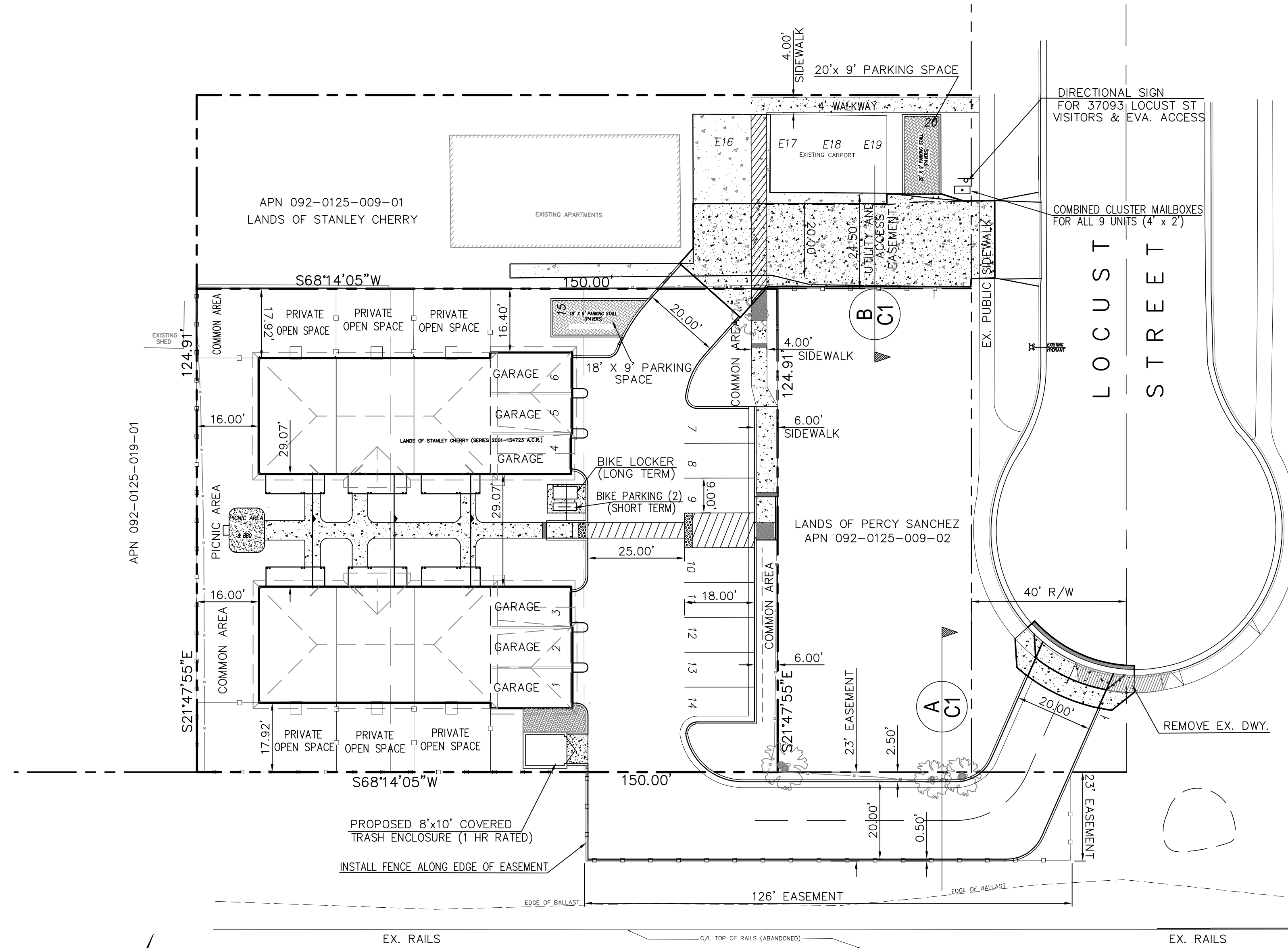


# 37093 LOCUST STREET CHERRY PROPERTIES



**PROPOSED SITE PLAN**  
SCALE: 1" = 20'

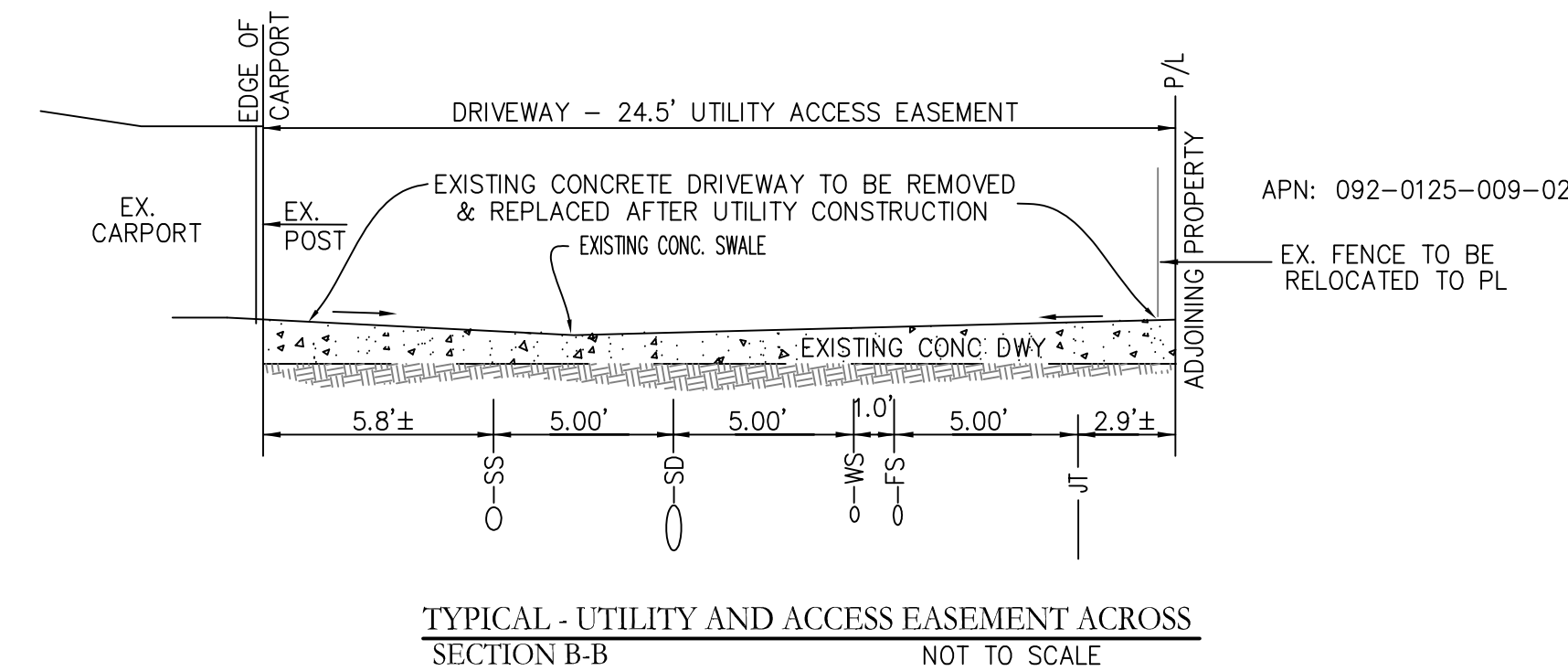
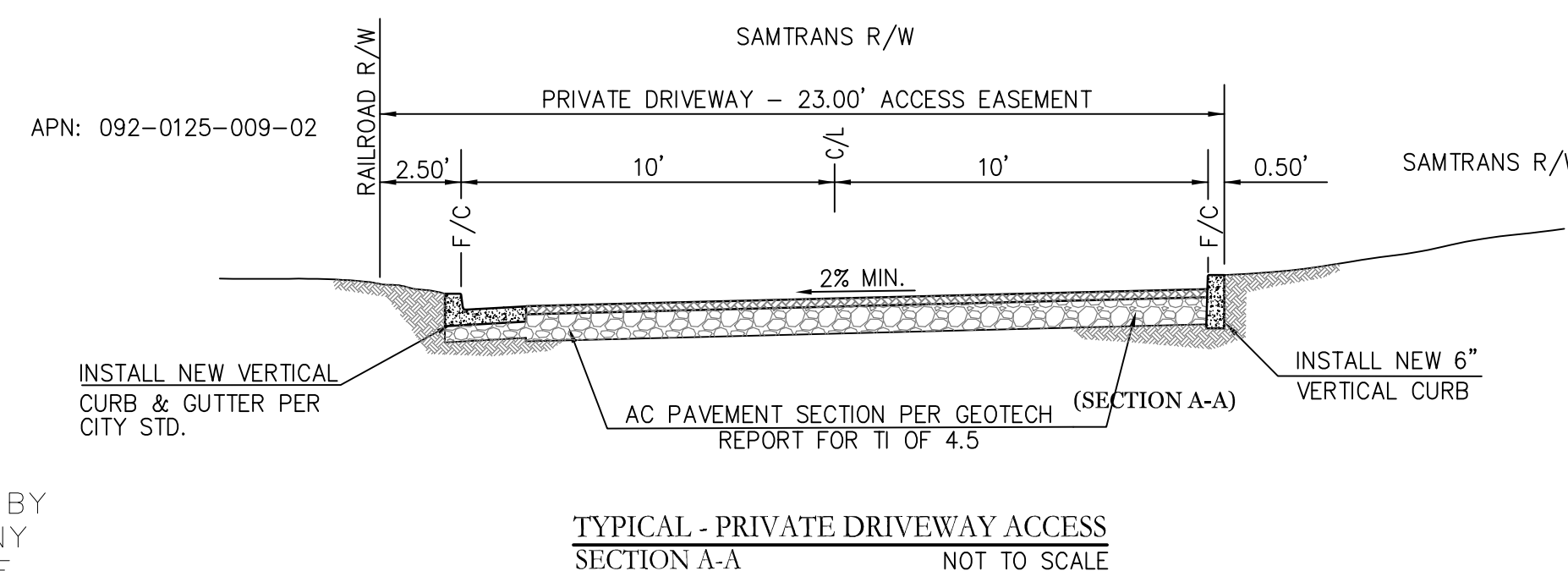
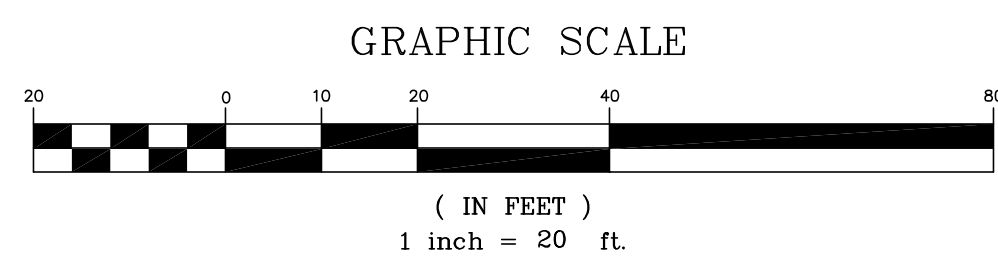
**PROJECT GENERAL NOTES:**

- OWNER(S) : STANLEY CHERRY  
321 WOODROW AVENUE  
VALLEJO, CA 94591  
CONTACT: STAN CHERRY, 707-553-9842
- DEVELOPER : STANLEY CHERRY  
321 WOODROW AVENUE  
VALLEJO, CA 94591  
CONTACT: STAN CHERRY, 707-553-9842
- CIVIL ENGINEER : STERLING CONSULTANTS  
11040 BOLLINGER CANYON ROAD, SUITE E-102  
SAN RAMON, CA 94582  
CONTACT: DILIP S. KISHNANI, P.E., QSD  
TEL: 925-705-3633; FAX: 866-966-6343
- SOILS ENGINEER : GEOTECHNICAL ENGINEERING INC.,  
38750 PASEO PADRE PARKWAY, SUITE B-1  
FREMONT, CA 94536  
CONTACT: TAGHI MANBEJAN  
TEL: 510-791-0100
- DESIGNER : J L DESIGN & ENGINEERING  
142 AMETHYST COURT  
HERCULES, CA 94547  
CONTACT: JULIAN LORENZO, P.E.  
TEL: 510-610-0785  
JLDE@SBCGLOBAL.NET
- APNs: (A) 092-125-010 / (B) 092-0125-009-01
- EXISTING LAND USE: (A) VACANT LOT / (B) EXISTING APARTMENTS
- PROPOSED LAND USE: RESIDENTIAL APARTMENTS
- SITE AREA: (A): 18,736 SF (0.4301 ACRES GROSS) / (B): 2,898 SF (0.066 ACRES GROSS)  
(A+B) = 21,634 SF (0.5 ACRES GROSS)
- NUMBER OF APT. UNITS: 6 (SIX) PROPOSED
- NUMBER OF PARKING: 15 SPACES
- GENERAL PLAN: LOW-MEDIUM DENSITY RESIDENTIAL
- EXISTING ZONING: Residential Low Density
- PROPOSED ZONING:
- DENSITY:
- WATER SYSTEM: ALAMEDA COUNTY WATER DISTRICT
- SEWER SYSTEM: UNION SANITARY DISTRICT
- STORM DRAIN SYSTEM: CITY OF NEWARK
- GAS & ELECTRIC: PACIFIC GAS & ELECTRIC (P.G.&E.)
- CABLE: COMCAST CABLE
- TOPOGRAPHY: EXISTING TOPOGRAPHY IS BASED ON A FIELD SURVEY DONE IN MARCH 2015.
- BOUNDARY: BOUNDARY AS SHOWN IS BASED ON A FIELD SURVEY DONE IN MARCH 2015.
- ACCESS: PRIMARY VEHICULAR ACCESS IS FROM END OF LOCUST STREET BY A NEW PRIVATE DRIVEWAY THROUGH THE SAMTRANS EASEMENT ALONG THE SOUTH OF THE PARCEL WITHIN RIGHT-OF-WAY NOW OWNED BY SAMTRANS.
- FLOOD ZONE: ZONE X (UNSHADED); FIRM PANEL: 06001C0443G
- UTILITIES: ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND. ALL STORM DRAINS, SANITARY SEWERS AND WATER MAINS SHALL ADHERE TO MINIMUM SIZES & SLOPES PER THE GOVERNING AGENCIES.
- STORMWATER: COMPLIANCE WITH MUNICIPAL REGIONAL PERMIT (MRP) FOR LOW IMPACT DEVELOPMENT SHALL BE ACHIEVED THROUGH MULTIPLE AT-GRADE BIO-RETENTION TREATMENT MEASURES AS SHOWN ON THE PRELIMINARY STORMWATER CONTROL PLAN SHEET (SHEET C3).
- TRASH ENCLOSURE: WALL OF TRASH ENCLOSURE SHALL BE FIRE RATED.

