



CITY OF NEWARK PLANNING COMMISSION

37101 Newark Boulevard, Newark, California 94560-3796 ☐ 510/578-4330 ☐ FAX 510/578-4265

City Administration Building
7:30 p.m.
City Council Chambers

AGENDA Tuesday, February 13, 2018

A. ROLL CALL

B. MINUTES

B.1 Approval of Minutes of the regular Planning Commission meeting of Tuesday, January 23, 2018. (MOTION)

C. WRITTEN COMMUNICATIONS

D. ORAL COMMUNICATIONS (Anyone wishing to address the Commission on any planning item not on the Agenda may take the podium and state his/her name and address clearly for the recorder.)

E. PUBLIC HEARINGS

F. STAFF REPORTS

F.1 JS-18-1, a Joint Staff Committee Review, to construct a duplex at 37136 Magnolia Street (APN: 92-61-15) – from Associate Planner Mangalam. (REVIEW OPTIONAL)

G. COMMISSION MATTERS

G.1 Report on City Council actions.

H. ADJOURNMENT

Pursuant to Government Code 54957.5: Supplemental materials distributed less than 72 hours before this meeting, to a majority of the Planning Commission, will be made available for public inspection at this meeting and at the Planning Division Counter located at 37101 Newark Boulevard, 1st Floor, during normal business hours. Materials prepared by City staff and distributed during the meeting are available for public inspection at the meeting or after the meeting if prepared by some other person. Documents related to closed session items or are exempt from disclosure will not be made available for public inspection.

CITY OF NEWARK PLANNING COMMISSION

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City Administration Building
7:30 p.m.
City Council Chambers

MINUTES

Tuesday, January 23, 2018

A. ROLL CALL

At 7:30 p.m., Chairperson Fitts called the meeting to order. All Planning Commissioners were present.

B. MINUTES

B.1 Approval of Minutes of the regular Planning Commission meeting of Tuesday, December 12, 2017.

Vice-Chairperson Aguilar moved, Commissioner Bridges seconded, to approve the Minutes of December 12, 2017. The motion passed 4 AYES, 1 ABSTENSION (Otterstetter).

C. WRITTEN COMMUNICATIONS

None.

D. ORAL COMMUNICATIONS

None.

E. PUBLIC HEARINGS

E.1 A conditional use permit, U-17-12, to allow for two temporary special outdoor events, The Bay Area Night Market, to be held at 300 Newpark Mall Road (APN: 901-0111-022-00).

Deputy Community Development Director Interiano gave the staff report.

Answering Vice-Chairperson Aguilar, DCDD Interiano confirmed that the Police and Fire Departments will be reminded of the event dates. DCDD Interiano also stated the Applicant will be obtaining a separate Fire Permit for these events.

Chairperson Fitts opened the Public Hearing.

Applicant Ria Albellera, 2088 West Lagoon Road, Pleasanton, CA 94566, stated she has read and is in agreement with the Conditions listed in Resolution 1954.

Discussion ensued on Newpark Mall's address.

Answering Commissioner Nillo, Ms. Albellera stated the owners of the Newpark Mall and the participating Vendors are aware of possible cancellation of the events due to inclement weather.

Answering Chairperson Fitts, Ms. Albellera stated last year's Night Market was successful and caused no issues for the City.

Chairperson Fitts closed the Public Hearing.

Motion by Commissioner Nillo, seconded by Commissioner Bridges, to approve Resolution 1954, allowing two outdoor special events to be held at 300 Newpark Mall. Motion passed 5 AYES.

F. STAFF REPORTS

F.1 ASR-17-17, an Architectural and Site Plan Review, to demolish and replace an existing restaurant, Ray's Sushi, with a completely new restaurant, Lazy Dog, located at 3100 Newpark Mall (APN: 901-0111-017).

Associate Planner Mangalam gave the staff report.

Mr. Jared Taylor, 10 South Grant Street, Roseville, CA 95670, representing Lazy Dog Restaurants LLS, gave a presentation of their proposal.

