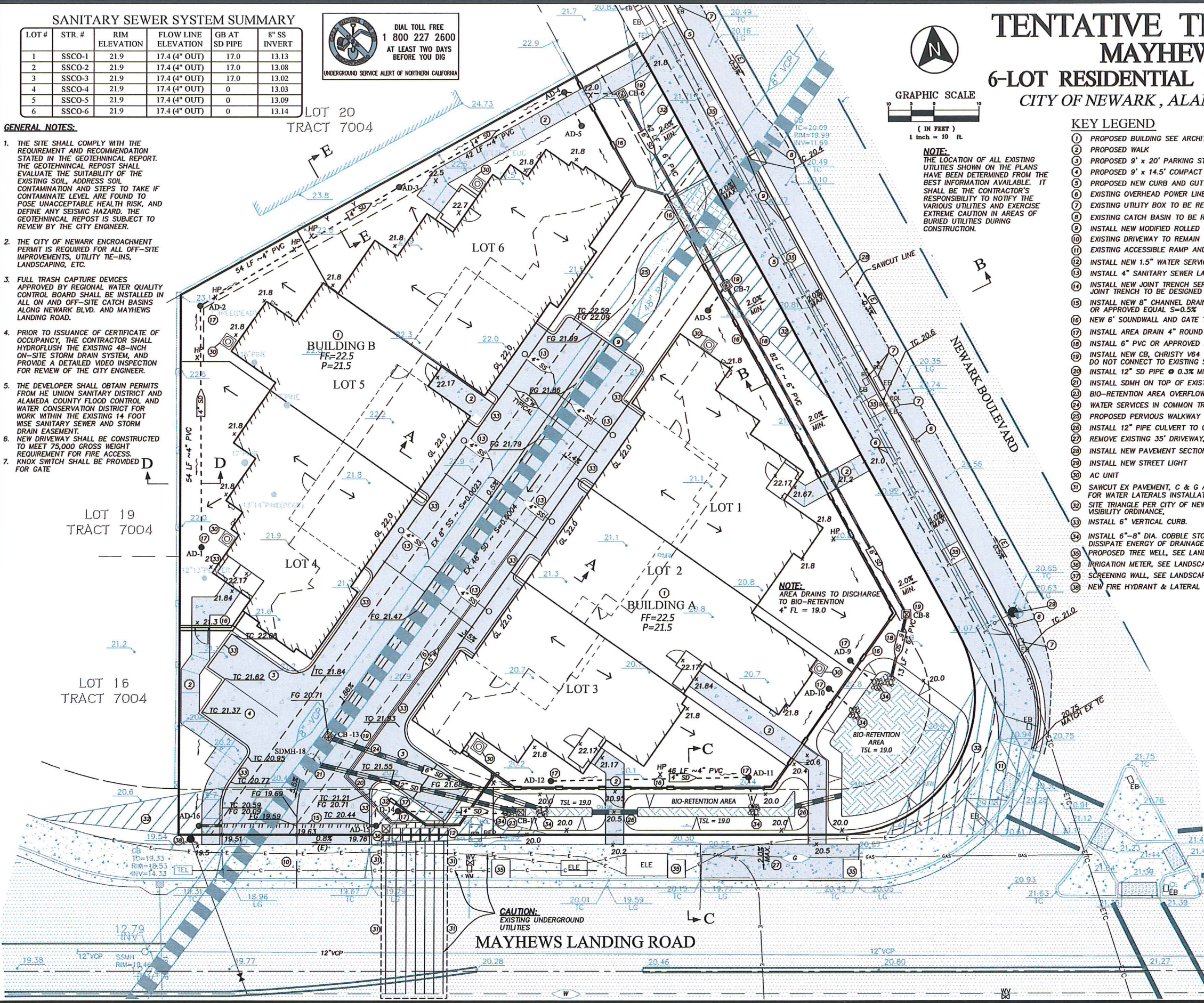
SANITARY SEWER SYSTEM SUMMARY

LOT #	STR. #	RIM ELEVATION	FLOW LINE ELEVATION	GB AT SD PIPE	8" SS INVERT
1	SSCO-1	21.9	17.4 (4" OUT)	17.0	13.13
2	SSCO-2	21.9	17.4 (4" OUT)	17.0	13.08
3	SSCO-3	21.9	17.4 (4" OUT)	17.0	13.02
4	SSCO-4	21.9	17.4 (4" OUT)	0	13.03
5	SSCO-5	21.9	17.4 (4" OUT)	0	13.09
6	SSCO-6	21.9	17.4 (4" OUT)	0	13.14