**EXHIBIT A p1**

**SHEET INDEX**

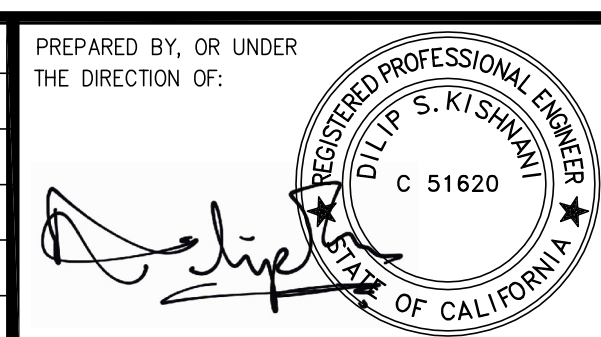
SHEET NO.	DESCRIPTION
C1	SITE PLAN, NOTES & TYPICAL DETAILS
C2	PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
C3	PRELIMINARY STORM WATER CONTROL PLAN & DETAILS
C4	SITE CROSS-SECTIONS
L1.0 - L2.0	PRELIMINARY LANDSCAPE SHEETS (2 TOTAL)
A1	ARCHITECTURAL SITE & ROOF PLAN
A2	ARCHITECTURAL FLOOR PLANS
A3	ARCHITECTURAL SECTIONS & ELEVATIONS



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DATE: APRIL 24, 2018					
SCALE: AS NOTED					
DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK					
	NO.	BY	DATE	REVISIONS	CITY APPR



PREPARED BY:  
**STERLING CONSULTANTS**  
ENGINEERING ■ SURVEYING ■ CONSTRUCTION SUPPORT  
11040 BOLLINGER CANYON RD, SUITE E-102  
SAN RAMON, CA 94582  
1sterlingconsultants@gmail.com  
PHONE: 925.705.3633  
FAX: 866.966.6343

PREPARED FOR:  
STANLEY CHERRY  
321 WOODROW AVENUE  
VALLEJO, CA 94591  
(707) 553-9842

APN: 92-125-010  
CITY OF NEWARK

**CHERRY PROPERTIES**  
SITE PLAN, NOTES & TYPICAL DETAILS

ALAMEDA COUNTY

CALIFORNIA

37093 LOCUST STREET

SHEET NO.

**C1**

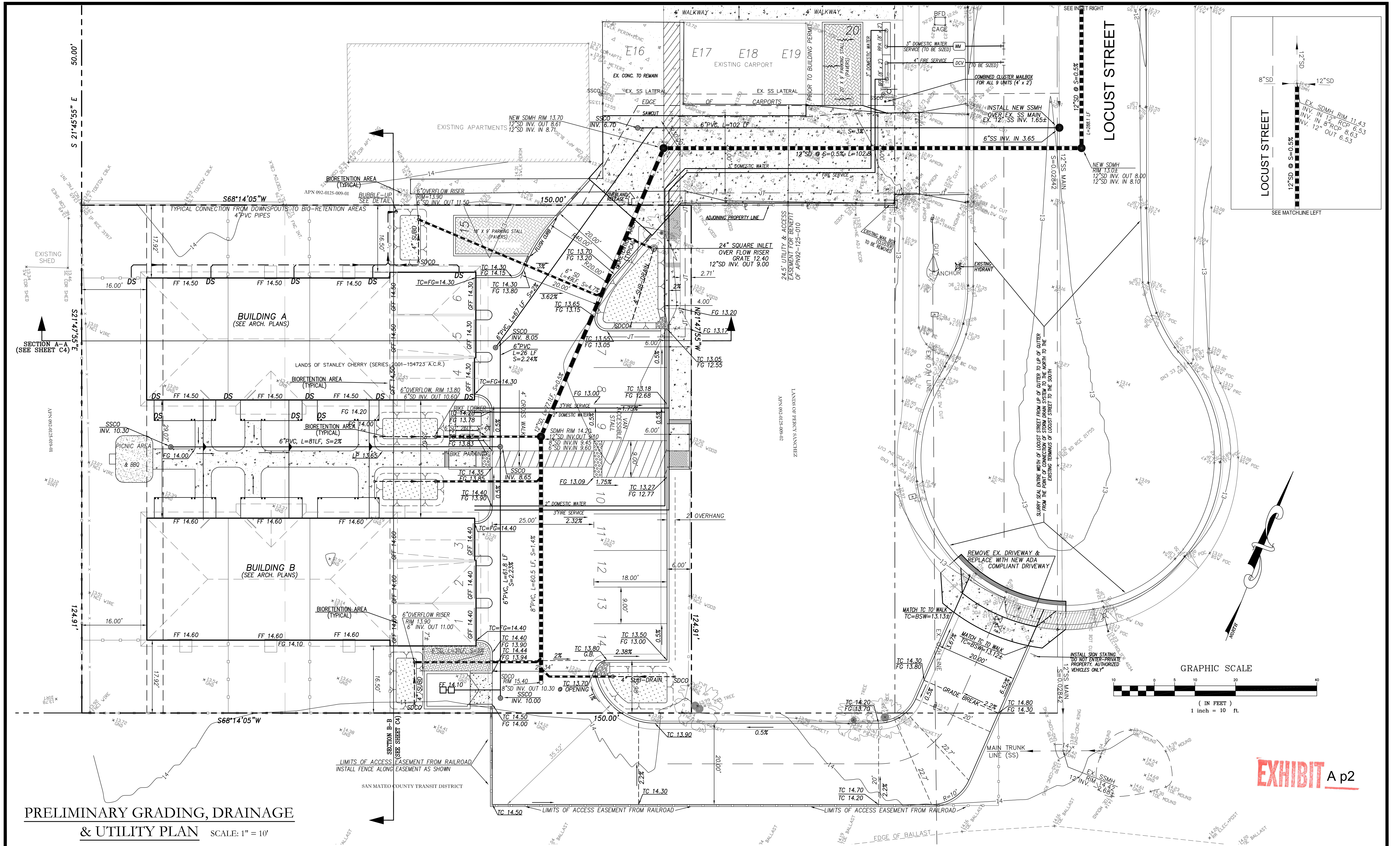
1 OF 9 SHEETS

JOB NO. 2015-177

PRELIMINARY NOT FOR CONSTRUCTION

PRINTED: APRIL 24, 2018





**PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN** SCALE: 1" = 10'

DATE: APRIL 24, 2018					
SCALE: AS NOTED					
DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK					
NO.	BY	DATE	REVISIONS	CITY APPR	

PREPARED BY, OR UNDER THE DIRECTION OF:

PREPARED BY:

**STERLING CONSULTANTS**

ENGINEERING SURVEYING CONSTRUCTION SUPPORT

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PREPARED FOR:

STANLEY CHERRY

321 WOODROW AVENUE  
VALLEJO, CA 94591  
(707) 553-9842

APN: 92-125-010

37093 LOCUST STREET

**CHERRY PROPERTIES**

PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN

CITY OF NEWARK ALAMEDA COUNTY CALIFORNIA

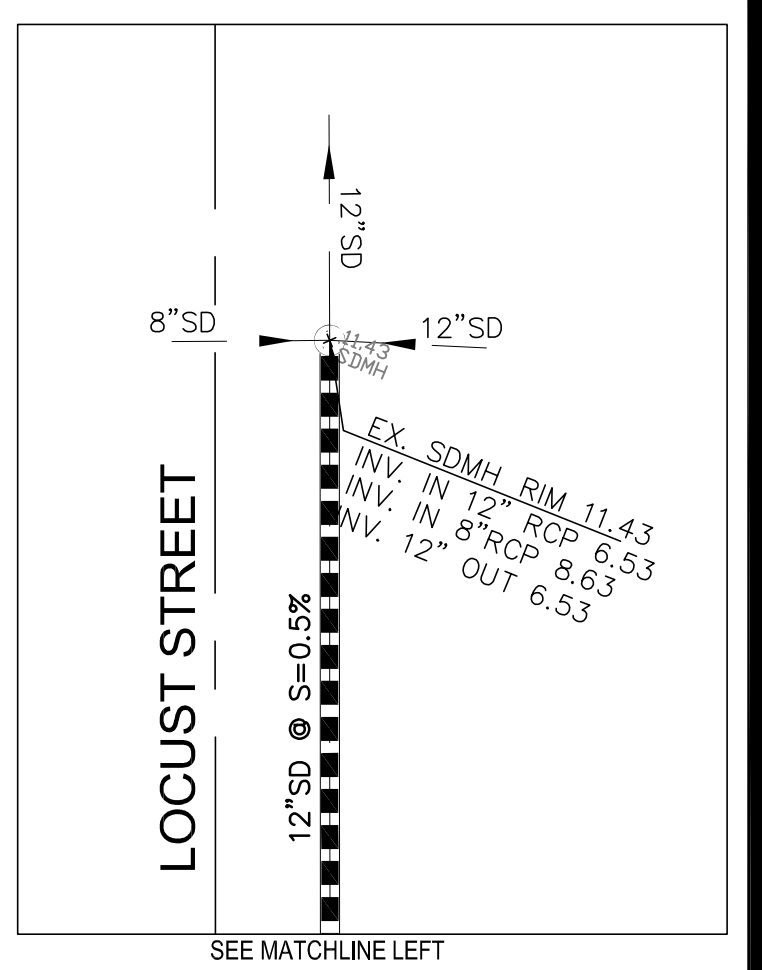
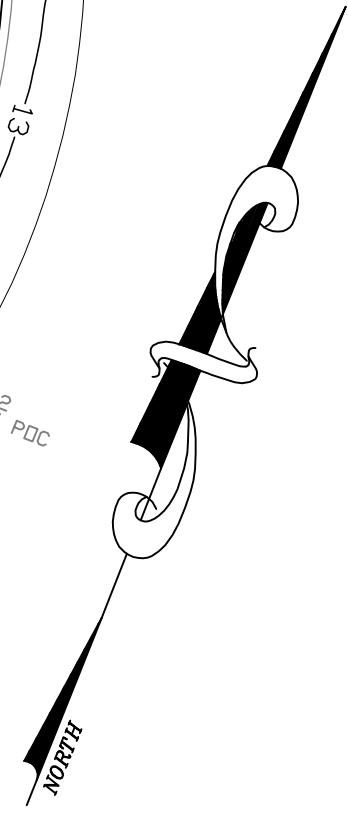
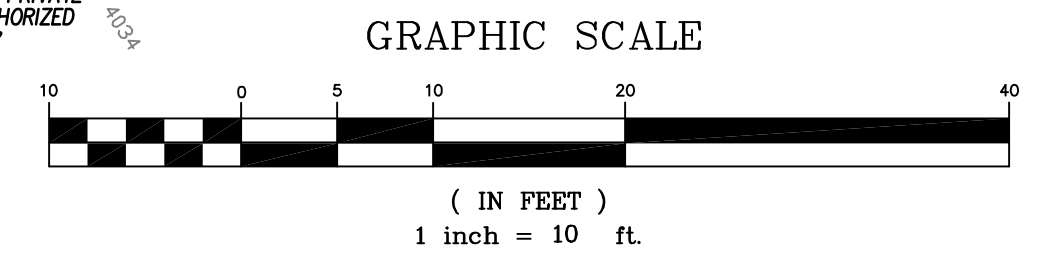
SHEET NO. **C2**