Answering Chairperson Fitts, Mr. Taylor stated all partners have read and are in agreement with the Conditions listed in Resolution 1955.

Answering Chairperson Fitts, Mr. Taylor stated the finishings including the tower, patio area, and bar in each Lazy Dog Restaurant are essentially the same, but the building's footprints are modified to suit each location. Mr. Taylor also stated that there will be no dancing nor live entertainment at this location.

Answering Vice-Chairperson Aguilar, Mr. Taylor discussed construction timelines.

Vice-Chairperson Aguilar commented that he liked the proposed landscaping, additional parking spaces and the improvements to the curbs, sidewalks and gutters.

Vice-Chairperson Aguilar and Commissioner Otterstetter commented that they had enjoyed their experience at other Lazy Dog restaurants.

Answering Commissioner Otterstetter, Assistant City Manager Grindall stated staff is currently working with the property owners of the neighboring businesses to improve their parking lot.

Motion by Commissioner Nillo, seconded by Chairperson Fitts, to approve Resolution 1955, with Exhibit A, pages 1 through 14, approving ASR-17-17, an Architectural and Site Plan Review, to demolish and replace an existing restaurant, Ray's Sushi, with a new restaurant, Lazy Dog, located at 3100 Newpark Mall (APN: 901-0111-017). Motion passed 5 AYES.

ACM Grindall stated that this item will be presented at the February 8, 2018 City Council Meeting.

G. COMMISSION MATTERS

G.1 Report on City Council actions.

ACM Grindall informed the Planning Commission that the project at 8215 Thornton Avenue was not brought up for review by the City Council and the owners did not appeal the Planning Commission's decision.

Commissioners' Comments

Answering Chairperson Fitts, ACM Grindall stated the McDonald's rebuild project is currently on hold due to legal issues.

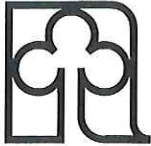
Answering Vice-Chairperson Aguilar, ACM Grindall gave approximate timelines for workshops and public hearings to discuss the Newpark Mall Specific Plan.

H. ADJOURNMENT

At 8:00 p.m., Chairperson Fitts adjourned the regular Planning Commission meeting of Tuesday, January 23, 2018.

Respectfully submitted,


TERRENCE GRINDALL
Secretary



F.1 JS-18-1, a Joint Staff Committee Review, to construct a duplex at 37136 Magnolia Street (APN: 92-61-15) – from Associate Planner Mangalam. (REVIEW OPTIONAL)

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Background/Discussion – Mr. and Mrs. Li, property owners, have submitted an application to construct a duplex at 37136 Magnolia Street.

The subject site is on the north side of Magnolia Street, approximately 200 feet east of Graham Avenue. It is zoned R-2500 (Medium Density Residential – 2,500 District) and has a Medium Density Residential General Plan Land Use Designation. As per Section 17.16.200 of the Newark Municipal Code, in the medium density residential districts, all new buildings shall be reviewed by Joint Staff Committee comprising of the Community Development Director, the Public Works Director and the Fire Chief or their designated alternatives. A duplex is a permitted use in the medium residential district.

The applicant proposes to build a duplex with one unit on the ground and the other on the second floor. Each unit consists of living, dining, kitchen areas and four bedrooms. The City’s off-street parking requirement is satisfied by the provision of two attached single-car garages, two uncovered spaces (i.e., one garage space and one uncovered space per unit) and an uncovered guest parking space. The proposed duplex meets all the zoning requirements of Newark Municipal Code including maximum coverage of 35% site area, minimum usable open space of 400 square feet/unit, minimum landscaping requirement of 25% site area etc.

The appearance of the proposed two-story building as a duplex is minimized by providing a single porch ‘gabled entry’ on the front side. The City’s multi-family residential design guidelines’ objective of minimizing the appearance of the attached garage is aided by providing vehicular entry from the side instead of the front. In addition, there is a false window with shutters on the garage wall facing the street. Exterior wall material consists of combination of siding and stucco with composition shingle roof. The 20 feet front yard between uncovered parking spaces and the right-of-way will be landscaped. There is also a proposed 4 feet high wall to screen the proposed parking spaces from street view. The applicant proposes to add six new trees, three in the front yard and three in the rear yard.