GENERAL NOTES:

- THE SITE SHALL COMPLY WITH THE REQUIREMENT AND RECOMMENDATION STATED IN THE GEOTECHNICAL REPORT. THE GEOTECHNICAL REPORT SHALL EVALUATE THE SUITABILITY OF THE EXISTING SOIL, ADDRESS SOIL CONTAMINATION AND STEPS TO TAKE IF CONTAMINATION LEVEL ARE FOUND TO POSE UNACCEPTABLE HEALTH RISK, AND DEFINE ANY SEISMIC HAZARD. THE GEOTECHNICAL REPORT IS SUBJECT TO REVIEW BY THE CITY ENGINEER.
- THE CITY OF NEWARK ENCROACHMENT PERMIT IS REQUIRED FOR ALL OFF-SITE IMPROVEMENTS, UTILITY TIE-INS, LANDSCAPING, ETC.
- FULL TRASH CAPTURE DEVICES APPROVED BY REGIONAL WATER QUALITY CONTROL BOARD SHALL BE INSTALLED IN ALL ON AND OFF-SITE CATCH BASINS ALONG NEWARK BLVD. AND MAYHEWS LANDING ROAD.
- PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL HYDROFLUSH THE EXISTING 48-INCH ON-SITE STORM DRAIN SYSTEM, AND PROVIDE A DETAILED VIDEO INSPECTION FOR REVIEW OF THE CITY ENGINEER.
- THE DEVELOPER SHALL OBTAIN PERMITS FROM THE UNION SANITARY DISTRICT AND ALAMEDA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT FOR WORK WITHIN THE EXISTING 14 FOOT WISE SANITARY SEWER AND STORM DRAIN EASEMENT.
- NEW DRIVEWAY SHALL BE CONSTRUCTED TO MEET 75,000 GROSS WEIGHT REQUIREMENT FOR FIRE ACCESS.
- KNOX SWITCH SHALL BE PROVIDED FOR GATE.

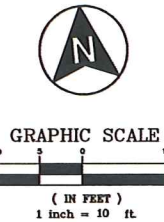


TENTATIVE TRACT MAP 8409

MAYHEWS PLACE

6-LOT RESIDENTIAL TOWNHOUSE PROJECT

CITY OF NEWARK, ALAMEDA COUNTY, CALIFORNIA

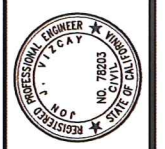
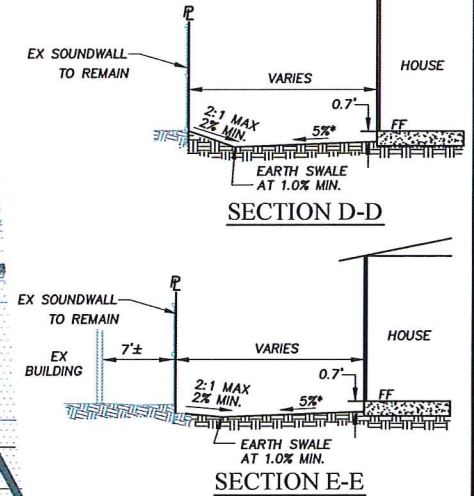