2 OF 9 SHEETS

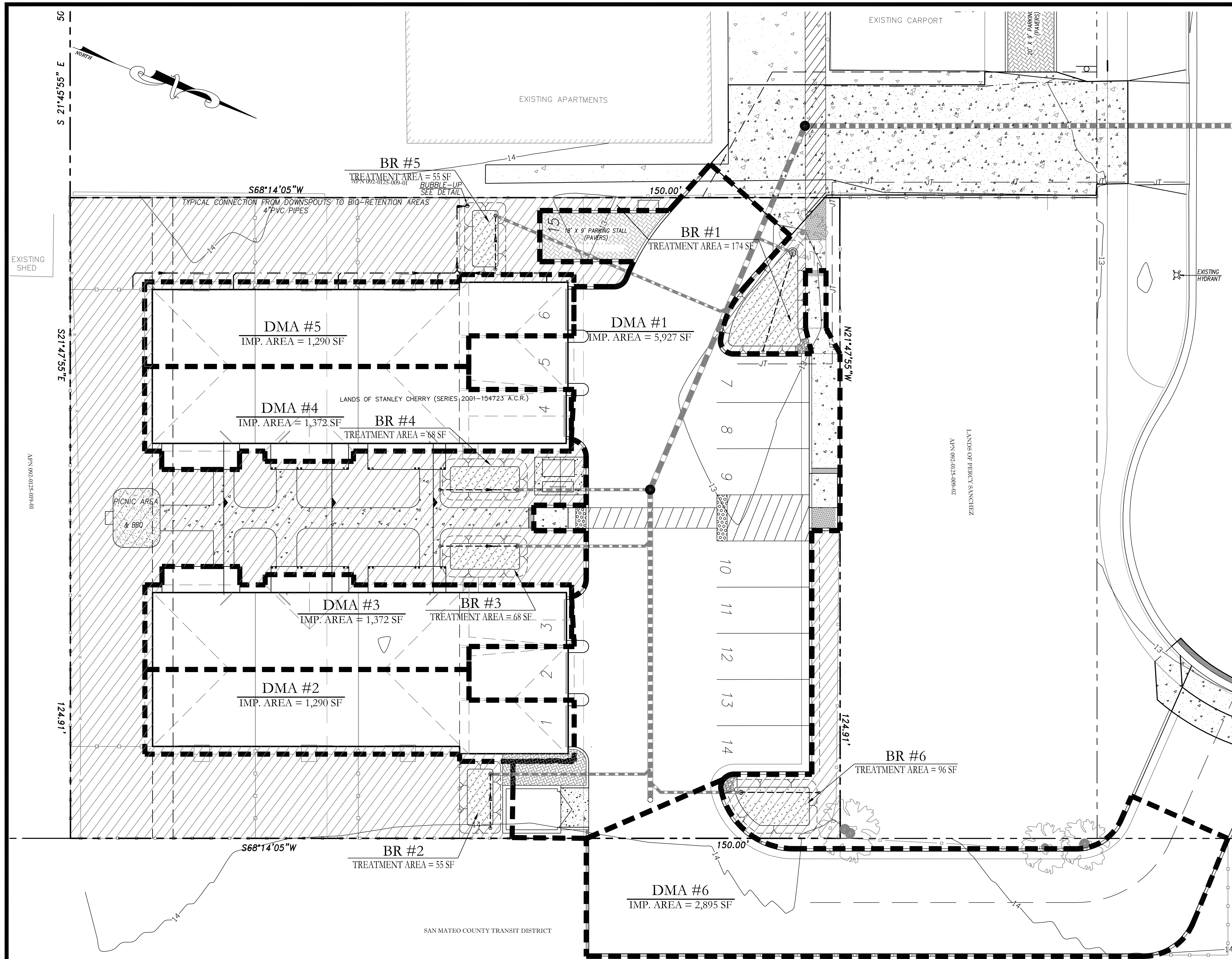
JOB NO. 2015-177

PRELIMINARY NOT FOR CONSTRUCTION

**EXHIBIT A p2**







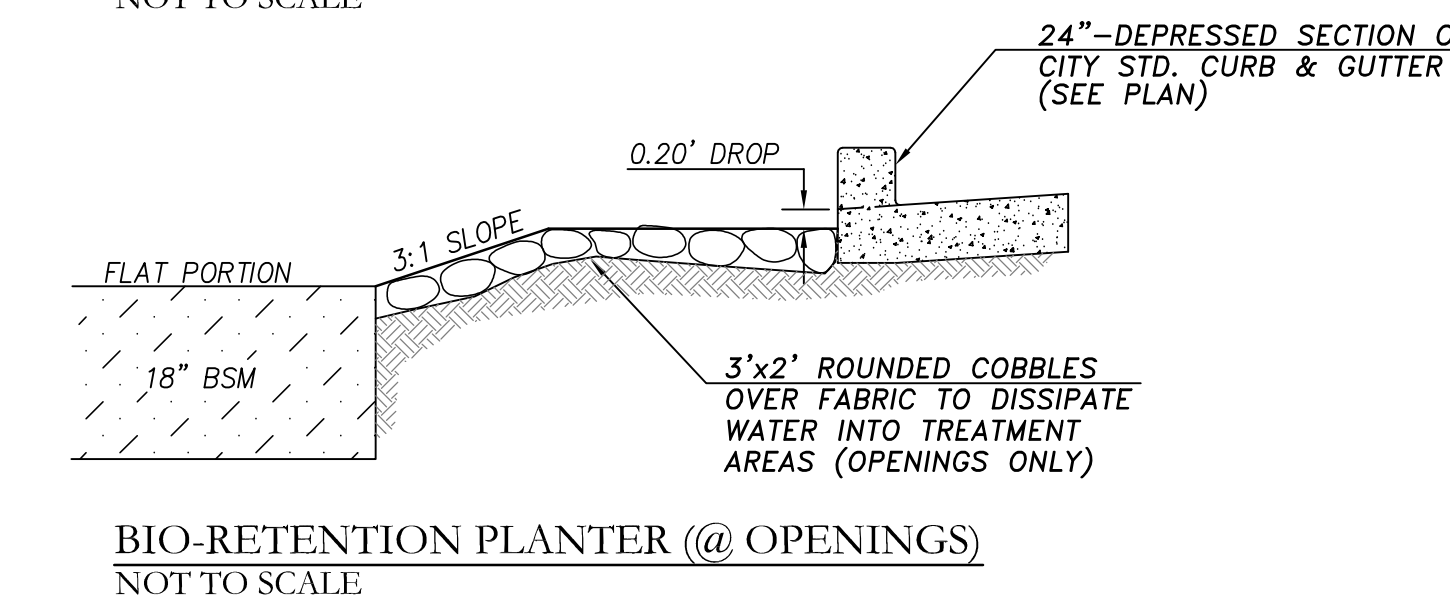
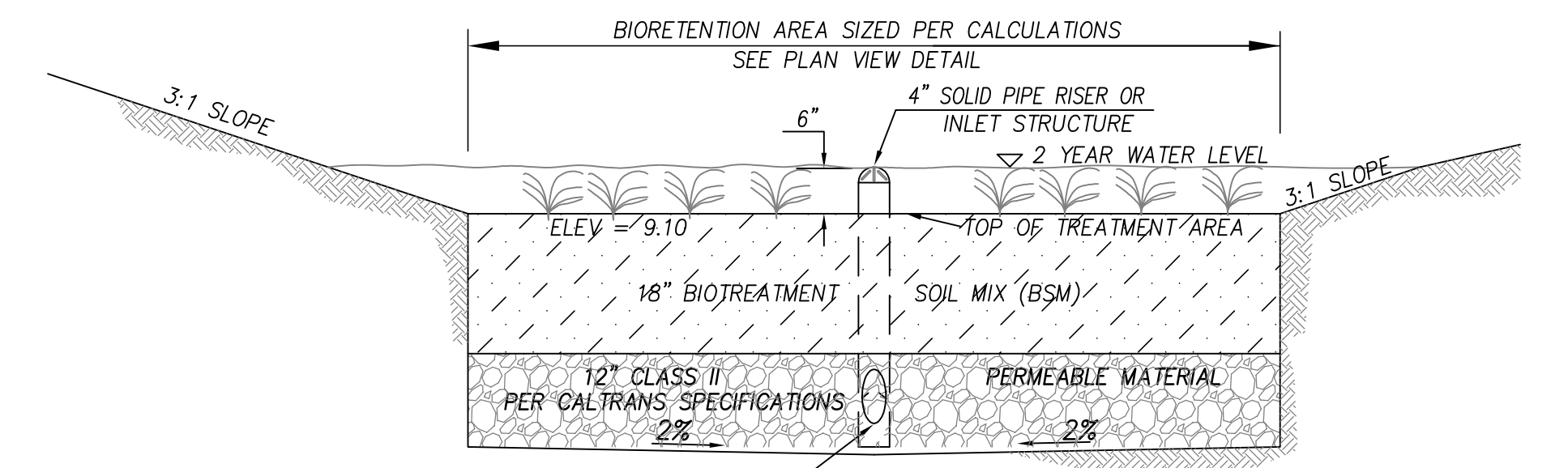
**BIORETENTION TREATMENT AREAS AND SIZING CHART**  
(BASED ON 4% & COMBINED FLOW-VOLUME METHODOLOGY)

DMA#	TRIBUTARY SURFACE (IMPERVIOUS AREAS)	TRIB. AREA (Sq.Ft.)	BIO-RETENTION #	TREATMENT AREA PROVIDED (Sq.Ft.)	REQUIRED AREA @ 4% (Sq.Ft.)
1	PAVEMENT AND CONCRETE	5,927	BR #1	174 <sup>1</sup>	237
2	ROOF	1,290	BR #2	55	52
3	ROOF	1,372	BR #3	68	55
4	ROOF	1,372	BR #4	68	55
5	ROOF	1,290	BR #5	55	52
6	PAVEMENT AND CONCRETE	2,895	BR #6	96 <sup>1</sup>	116
<b>TOTAL IMPERVIOUS AREA</b>		<b>13,932</b>			

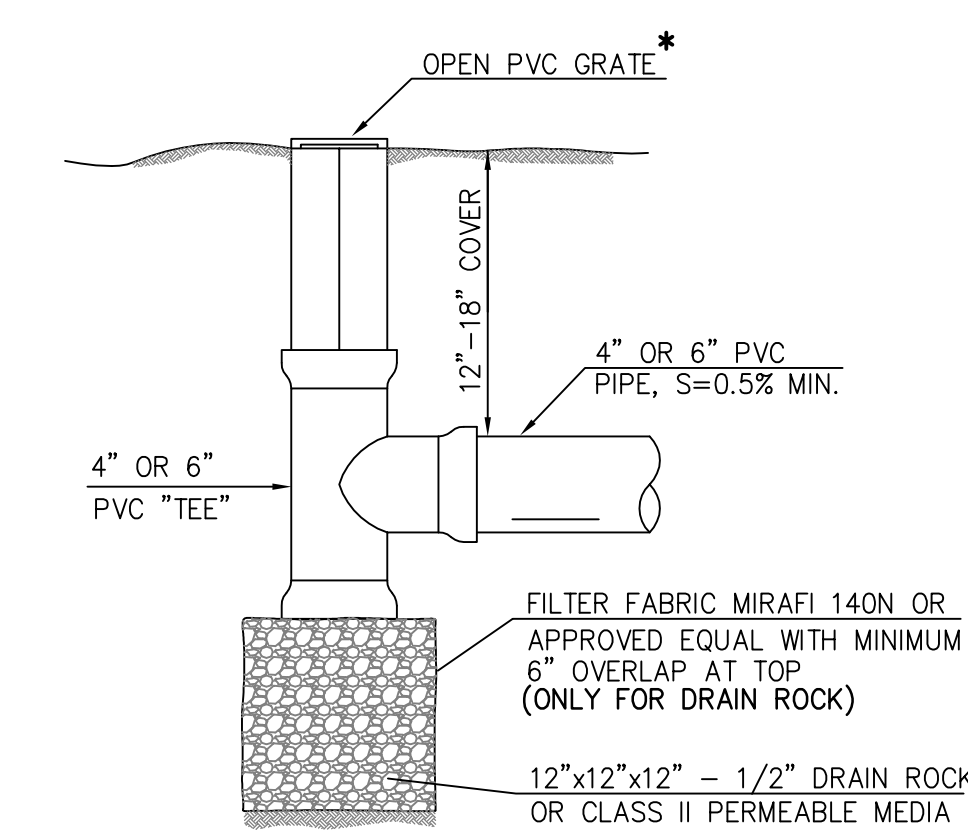
**NOTE 1:**  
TREATMENT AREAS PROVIDED FOR DMA 1 & 6 ARE LESS THAN 4% DUE TO SITE CONSTRAINTS BUT THE PONDING DEPTHS IN BOTH CASES IS LIMITED TO 6" MAX. SEE COMBINED FLOW-VOLUME CALCULATIONS ATTACHED SEPARATELY.

**LEGEND**

- DRAINAGE MANAGEMENT AREA (DMA)
- SELF TREATING AREAS (ALL LANDSCAPED AREAS)
- BIORETENTION PLANTERS (BR #1 - BR #5)  
SEE TYPICAL DETAILS SHEET



**TYPICAL BIORETENTION AT-GRADE PLANTER**  
NOT TO SCALE

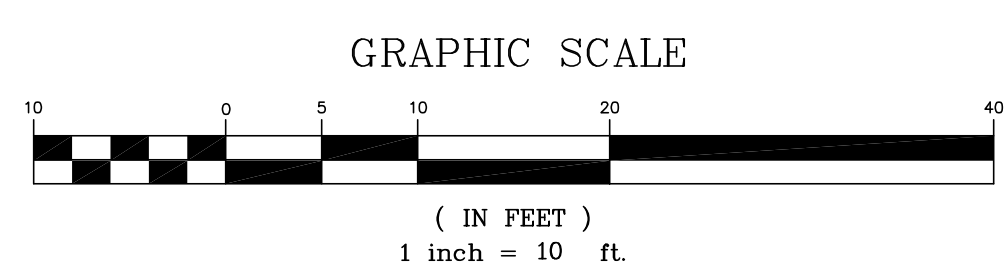


\* USE FLAT TOP GRATES FOR LAWN AREAS AND DOMED OR ATRIUM GRATES WHERE MOWING OR TRIPPING IS NOT OF CONCERN & CAST IRON GRATES IN PARKING AREAS.

**EXHIBIT A p3**

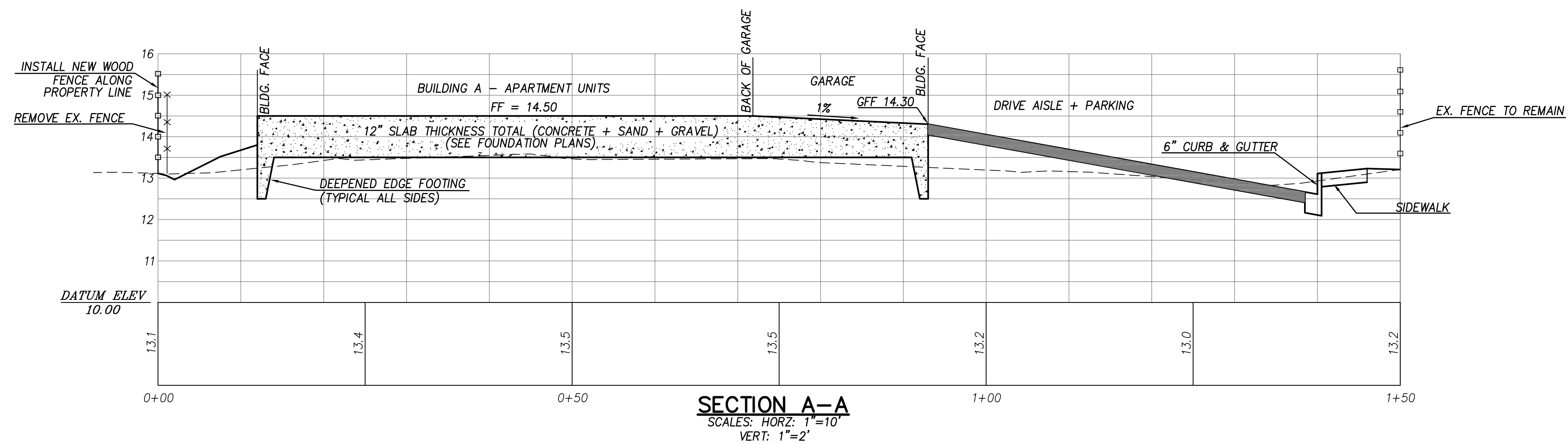
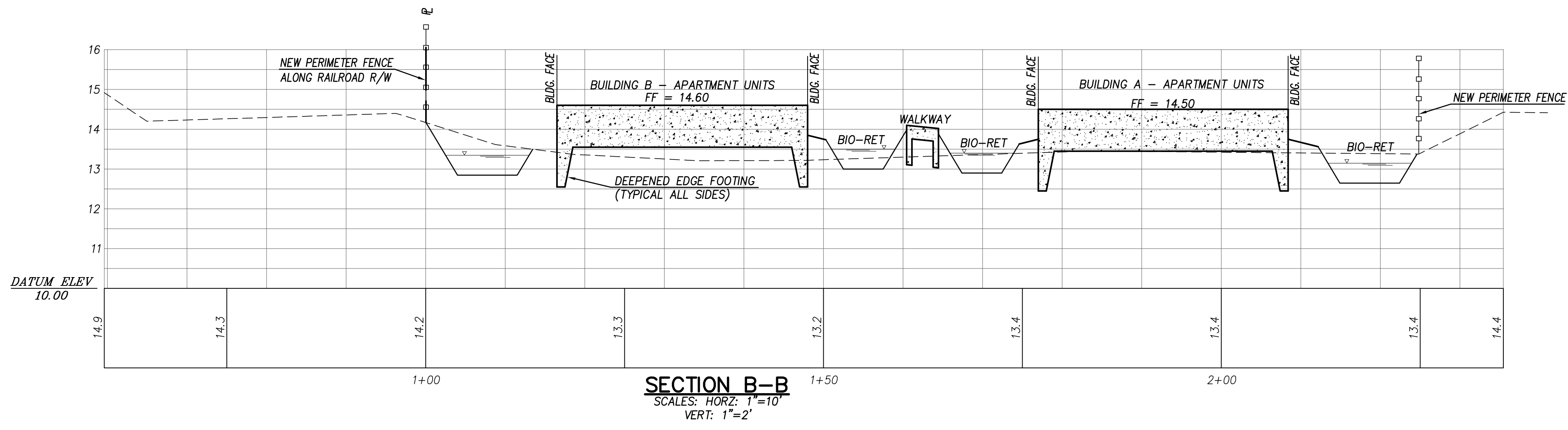
**PRELIMINARY STORMWATER CONTROL PLAN**