The Joint Staff Committee has approved this application with Exhibit A, pages 1 through 10, and the conditions in the attached letter.

Environmental

The proposed project is categorically exempt from the California Environmental Quality Act per Section 15303, Class 3b, “New Construction or Conversion of Small Structures - A duplex or similar multi-family residential structure, totaling no more than four dwelling units”.

Action – Planning Commission review of this item is optional.

Attachment

1. Conditions of approval
2. Architectural Drawings (Exhibit A, pages 1 through 10)



CITY OF NEWARK, CALIFORNIA

37101 Newark Boulevard • Newark, California 94560-3796 • (510) 578-4000 • FAX (510) 578-4306

February 5, 2018

Mr. and Mrs. Li
37136 Magnolia Street
Newark, CA 94560

hernandez.adc@gmail.com
tsc@rcusa88.com

Dear Mr. and Mrs Li,

Subject: Approval of JS2017-001, a Joint Staff Committee Review, for a duplex at 37136 Magnolia Street

The joint Staff Committee has reviewed and approved your application at 37136 Magnolia Street with exhibit A, pages 1 through 10, subject to the following conditions:

The Planning Division

- a. There shall be no roof-mounted equipment other than satellite dishes, other similar television or radio antennas, and solar equipment. A/C units shall not be mounted on the roof.
- b. All lighting shall be directed on-site so as not to create glare off-site, as required by the Community Development Director.
- c. Parking lot cleaning with sweeping or vacuum equipment shall not be permitted between 7:00p.m. and 8:00a.m.
- d. Construction site trailers and buildings located on-site shall be used for office and storage purposes only, and shall not be used for living or sleeping quarters. Any vehicle or portable building brought on the site during construction shall remain graffiti free.
- e. Measures to respond to and track complaints pertaining to construction noise shall include: (1) a procedure and phone numbers for notifying the City of Newark Building Inspection Division and Newark Police Department (during regular construction hours and off-hours); and (2) a sign posted on-site pertaining to the permitted construction days and hours and

complaint procedures and who to notify in the event of a problem. The sign shall also include a listing of both the City and construction contractor's telephone numbers (during regular construction hours and off-hours).

- f. Garages shall only be used for automobile parking.
- g. The site and its improvements shall be maintained in a neat and presentable condition, to the satisfaction of the Community Development Director. This shall include, but not be limited to, repainting surfaces damaged by graffiti and site clean-up. Graffiti removal/repainting and site cleanup shall occur on a continuing, as needed basis. Any vehicle or portable building brought on the site during construction shall remain graffiti free.
- h. All exterior utility pipes and meters shall be painted to match and/or complement the color of the adjoining building surface, as approved by the Community Development Director.
- i. Color elevations shall be submitted by the applicant as part of this application to be reviewed and approved by the Planning Commission and City Council. The building elevations shall reflect all architectural projections such as roof eaves, bay windows, greenhouse windows, chimneys and porches. A site plan showing the building locations with respect to property lines shall also show the projections. Said elevations shall specify exterior materials. Any minor changes shall be submitted for the review and approval of the Community Development Director to assure consistency with the approved project.
- j. Prior to the issuance of a building permit, the roof material as submitted by the applicant as part of this application shall be reviewed and approved by the Planning Commission and City Council. All roof material shall consist of fire retardant shake roof, concrete tile, or a roof of similar noncombustible material. Mansard roofs with the above material may be used to screen tar and gravel roofs. All roofs shall be of Class C fire resistant construction or better. Composition shingles shall be Presidential-style or of comparable quality, subject to the review and approval of the Community Development Director.
- k. Prior to the issuance of a building permit, the project shall be submitted for the review and approval of Republic Services and the Community Development Director, in that order. The appropriate garbage, refuse and recycling service shall be approved prior to the issuance of a Certificate of Occupancy, as required by the Community Development Director. No refuse, garbage or recycling shall be stored outdoors except within the approved trash and recycling containers.
- l. During project construction, if historic, archeological or Native American materials or artifacts are identified, work within a 50-foot radius of such find shall cease and the City shall retain the services of a qualified archeologist and/or paleontologist to assess the significance of the find. If such find is determined to be significant by the archeologist and/or paleontologist, a resource protection plan conforming to CEQA Section 15064.5 shall be prepared by the archeologist and/or paleontologist and approved by the Community Development Director. The plan may include, but would not be limited to,