KEY LEGEND

- PROPOSED BUILDING SEE ARCHITECTURAL PLANS
- PROPOSED WALK
- PROPOSED 9' x 20' PARKING STALL
- PROPOSED 9' x 14.5' COMPACT PARKING STALL
- PROPOSED NEW CURB AND GUTTER AND 10' SW PER CITY STD.
- EXISTING OVERHEAD POWER LINE TO BE RELOCATED UNDERGROUND BY OTHERS
- EXISTING UTILITY BOX TO BE RELOCATED BY OTHERS
- EXISTING CATCH BASIN TO BE RELOCATED TO THE NEW CURB & GUTTER
- INSTALL NEW MODIFIED ROLLED CURB, 16" WIDE.
- EXISTING DRIVEWAY TO REMAIN
- EXISTING ACCESSIBLE RAMP AND SIDEWALK TO REMAIN
- INSTALL NEW 1.5" WATER SERVICE AND 1" WM PER ACWD 5-6-08 STANDARD (TYP)
- INSTALL 4" SANITARY SEWER LATERAL AT 2.0% MIN WITH CLEANOUT PER U.S.D. STANDARDS
- INSTALL NEW JOINT TRENCH SERVICE FOR DRY UTILITIES TO ALL HOUSES JOINT TRENCH TO BE DESIGNED BY OTHERS.
- INSTALL NEW 8" CHANNEL DRAIN - NDS PART NO. 830 AND GRATE PART NO. 838 OR APPROVED EQUAL S=0.5%
- NEW 6" SOUNDWALL AND GATE TO BE DESIGNED BY OTHERS.
- INSTALL AREA DRAIN 4" ROUND NDS OR EQUAL AND 4" PVC SD-35 OR EQUAL.
- INSTALL 6" PVC OR APPROVED EQUAL @ 0.5% MIN
- INSTALL NEW CB, CHRISTY V64 OR APPROVED EQUAL. FLUSH GRATE WITH NEW FG, DO NOT CONNECT TO EXISTING SD PIPE
- INSTALL 12" SD PIPE @ 0.3% MIN
- INSTALL SDMH ON TOP OF EXIST. 48" SD PIPE PER A.C.F.C. AND CITY STANDARD.
- BIO-RETENTION AREA OVERFLOW CATCH BASIN (CHRISTY U21 OR EQUAL)
- WATER SERVICES IN COMMON TRENCH (TYP)
- PROPOSED PERVIOUS WALKWAY (PERVIOUS PAVERS OR EQUAL). SEE LANDSCAPE PLANS FOR DETAILS.
- INSTALL 12" PIPE CULVERT TO CONNECT BIO-RETENTIONS, LAY PIPE FLAT AT EL. 19.0
- REMOVE EXISTING 35' DRIVEWAY, INSTALL NEW C&G AND MONOLITHIC SW PER CITY STANDARDS.
- INSTALL NEW PAVEMENT SECTION TO MATCH EXISTING AND SOILS ENGINEER RECOMMENDATION
- INSTALL NEW STREET LIGHT
- AC UNIT
- SAWCUT EX PAVEMENT, C & G AND SW FOR WATER LATERALS INSTALLATION
- SITE TRIANGLE PER CITY OF NEWARK VISIBILITY ORDINANCE.
- INSTALL 6" VERTICAL CURB.
- INSTALL 6"-8" DIA. COBBLE STONE ROCKS TO DISSIPATE ENERGY OF DRAINAGE.
- PROPOSED TREE WELL, SEE LANDSCAPE PLANS
- IRRIGATION METER, SEE LANDSCAPE PLANS
- SCREENING WALL, SEE LANDSCAPE PLANS
- NEW FIRE HYDRANT & LATERAL

DRAINAGE SYSTEM SUMMARY

STRUCTURE #	GRATE ELEVATION	FLOW LINE ELEVATION
AD-1	21.5	20.5 (4" OUT)
AD-2	21.2	20.23 (4" THRU)
AD-3	21.3	19.97 (4" THRU)
AD-4	22.0	19.76 (4" THRU)
AD-5	21.5	20.00 (4" OUT)
CB-6	21.9	19.91 (4" IN)
		19.74 (6" OUT)
CB-7	20.9	19.50 (6" THRU)
CB-8	21.4	19.08 (6" THRU)
AD-9	21.0	19.50 (4" OUT)
AD-10	21.0	19.50 (4" OUT)
AD-11	21.3	20.27 (4" THRU)
AD-12	21.3	20.5 (4" OUT)
CB-13	20.7	19.14 (12" OUT)
AD-14	21.7	19.10 (4" THRU)
AD-15	20.4	19.17 (4" THRU)
AD-16	19.9	19.35 (4" OUT)
CB-17	19.5	16.50 (12" OUT)
SDMH-18	19.9	11.63 (48" THRU)
		14.63 (12" IN)