SCALE: 1" = 10'

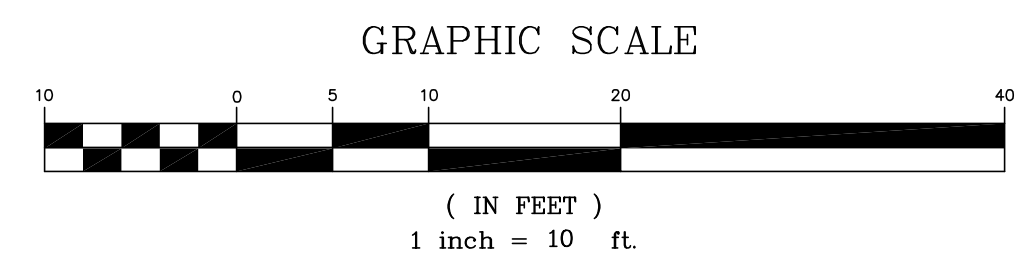


DATE: APRIL 24, 2018	PREPARED BY, OR UNDER THE DIRECTION OF:	PREPARED FOR:	APN: 92-125-010	37093 LOCUST STREET	SHEET NO.
SCALE: AS NOTED		<b>STERLING CONSULTANTS</b> ENGINEERING ■ SURVEYING ■ CONSTRUCTION SUPPORT 11040 BOLLINGER CANYON RD, SUITE E-102 SAN RAMON, CA 94582 1sterlingconsultants@gmail.com PHONE: 925.705.3633 FAX: 866.966.6343	<b>CHERRY PROPERTIES</b> 321 WOODROW AVENUE VALLEJO, CA 94591 (707) 553-9842	<b>PRELIMINARY STORMWATER CONTROL PLAN &amp; DETAILS</b> CITY OF NEWARK ALAMEDA COUNTY CALIFORNIA	<b>C3</b> 3 OF 9 SHEETS JOB NO. 2015-177
DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK	NO.	BY	DATE	REVISIONS	CITY APPR

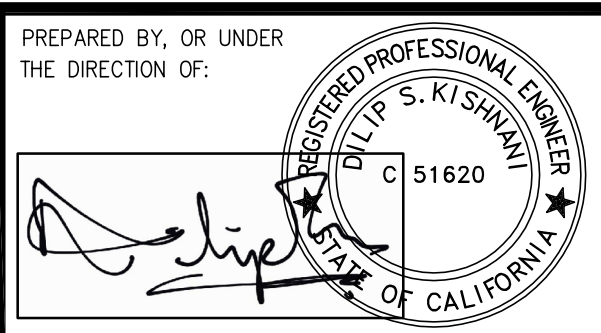




**EXHIBIT A p4**



DATE: APRIL 24, 2018				
SCALE: AS NOTED				
DRAWN: DSK				
DESIGNED: DSK				
ENGINEER: DSK				
MANAGER: DSK				
	NO.	BY	DATE	REVISIONS



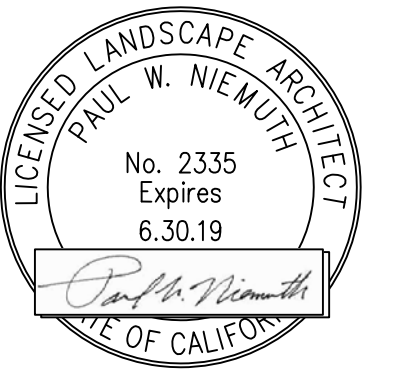
PREPARED BY:  
**STERLING CONSULTANTS**  
 ENGINEERING ■ SURVEYING ■ CONSTRUCTION SUPPORT  
 11040 BOLLINGER CANYON RD, SUITE E-102  
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PREPARED FOR:  
 STANLEY CHERRY  
 321 WOODROW AVENUE  
 VALLEJO, CA 94591  
 (707) 553-9842

APN: 92-125-010  
**CHERRY PROPERTIES**  
**SITE CROSS-SECTIONS**  
 CITY OF NEWARK  
 ALAMEDA COUNTY  
 CALIFORNIA  
 37093 LOCUST STREET

SHEET NO.  
**C4**  
 4 OF 9 SHEETS  
 JOB NO.  
 2015-177





CONSULTANTS

REVISIONS

11.23.2015	1ST SUBMITTAL
11.14.2016	2ND SUBMITTAL
11.20.2017	3RD SUBMITTAL
03.22.2018	4TH SUBMITTAL
04.20.2018	5TH SUBMITTAL

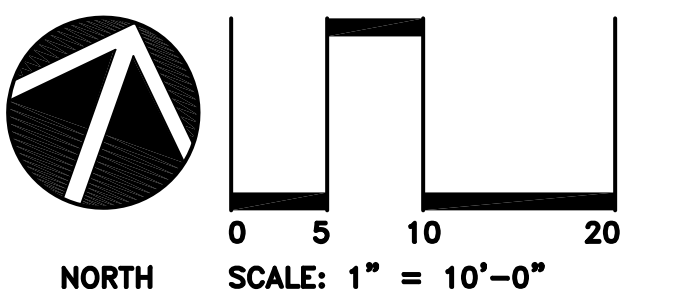
APPROVALS

PROJECT

**Railroad Apartments**

37093 Locust Street  
Newark, California

DRAWN BY:	PN
CHECKED BY:	PN
DATE:	04.20.2018
SCALE:	
JOB NO :	15.005
FILENAME:	



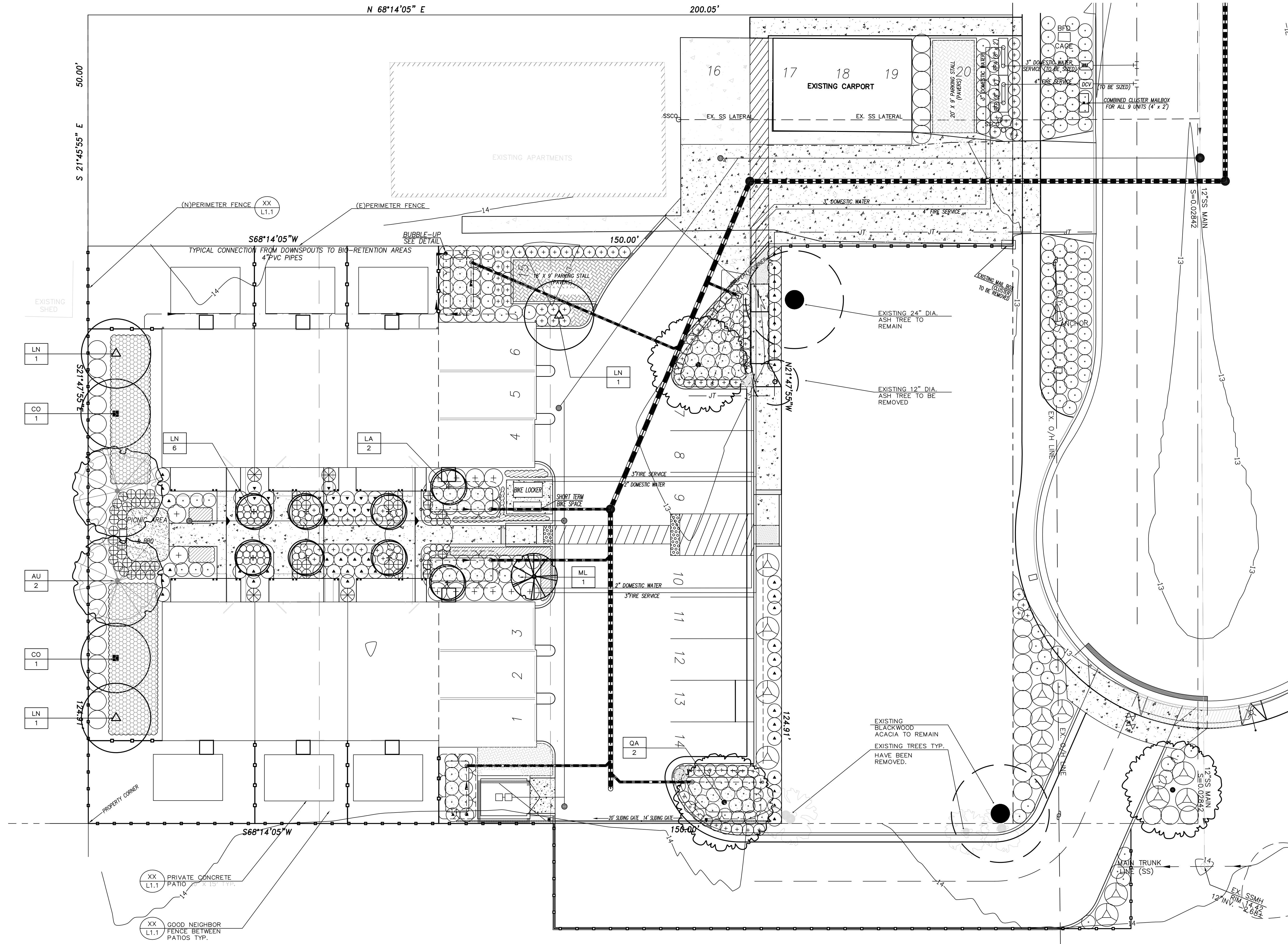
SHEET TITLE

**PRELIMINARY PLANTING PLAN**

SHEET NO

**1.0**

1 OF 2 SHEETS



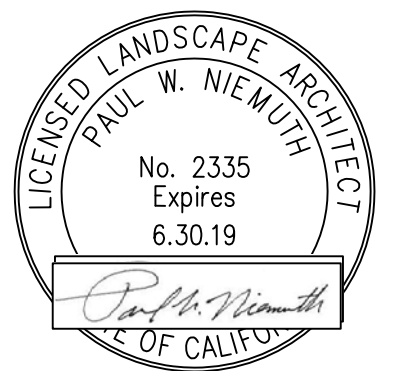
SITE PLAN  
Scale 1" = 10'

TOTAL SITE AREA 16,068 SQUARE FEET  
TOTAL LANDSCAPE AREA 4,031 SQUARE FEET

LANDSCAPED AREA IS 25% OF THE TOTAL SITE AREA

**EXHIBIT** A p5





CONSULTANTS

REVISIONS

11.23.2015	1ST SUBMITTAL
11.14.2016	2ND SUBMITTAL
11.20.2017	3RD SUBMITTAL
03.22.2018	4TH SUBMITTAL
04.20.2018	5TH SUBMITTAL

APPROVALS

PROJECT

**Railroad  
Apartments**

37093 Locust Street  
Newark, California

DRAWN BY:	PN
CHECKED BY:	PN
DATE:	04.20.2018
SCALE:	
JOB NO :	15.005
FILENAME:	

SHEET TITLE

**PLANTING,  
LISTS, NOTES &  
DETAILS**

SHEET NO

**-2.0**

2 OF 2 SHEETS

**PLANTING LIST**

TREES

SYM	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER
AU	ARBUTUS UNEDO	STRAWBERRY TREE - "STANDARD"	24" BOX	AS SHOWN	VERY LOW
CO	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	AS SHOWN	VERY LOW
LA	LAGERSTROEMIA INDICA 'ARAPAH0' - "STANDARD"	'ARAPAH0' CRAPE MYRTLE	24" BOX	AS SHOWN	LOW
LN	LAGERSTROEMIA INDICA 'NATCHEZ' - "STANDARD"	'NATCHEZ' CRAPE MYRTLE	24" BOX	AS SHOWN	LOW
LU	LAURUS NOBILIS 'SARATOGA'	SWEET BAY	24" BOX	AS SHOWN	LOW
ML	MAGNOLIA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	24" BOX	AS SHOWN	LOW
QA	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	AS SHOWN	VERY LOW

SHRUBS

SYM	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER
○	CALLISTEMON C. 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GAL	4'-6" O.C.	LOW
△	COLEONEMA 'SUNSET GOLD'	SUNSET GOLD DIOSMA	5 GAL	5'-0" O.C.	LOW
▲	DIETIES VEGATA	FORTNIGHT LILY	1 GAL	3'-0" O.C.	LOW
+	LOROPETALUM RAZZLEBERRY	FRINGE FLOWER	5 GAL	4'-0" O.C.	LOW
⊗	PODOCARPUS M. 'MAKI'	YEW PINE	5 GAL	3'-0" O.C.	LOW

PERENNIALS/GRASSES

SYM	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER
○	AGAPANTHUS 'PETER PAN'	PETER PAN AGAPANTHUS	1 GAL	18" O.C.	LOW
⊙	AGAPANTHUS 'TINKERBELL'	TINKERBELL AGAPANTHUS	1 GAL	18" O.C.	LOW
+	CAREX DIVULSA	EUROPEAN GREY SEDGE	1 GAL	2'-6" O.C.	LOW
⊕	HEMEROCALLIS HYBRIDS 'DOUBLE YELLOW'	DAYLILY	1 GAL	30" O.C.	LOW
⊙	LOMANDRA 'BREEZE'	DWARF MAT RUSH	1 GAL	3'-0" O.C.	LOW

GROUND COVERS

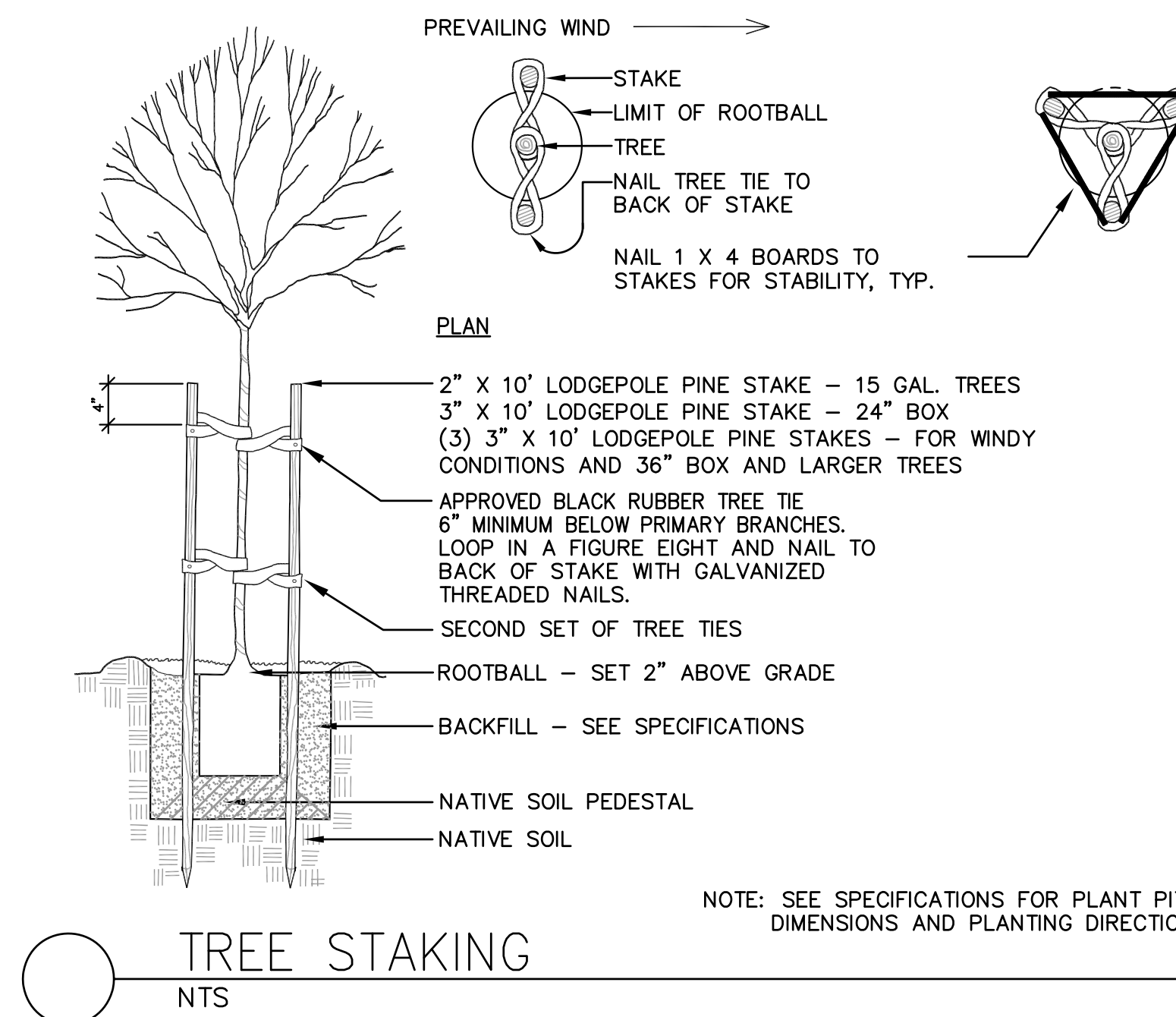
SYM	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER
▨	LANTANA MONTEVIDENSIS 'ALBA'	WHITE LANTANA	1 GAL	3'-0" O.C.	LOW
⊙	MYOPORUM PARVIFOLIUM 'PINK'	MYOPORUM	1 GAL	4'-0" O.C.	LOW
⊙	TEUCRIUM C. 'COMPACTUM'	COMPACT GERMANDER	1 GAL	30" O.C.	LOW

**PLANTING NOTES**

1. STAKE ALL TREES PER DETAIL
2. PLANT TREES 4' MINIMUM FROM FACE OF CURB AT PARKING, AND FROM EDGES OF PAVING.
3. TREE LOCATION AND MASSING TO BE APPROVED IN THE FIELD BY O.R.
4. REFER TO PLANT LIST AND DETAILS FOR PLANT SPACING AND ADDITIONAL INFORMATION.
5. ALL PLANTS IN A GROUPING MUST MATCH IN HEIGHT, CALIPER AND VIGOR TO ENSURE EVEN GROWTH RATES.
6. BRANCHING HEIGHT OF ALL TREES SHALL BE NO LESS THAN 6'-6" ABOVE FINISH GRADE.
7. IRRIGATION MUST BE FULLY OPERATIONAL AND APPROVED PRIOR TO PLANTING.
8. PROTECT EXISTING SURFACES DESIGNATED TO REMAIN. ANY DAMAGE SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE.

**BAY-FRIENDLY LANDSCAPING PRACTICES**

1. ALL SHRUB AREAS SHALL BE MULCHED WITH A 3" LAYER OF APPROVED MULCH.
2. SOIL SHALL BE AMENDED WITH APPROVED COMPOST TO BRING THE SOIL ORGANIC MATTER CONTENT TO A MINIMUM OF 3.5% BY DRY WEIGHT OR A MINIMUM OF 1" OF COMPOST.
3. PLANTS HAVE BEEN SELECTED AND LOCATED TO AVOID SHEARING.
4. NO INVASIVE PLANTS AS LISTED BY CAS-IPC ARE INCLUDED IN THE PLANTING DESIGN.
5. ALL PLANTS SELECTED ARE RATED LOW OR VERY LOW PER WUCOLS.
6. TURF IS NOT USED ON THIS PROJECT.
7. IRRIGATION CONTROLLER SHALL BE A STATE OF THE ART AUTOMATIC SMART CONTROLLER.
8. NO SPRAY IRRIGATION WILL BE INSTALLED AS PART OF THIS DESIGN. ALL IRRIGATION SHALL BE HIGH EFFICIENCY DRIP OR BUBBLERS.



NOTE: SEE SPECIFICATIONS FOR PLANT PIT DIMENSIONS AND PLANTING DIRECTIONS.

**TREE STAKING**  
NTS

01\_TreeStaking

**EXHIBIT** A p6





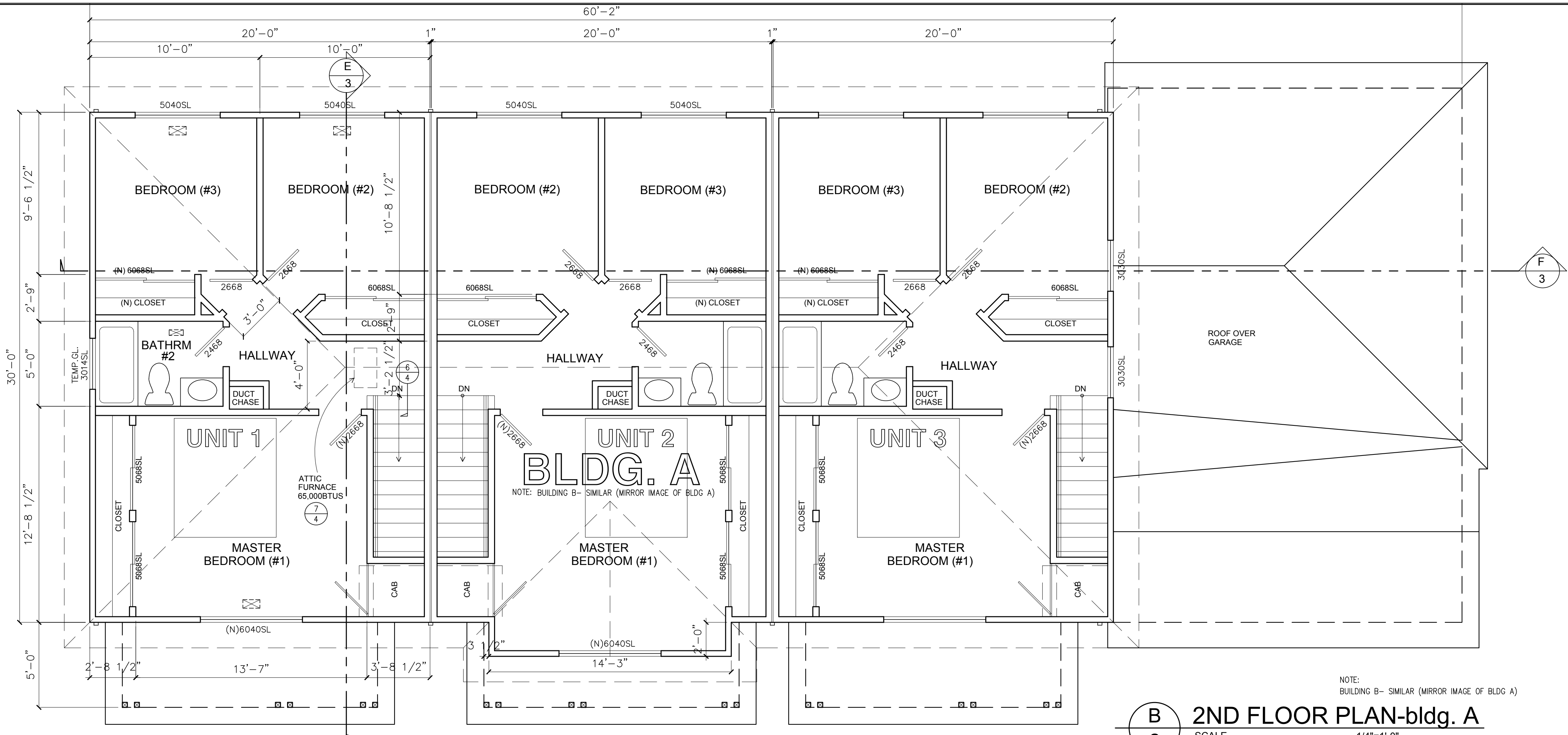


**SHEET NOTES**

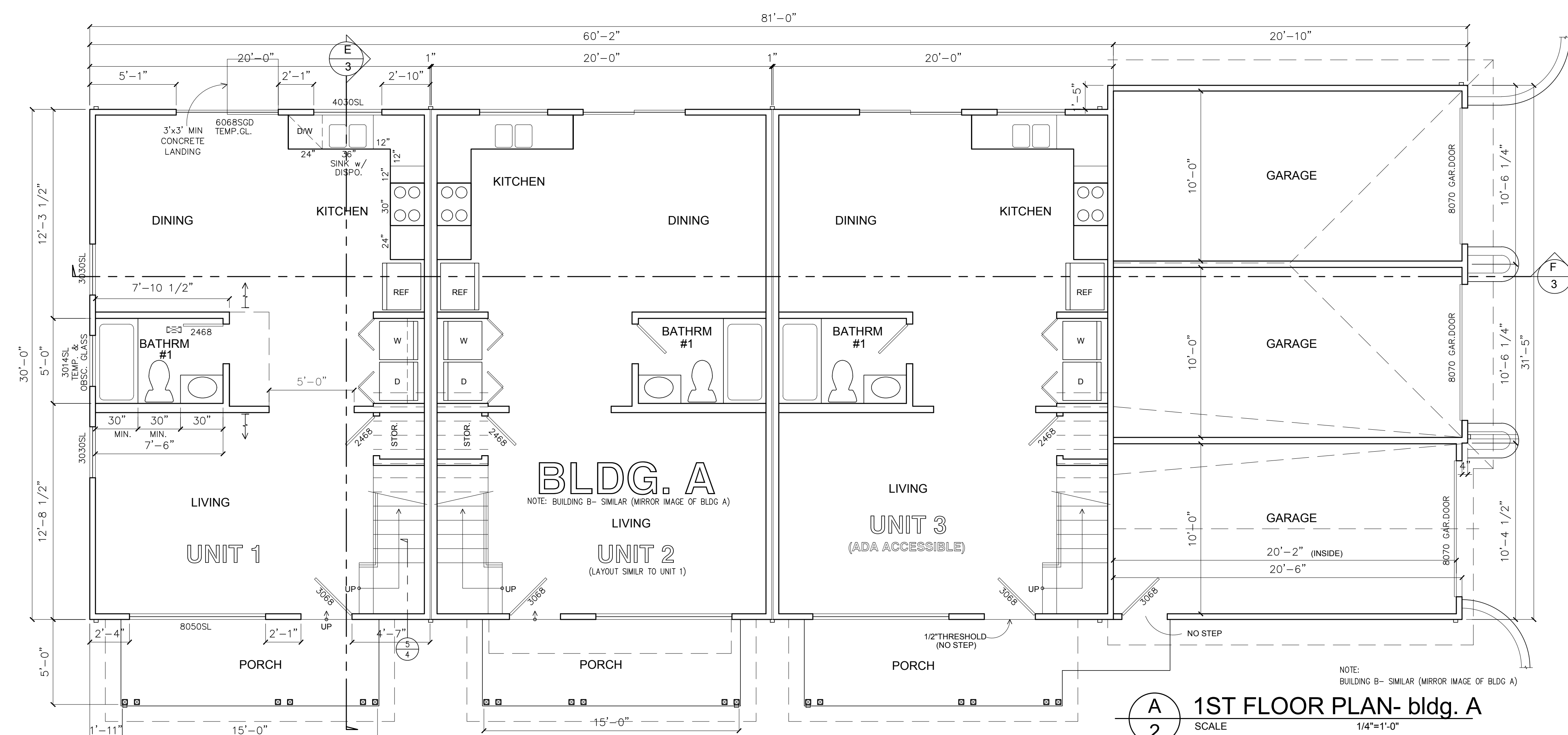
- SEE GENERAL NOTES ON SHEET 3.
- ALL SLEEPING ROOMS SHALL HAVE AT LEAST ONE WINDOW PROVIDING A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. WITH A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR. WINDOW SILLS LOCATED MORE THAN 6 FEET ABOVE GRADE ARE REQUIRED TO HAVE A SILL 24 INCHES ABOVE THE FLOOR LEVEL INSIDE OR A WINDOW GUARD MUST BE PROVIDED.
- ALL WINDOWS SHALL BE DOUBLE GLAZED WITH A MINIMUM U - VALUE OF .30. (THE LOWER VALUE-THE BETTER, SEE 1-24)
- PROVIDE INSULATION:
  - WALLS (2x4STUDS) R - 13
  - ATTIC R - 30
- BASIC BATHROOM CODE REQUIREMENTS**
  - ALL ELECTRICAL RECEPTACLES SHALL BE GFCI PROTECTED
  - PERMANENTLY INSTALLED LIGHT FIXTURES IN BATHROOMS SHALL BE HIGH-EFFICACY (FLUORESCENT/LED). LOW-EFFICACY LUMINAIRES ARE ALLOWED IF THEY ARE CONTROLLED BY A MANUAL-ON OCCUPANCY SENSOR. OCCUPANT SENSOR MUST BE MANUAL ON/OFF AND AUTOMATIC OFF. THE MAXIMUM TIME DELAY TO TURN OFF IS 30 MINUTES AFTER THE LAST DETECTED MOTION. SENSORS CANNOT HAVE AN OVERRIDE ALLOWING THE LIGHT FIXTURE TO BE CONTINUOUSLY ON. (WHEN NEW LIGHTING IS INSTALLED)
  - TOILET FIXTURE CLEARANCE SHALL BE A MINIMUM OF 24" IN FRONT OF TOILET AND 15" FROM CENTERLINE OF TOILET. IF EXISTING CONDITIONS CAN NOT COMPLY, CONTACT THE BUILDING INSPECTION DIVISION.
  - SKYLIGHTS - OPERABLE SKYLIGHTS NEED TO BE 10' FROM PLUMBING VENTS OR 3' BELOW THE VENT TERMINATION. SKYLIGHT INSTALLATION MUST PROVIDE A ROOF FRAMING DETAIL AND THE ICC LISTING NUMBER FOR THE SKYLIGHT.
  - SHOWER COMPARTMENT MUST HAVE A FINISHED INTERIOR AREA OF NOT LESS THAN 1,024 SQUARE INCHES WHICH SHALL FACILITATE THE MINIMUM DIAMETER OF A 30" CIRCLE.
  - SHOWER COMPARTMENTS AND AREAS ABOVE BATHTUBS SHALL BE FINISHED WITH NON-ABSORBENT SURFACE, A MINIMUM OF 6 FEET (72 INCHES) ABOVE THE FLOOR.
  - PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES ARE REQUIRED FOR SHOWER AND TUB-SHOWER COMBINATION PLUMBING INSTALLATIONS. ADDITIONALLY, FOR BATHTUBS AND WHIRLPOOL BATHTUBS, THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE FILLER SPOUT SHALL BE LIMITED TO 120°F. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION.
  - SAFETY GLAZING IS REQUIRED ON WINDOWS WITHIN TUB OR SHOWER AREA WHEN THE BOTTOM EXPOSED EDGE OF GLAZING IS LESS THAN 60" INCHES ABOVE A STANDING OR WALKING SURFACE.
  - EXHAUST FAN IS REQUIRED FOR PURPOSE OF HUMIDITY CONTROL PER CRC SECTION R303.3.1, CMC CHAPTER 4 AND CCB CHAPTER 4, DIVISION 4.5.
- BASIC KITCHEN CODE REQUIREMENTS**
  - TWO (2) 20 AMP DEDICATED CIRCUITS FOR COUNTER RECEPTACLES.
  - WALL COUNTERTOP SPACE 12" OR MORE IN WIDTH SHALL HAVE AN ELECTRICAL RECEPTACLE. WALL COUNTERTOP RECEPTACLES SHALL BE INSTALLED NO MORE THAN 4 FEET ON CENTER, AND THERE SHALL NOT BE MORE THAN 24" TO A COUNTER RECEPTACLE FROM ANY POINT ON THE COUNTER. NO EQUIPMENT (SUCH AS DISHWASHERS, GARBAGE DISPOSALS, OR EXHAUST FANS SHALL BE CONNECTED TO THE TWO 20 AMP COUNTER CIRCUITS.
  - ALL COUNTER RECEPTACLES MUST BE GFCI PROTECTED.
  - ISLANDS OR PENINSULA COUNTERTOP SPACES WITH A LONG DIMENSION OF 24" OR GREATER AND A SHORT DIMENSION OF 12" OR GREATER MUST HAVE AT LEAST ONE ELECTRICAL OUTLET. IF AN ISLAND HAS A SINK AND/OR COUNTERTOP RANGE A SECOND RECEPTACLE MAY BE REQUIRED.
  - DISHWASHER AND DISPOSAL REQUIRE SEPARATE DEDICATED CIRCUITS.
  - THE RESIDENTIAL KITCHEN LIGHTING SHALL BE HIGH EFFICACY TYPE (FLUORESCENT/LED) LUMINAIRES.
  - ELECTRIC OVEN AND RANGE REQUIRE SEPARATE CIRCUITS.
  - GARAGE TO KITCHEN OPENINGS - DOOR TO GARAGE REQUIRED TO BE A MINIMUM OF 1 3/8" SOLID CORE, OR 20 MINUTE FIRE RATED SELF-CLOSING/SELF-LATCHING DOOR. GARAGE SIDE OF WALL MUST HAVE A MINIMUM COVERING OF 1/2" SHEETROCK.
  - SKYLIGHTS - OPERABLE SKYLIGHTS MUST BE 10 FEET FROM PLUMBING VENTS OR THREE FEET BELOW THE VENT TERMINATION. SKYLIGHTS INSTALLATION MUST PROVIDE A ROOF FRAMING DETAILS AND THE ICC LISTING NUMBER FOR THE SKYLIGHT.
- IF ERRORS, INCONSISTENCIES OR OMISSIONS ARE DISCOVERED, PROMPTLY NOTIFY DESIGNER BEFORE PROCEEDING WITH WORK.
- ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE-PHASE, 15 AND 20-AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
- RESIDENTIAL LIGHTING:** USE LED LIGHT FIXTURES- TYP.
- SMOKE DETECTORS SHALL BE INSTALLED IN ALL (E) BEDROOMS, AT AREA NEAR BEDROOM ENTRANCE, AND AT LEAST ONE IN EACH STORY PER CRC314.6  
CARBON MONOXIDE ALARMS SHALL BE PROVIDED AT AREA NEAR EXISTING BEDROOMS AND AT LEAST ONE IN EACH STORY PER CRC315.2.
- PROVIDE 22"x 30" ATTIC ACCESS WITH 30" MINIMUM HEADROOM & WEATHERSTRIPPED, SEE PLAN FOR LOCATION.
- GARAGE TO LIVING SPACE - 5/8" TYPE X - SHEETROCK ON GARAGE SIDE - DOOR TO GARAGE REQUIRED TO BE A MINIMUM 1-3/4" SOLID CORE, SELF-CLOSING/SELF-LATCHING DOOR.
- DO NOT SCALE THE PLANS. ANY UNCLEAR, MISPRINT DIMENSIONS OR DISCREPANCIES ON PLANS SHALL BROUGHT TO THE ATTENTION OF THE PROJECT DESIGNER/ENGINEER FOR REVIEW AND CLARIFICATION.
- TRUSS NOTE:**
  - CONTRACTOR TO INFORM TRUSS MANUFACTURER TO FIELD VERIFY ACTUAL DIMENSION AND PITCH OF THE ROOF TO MATCH EXISTING.
  - THE TRUSS MANUFACTURER SHALL PROVIDE CALCULATIONS AND DESIGNS FOR CITY REVIEW & APPROVAL PRIOR TO FABRICATION AND INSTALLATION.