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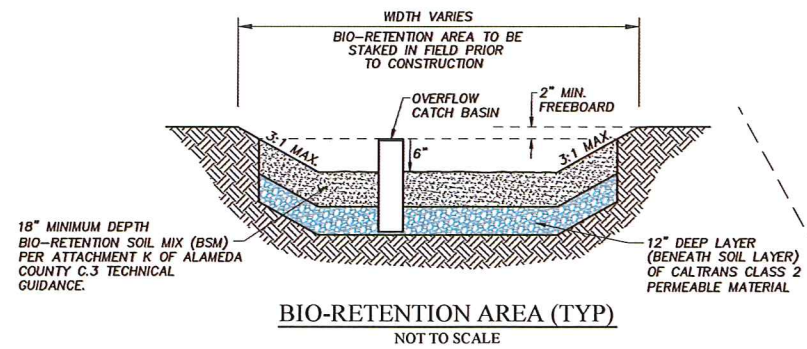
NO.	REVISIONS	BY	APP.	DATE

TENTATIVE MAP
PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
MAYHEWS PLACE - TRACT 8409
NEWARK, CA

SHEET
C3
DATE
05-03-2018
PROJECT #: 16152

EXHIBIT Ap3

TENTATIVE TRACT MAP 8409 MAYHEWS PLACE PRELIMINARY C.3 STORM WATER CONTROL PLAN 6-LOT RESIDENTIAL TOWNHOUSE PROJECT CITY OF NEWARK, ALAMEDA COUNTY, CALIFORNIA