**ELECT'L / MECH'L LEGEND**

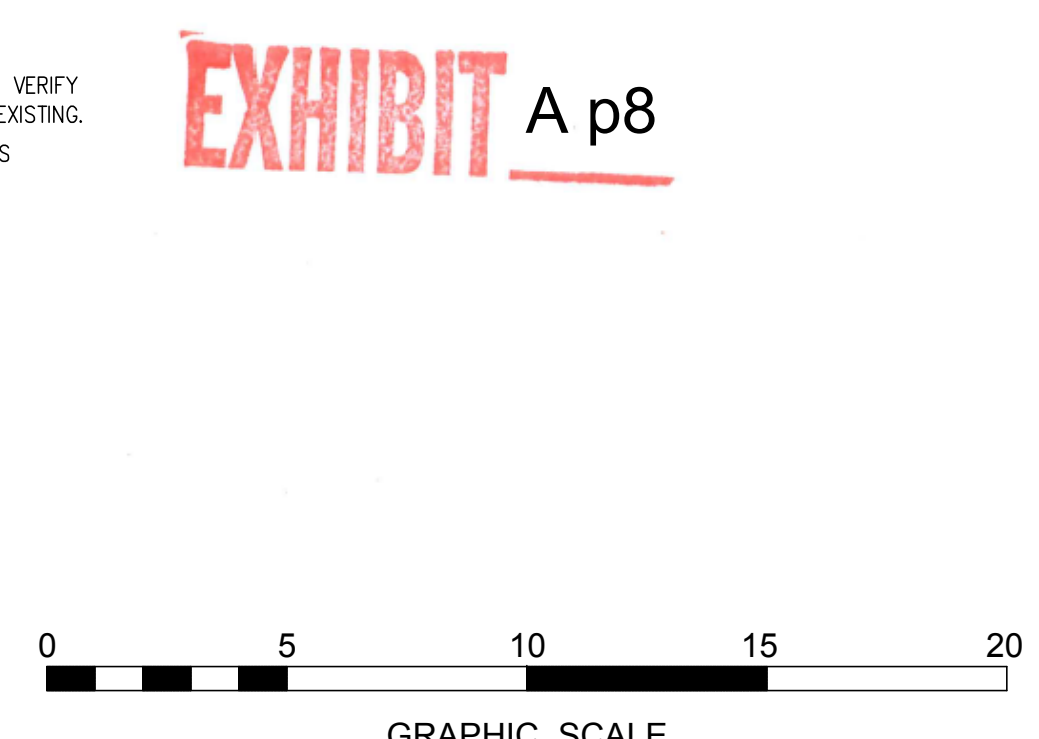
- DUPLEX RECEPTACLE OUTLET
- WEATHERPROOF DUPLEX RECEPTACLE OUTLET
- DUPLEX RECEPTACLE OUTLET w/ GROUND FAULT INTERRUPTER
- DUPLEX RECEPTACLE OUTLET w/ ARC FAULT CIRCUIT INTERRUPTER
- RECEPTACLE OUTLET - 220V
- DUPLEX RECEPTACLE OUTLET - SPLIT WIRE
- SINGLE POLE SWITCH
- THREE-WAY SWITCH
- CEILING MOUNTED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- WEATHERPROOF LIGHT FIXTURE
- EXHAUST FAN
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- HOSE BIBB
- GAS RISER
- SET BACK THERMOSTAT
- FLOOR SUPPLY AIR REGISTER
- CEILING SUPPLY AIR REGISTER
- WALL SUPPLY AIR REGISTER
- WALL RETURN AIR GRILLE
- CEILING RETURN AIR GRILLE
- CEILING FAN w/ LIGHT



**B 2ND FLOOR PLAN-bldg. A**  
SCALE 1/4"=1'-0"



**A 1ST FLOOR PLAN-bldg. A**  
SCALE 1/4"=1'-0"



REVISIONS	BY

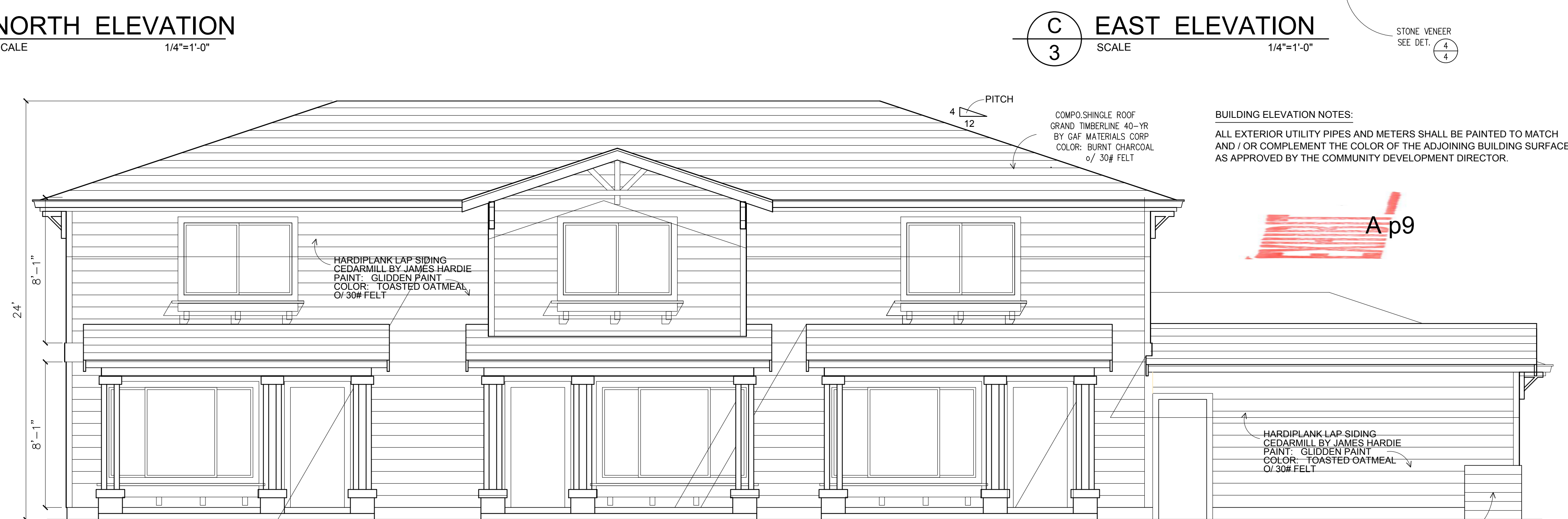
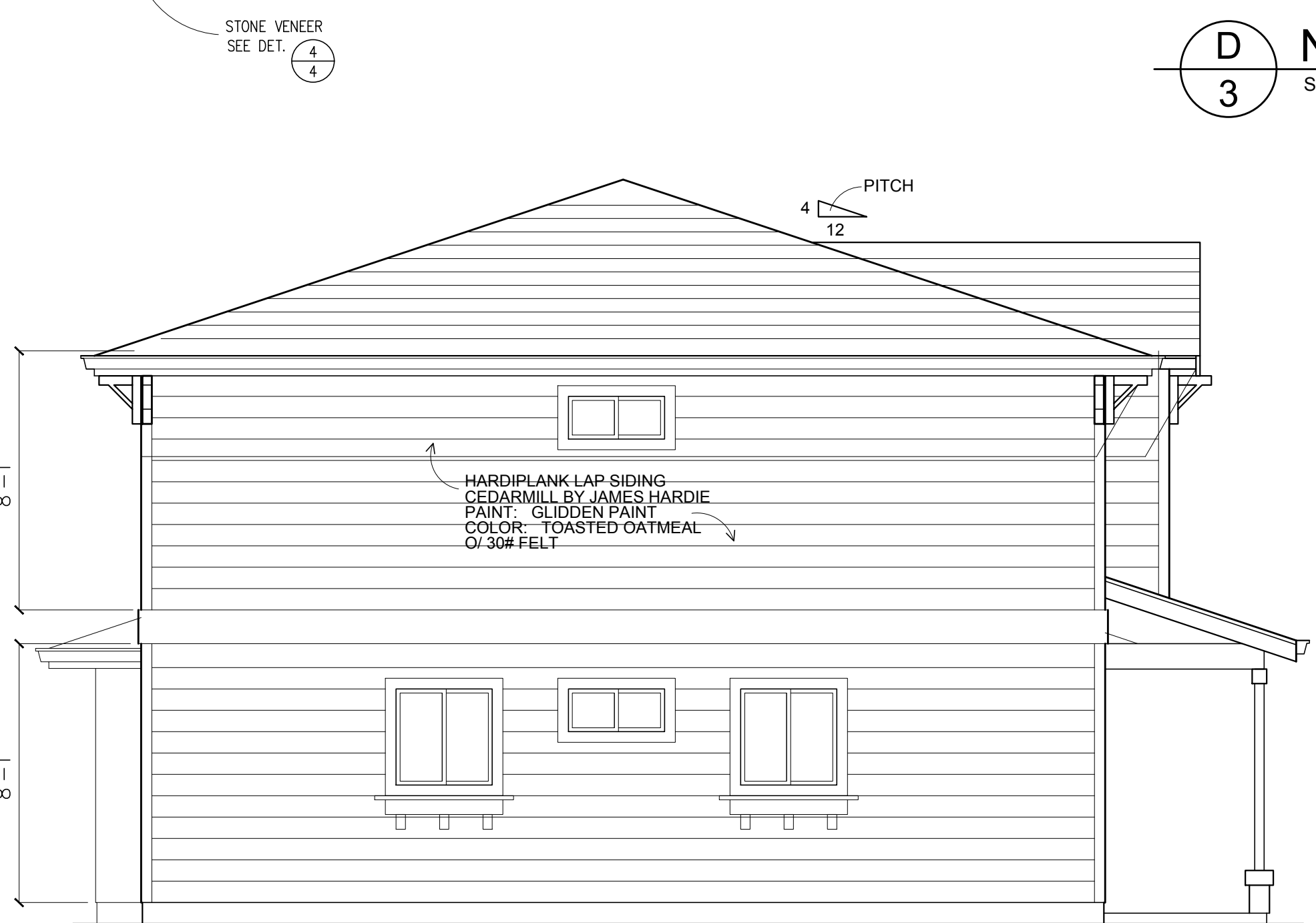
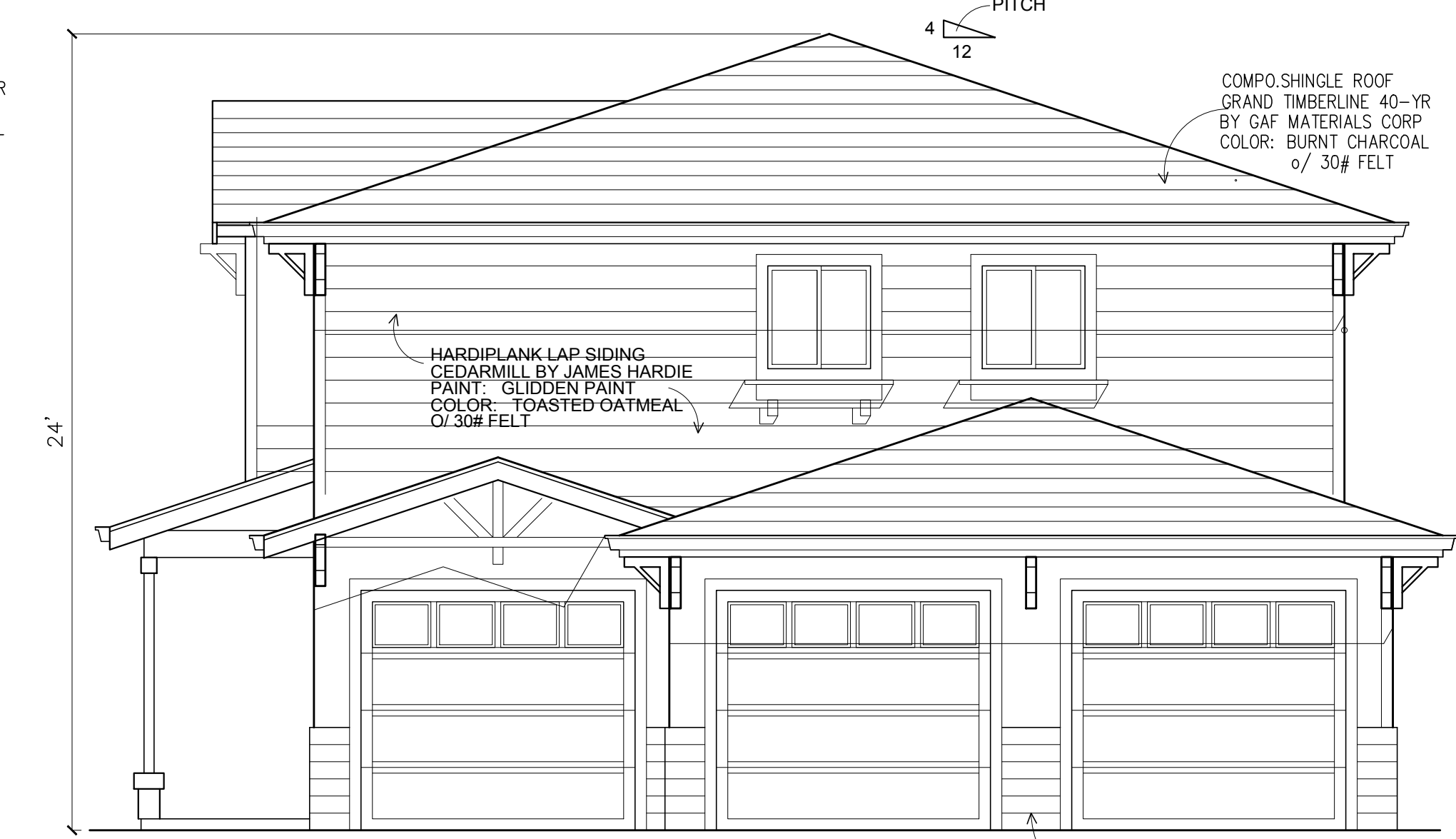
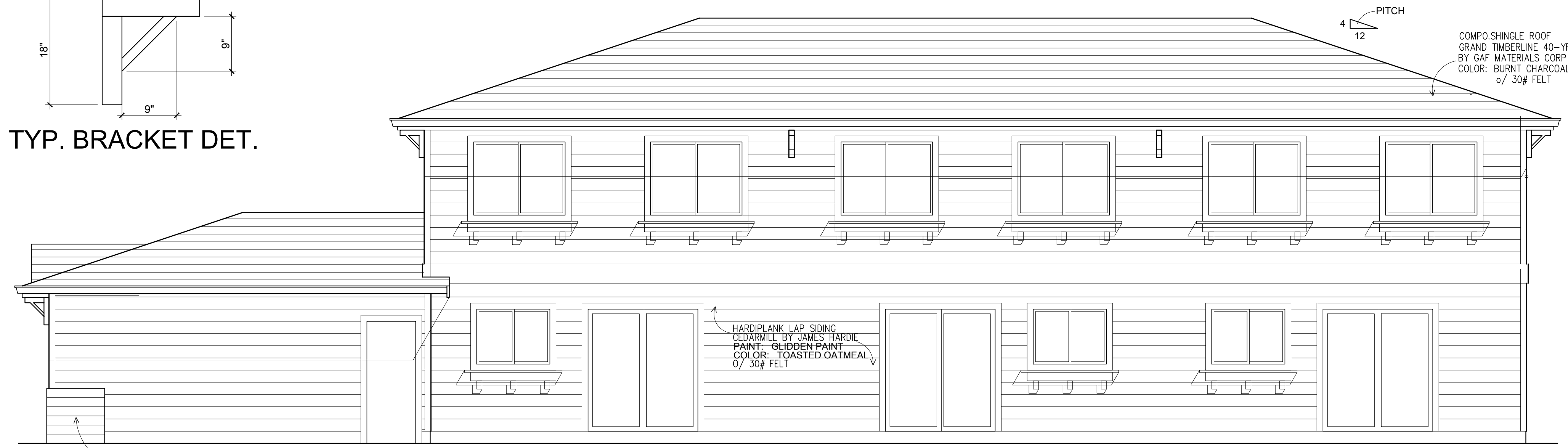
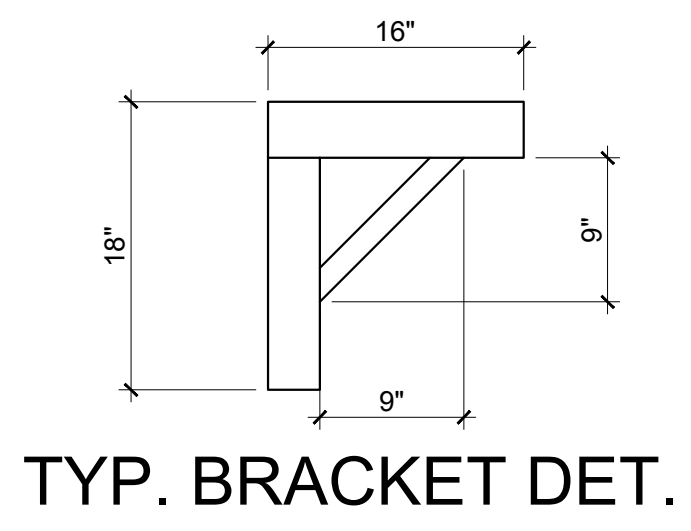
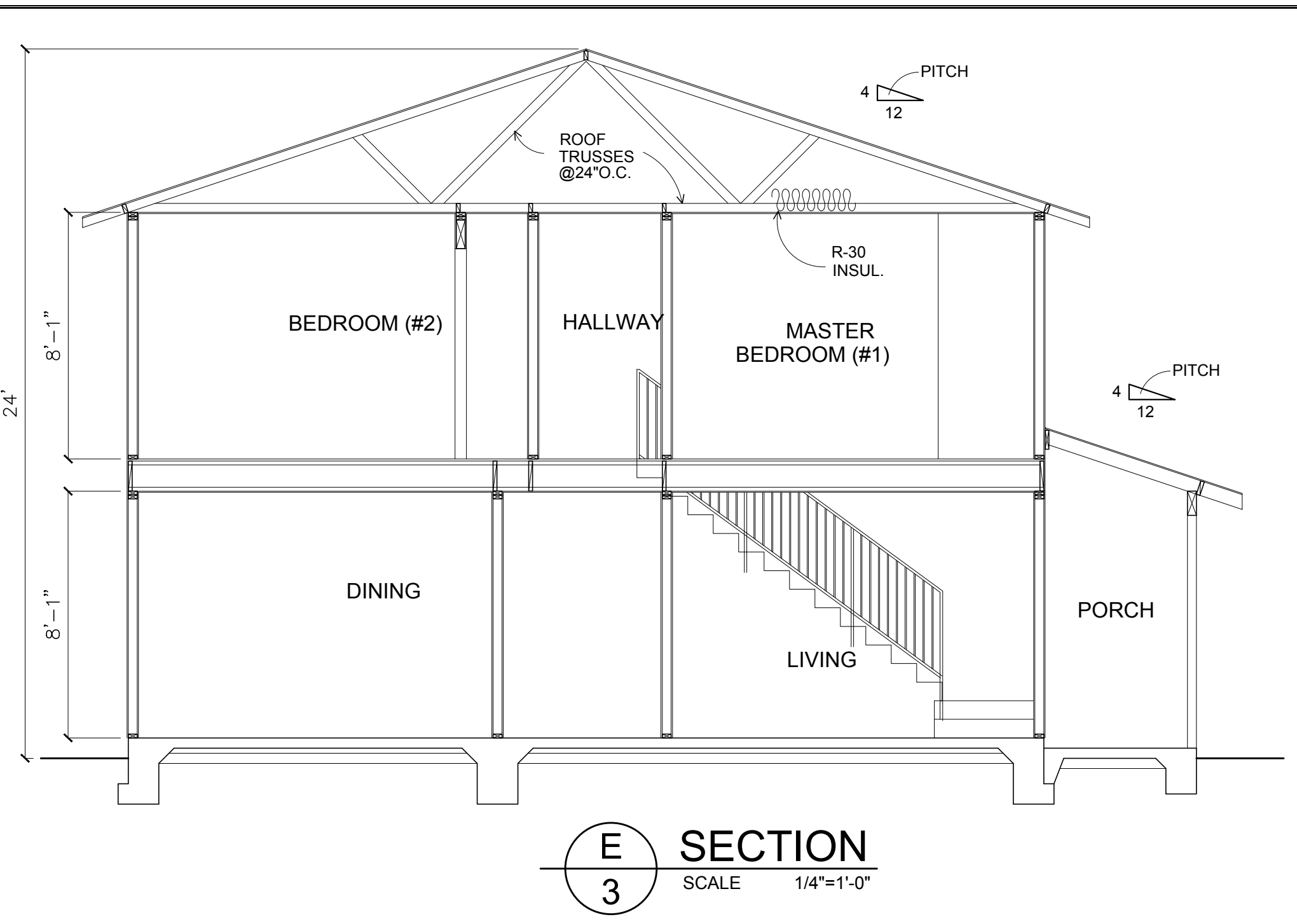
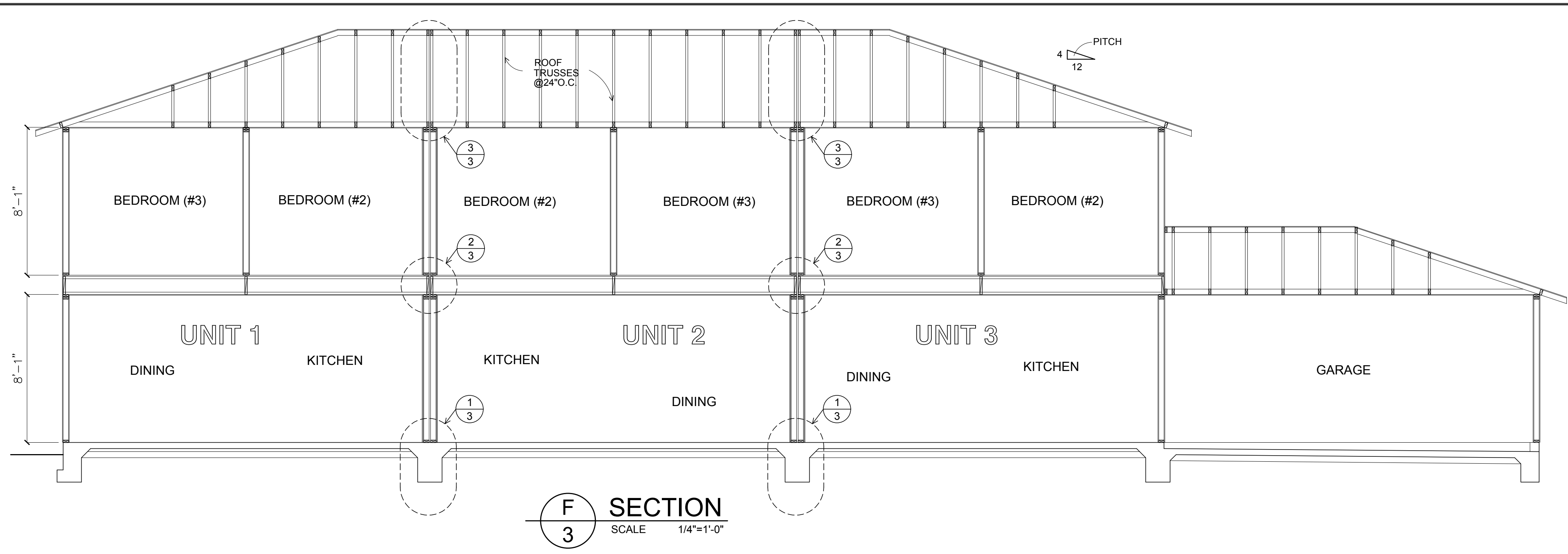
ENGINEERING & DESIGN:  
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CONTRACTOR:  
**6-UNIT APARTMENT FOR: CHERRY PROPERTIES**  
 CONTACT PERSON: STANLEY CHERRY (707) 333-3240  
 JOB ADDRESS: 37093 LOCUST STREET, NEWARK, CA

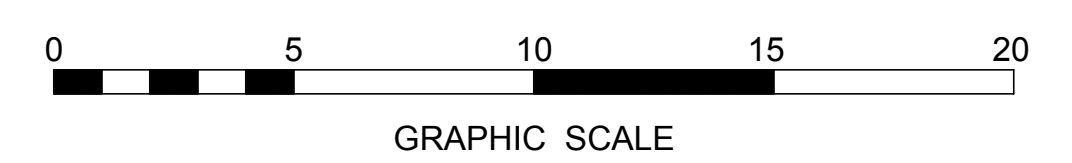
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OF SHEETS	2



REVISIONS	BY



**BUILDING ELEVATION NOTES:**  
ALL EXTERIOR UTILITY PIPES AND METERS SHALL BE PAINTED TO MATCH AND / OR COMPLEMENT THE COLOR OF THE ADJOINING BUILDING SURFACE, AS APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR.