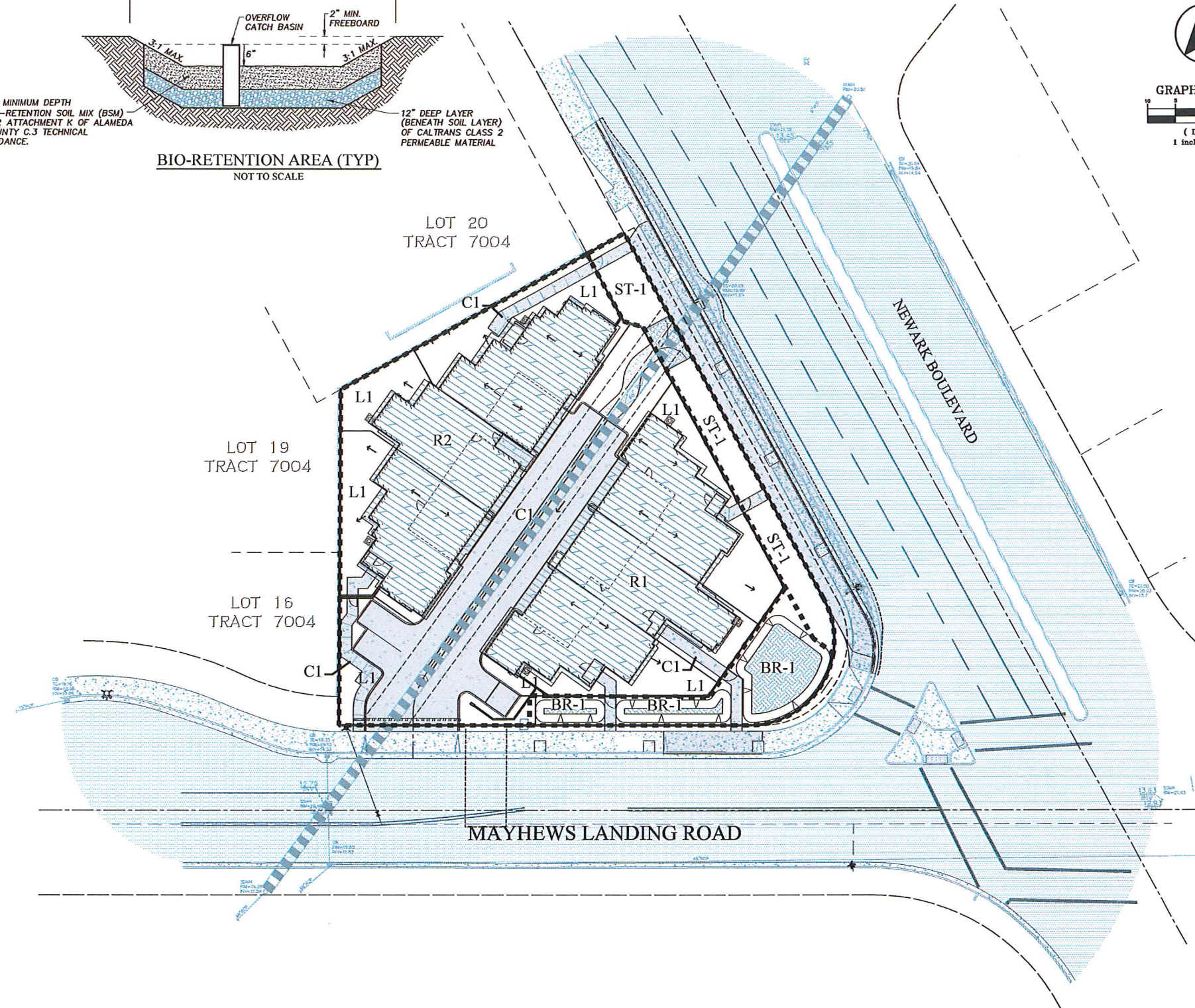


18" MINIMUM DEPTH
BIO-RETENTION SOIL MIX (BSM)
PER ATTACHMENT K OF ALAMEDA
COUNTY C.3 TECHNICAL
GUIDANCE.

12" DEEP LAYER
(BENEATH SOIL LAYER)
OF CALTRANS CLASS 2
PERMEABLE MATERIAL



GRAPHIC SCALE
(IN FEET)
1 inch = 10 ft.



C.3 STORM WATER CONTROL LEGEND

DRAINAGE MANAGEMENT AREAS (DMA):

SELF TREATED AREA (PERVIOUS SURFACE)	ST
LANDSCAPE AREA (PERVIOUS SURFACE)	L
NEW CONCRETE (IMPERVIOUS SURFACE)	C
ROOFTOP (IMPERVIOUS SURFACE)	R
BIO-RETENTION AREA	BR-1

BMP TRIBUTARY BOUNDARY:

PROJECT DATA FORM

PROJECT NAME/NUMBER	NEWARK BLVD
PROJECT LOCATION	36589 NEWARK BLVD. NEWARK, CA
NAME OF DEVELOPER	MAYHEWS PLACE LLC
PROJECT TYPE AND DESCRIPTION	6 LOTS (RESIDENTIAL TOWNHOMES)
PROJECT WATERSHED	NEWARK SLOUGH WATERSHED
TOTAL PROJECT SITE AREA (ACRES)	0.52 ACRES (22,449 SF)
TOTAL NEW IMPERVIOUS SURFACE AREA (SQ. FT.)	14,172 SF
TOTAL REPLACED IMPERVIOUS SURFACE AREA	0 SF
TOTAL PRE-PROJECT IMPERVIOUS SURFACE AREA	0 SF
TOTAL POST-PROJECT IMPERVIOUS SURFACE AREA	14,172 SF
RUNOFF REDUCTION MEASURES SELECTED	<input checked="" type="checkbox"/> 1. DISPERSE RUNOFF TO VEGETATED AREA <input type="checkbox"/> 2. PERVIOUS PAVEMENT (PAVERS) <input type="checkbox"/> 3. CISTERNS OR RAIN BARRELS <input checked="" type="checkbox"/> 4. BIO-RETENTION FACILITY OR PLANTER BOX

BIO-RETENTION AREA SUMMARY

IMP AREA NAME	DMA NAME	DMA AREA (SF)	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	IMP SIZING FACTOR	MINIMUM AREA (SF)	REQUIRED IMP AREA (SF)	PROPOSED IMP AREA (SF)
BR-1	C1	4,452	1.0	4,452	0.04	178	590	654
	R1	4,879	1.0	4,830	0.04	195		
	L1	5,863	0.1	586	0.04	23		
	R2	4,841	1.0	4,841	0.04	194		

ST-1 = 1,760 SF

AREA BREAKDOWN

PERVIOUS	
LANDSCAPING:	5,863 SF
BIO-RETENTION AREA:	654 SF
TOTAL:	6,517 SF
IMPERVIOUS	
CONCRETE:	4,452 SF
ROOF:	9,720 SF
TOTAL:	14,172 SF

EXHIBIT Ap4



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TENTATIVE MAP
PRELIMINARY C.3 STORM WATER CONTROL PLAN
MAYHEWS PLACE - TRACT 8409
NEWARK, CA

SHEET
C4

DATE
05-03-2018

PROJECT #: 16152