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CONTRACTOR:

PROJECT: **6-UNIT APARTMENT FOR: CHERRY PROPERTIES**  
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DATE: 4-20-18  
SCALE: AS SHOWN  
DRAWN BY: PHIL  
JOB: 14-48  
SHEET NO.: **3**  
OF SHEETS



REVISIONS	BY

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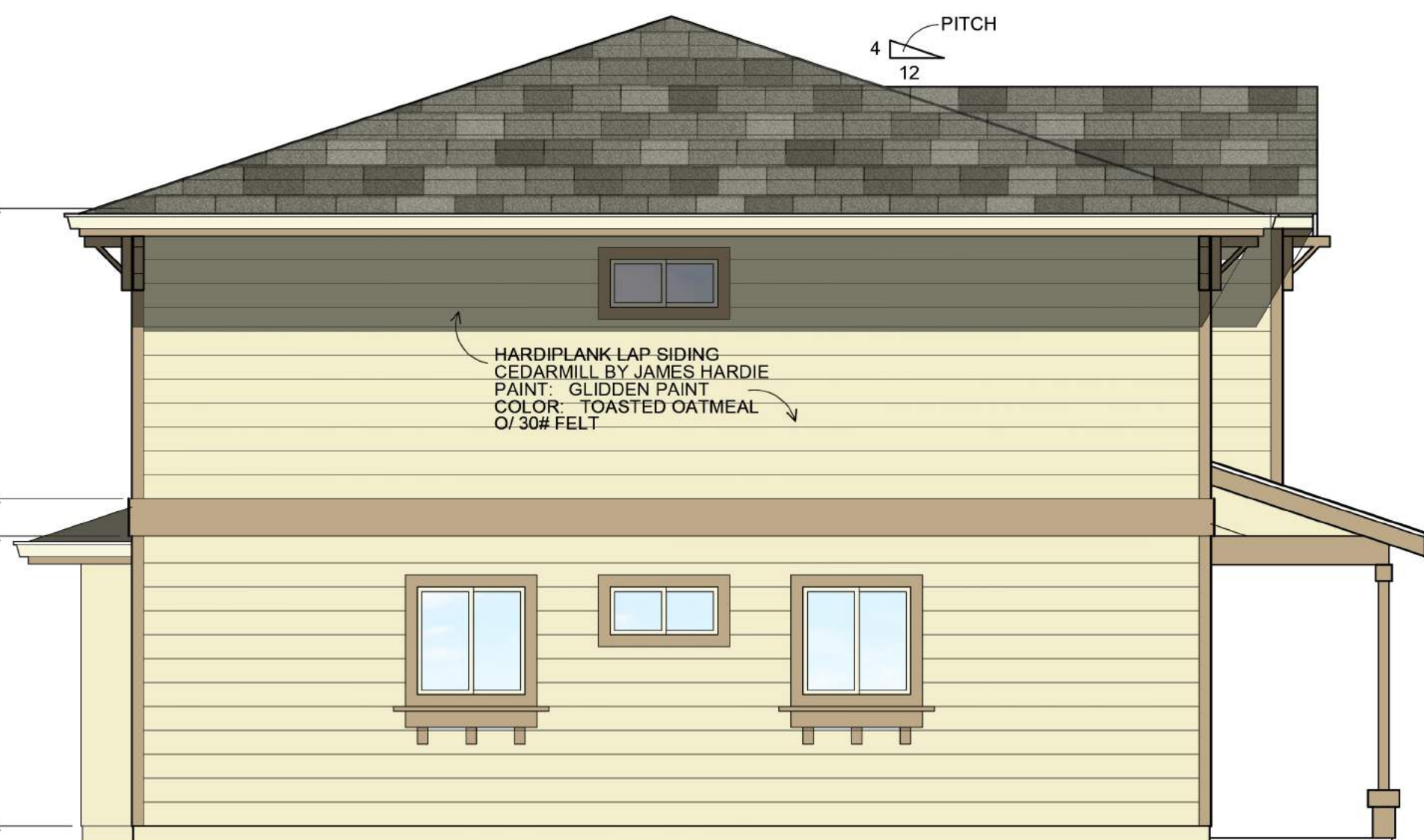
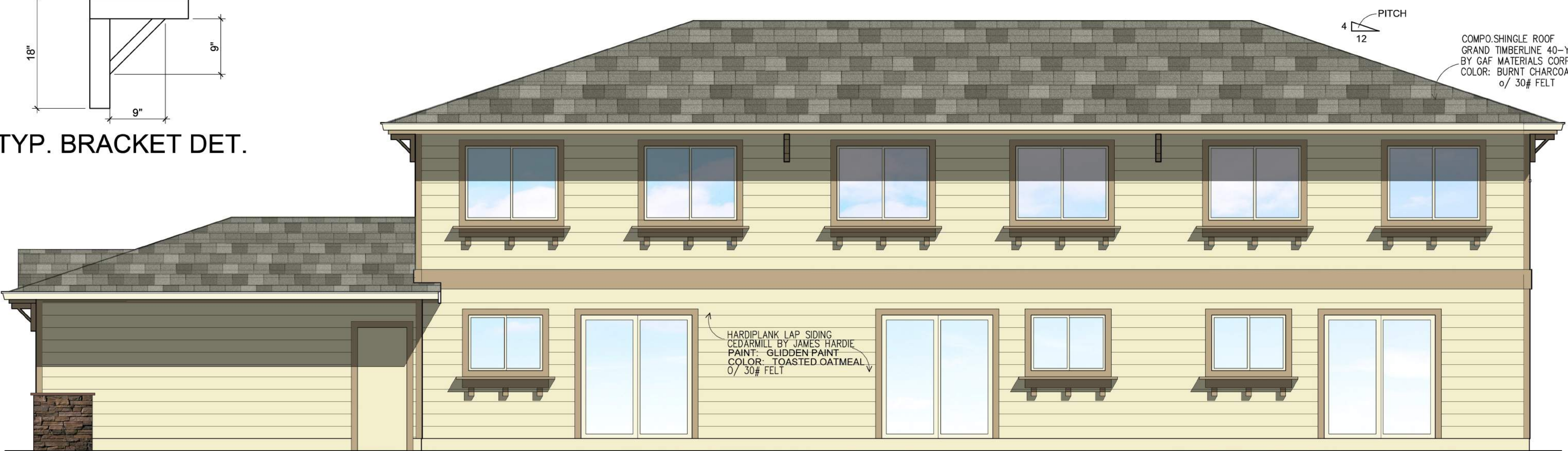
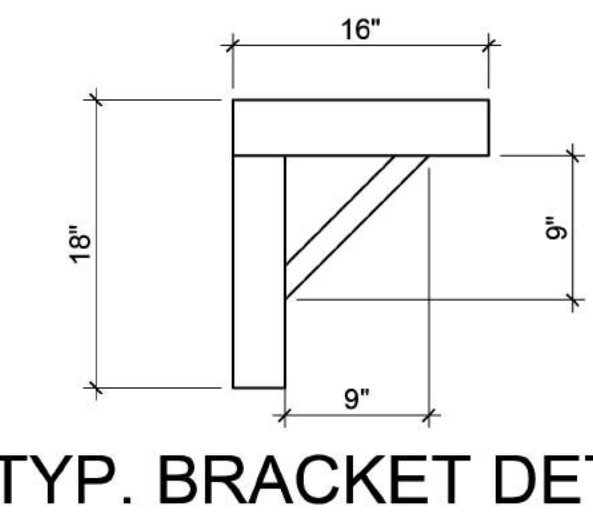
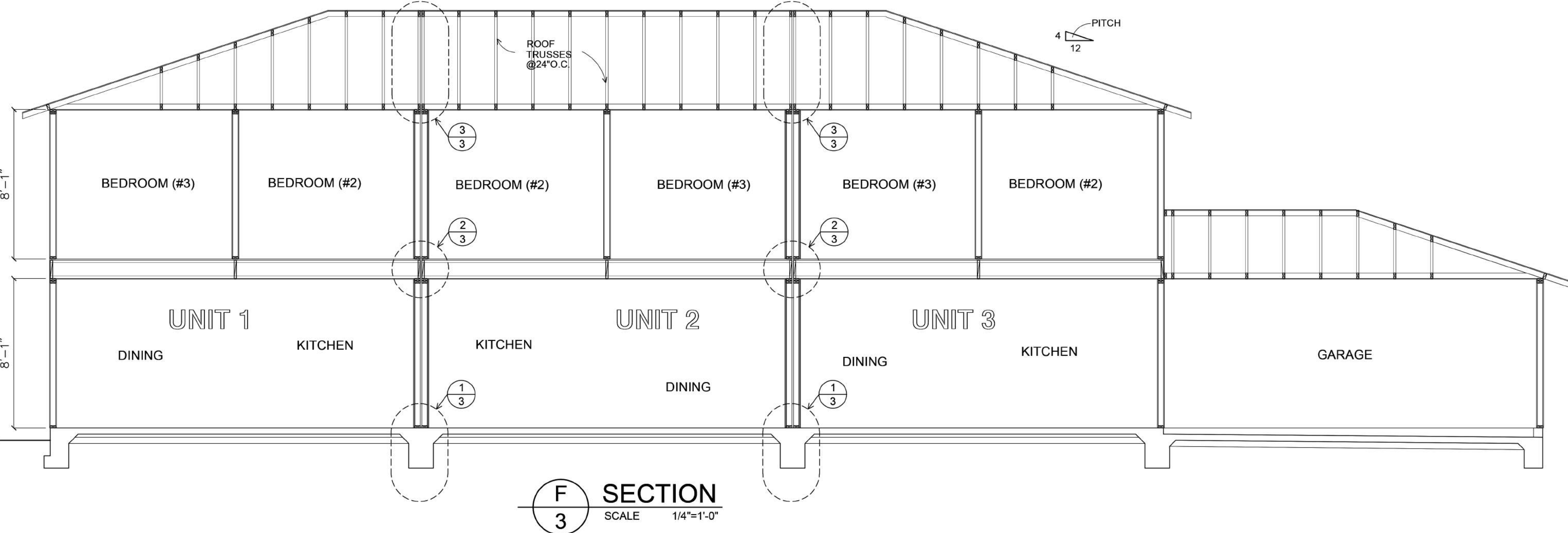
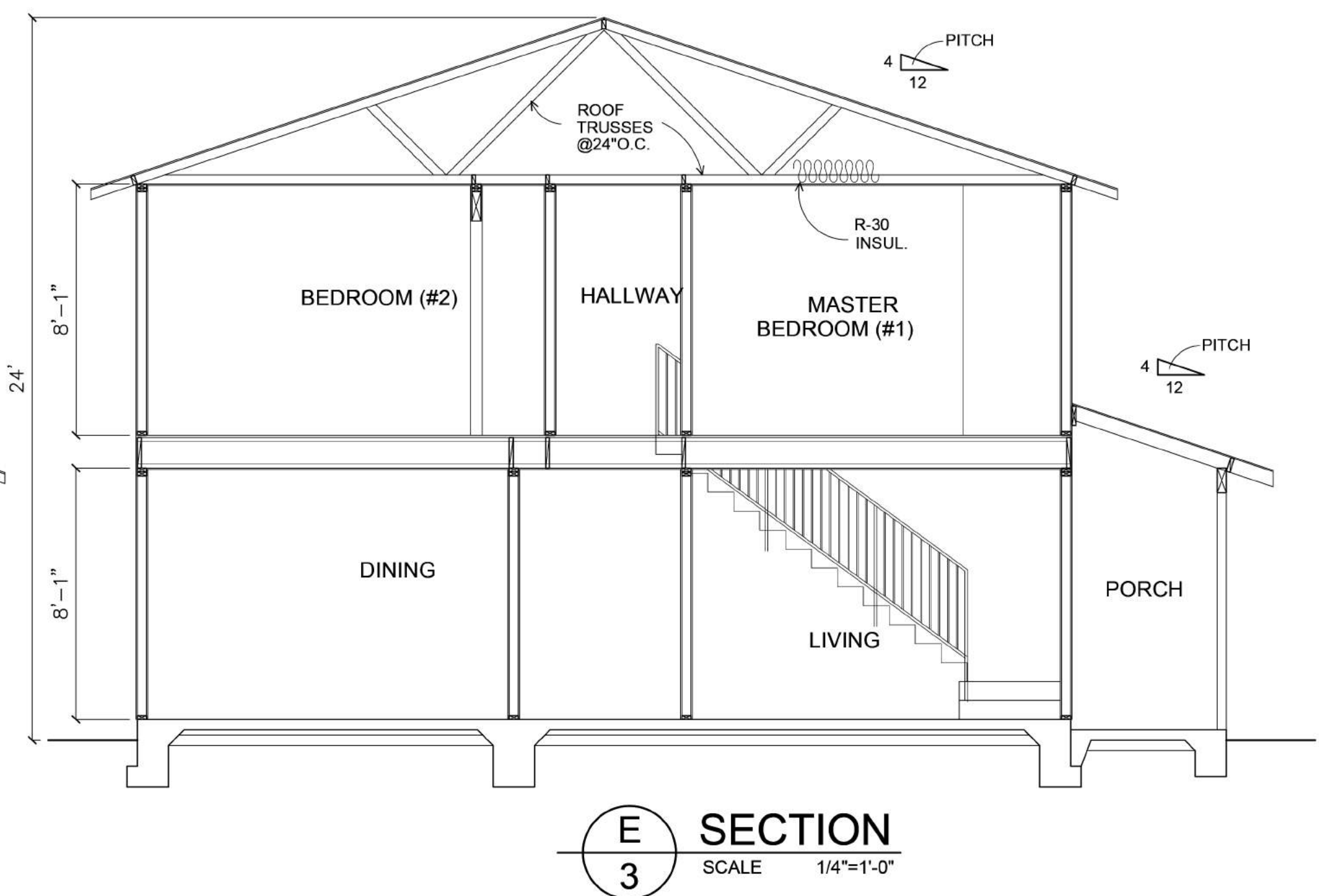
CONTRACTOR:	
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PROJECT:	6-UNIT APARTMENT FOR: CHERRY PROPERTIES
CONTACT PERSON:	STANLEY CHERRY (707) 333-3240
JOB ADDRESS:	37093 LOCUST STREET, NEWARK, CA

DATE:	11-27-17
SCALE:	AS SHOWN
DRAWN BY:	PHIL
JOB:	14-48
SHEET NO.:	3
	OF SHEETS



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**EXHIBIT A p10**