Community Development Director. The plan may include, but would not be limited to, removal of resources or similar actions. Project work may be resumed in compliance with such plan. If human remains are encountered, the County Coroner shall be contacted immediately and the provisions of State law carried out.

- m. Prior to their installation, mailbox locations and designs shall be approved by the Community Development Director and Newark Postmaster, in that order. The mailbox compartments of centralized mailboxes shall identify the individual dwelling units with permanent, easily legible lettering.
- n. Prior to the issuance of a Certificate of Occupancy, roll-up garage doors with automatic garage door openers shall be provided for each unit.
- o. Prior to final inspection and utility release for each unit, the applicant shall pre-wire each unit for satellite and cable television connections, as required by the Community Development Director. The exterior connections for the pre-wire shall be made to the roof and not on the side elevation walls of the units.
- p. Prior to the issuance of a Building Permit, fence details shall be submitted for the review and approval of Community Development Director.
- q. Prior to the issuance of a Certificate of Occupancy, the parking areas, aisles and access drives shall be installed and striped as shown on the approved site plan. Guest parking spaces shall be clearly marked as reserved for guests, as approved by the Community Development Director.
- r. Prior to the issuance of a Building permit, the applicant shall pay the Development impact fees in effect at the time.

The Engineering Division

- s. The project must be designed to minimize pollution or contamination of stormwater runoff from the site to satisfy permit requirements under the Municipal Regional Stormwater Permit (MRP) issued to the City of Newark by the San Francisco Bay Regional Water Quality Control Board as Order No. 2015-0049, approved November 19, 2015. Provision C.3.i of this permit requires any detached single-family home projects that create and/or replace 2,500 square feet or more of impervious surface area to implement specific site design measures that may include directing stormwater runoff from impervious surfaces to vegetated areas or for re-use. All site design measures must be constructed and fully functional prior to a Certificate of Occupancy.
- t. The developer shall submit a grading and drainage plan for review and approval by the City Engineer. This plan must be based upon a City benchmark and needs to include pad and finish floor elevations of the proposed structure, proposed on-site property grades, proposed elevations at property lines, and sufficient elevations on all adjacent properties to

show existing drainage patterns. All pavements shall drain at a minimum of one percent. The developer shall ensure that all upstream drainage is not blocked and that no ponding is created by this development. Any construction necessary to ensure this shall be the developer's responsibility.

- u. Where a grade differential of more than a 1-foot is created along the boundary lot lines between the proposed development and adjacent property, the developer shall install a masonry retaining wall unless a slope easement is approved by the City Engineer. Said retaining wall shall be subject to review and approval of the City Engineer.
- v. Prior to issuance of a Certificate of Occupancy or release of utilities for any building, common vehicle access ways and parking facilities serving said building shall be paved in accordance with the recommendation of a licensed engineer based on a Traffic Index of 5.0 and striped as shown on the approved site plan.
- w. Prior to issuance of a Certificate of Occupancy or release of utilities for each dwelling unit, the on-site drive aisles and uncovered parking facilities shall be installed and striped as shown on the approved site plan. All on-site uncovered parking facilities and drive aisles shall be drained at a minimum slope of 1.0% for asphalt surfaces and 0.3% for Portland cement concrete surfaces.
- x. All utilities including, but not limited to, electric, telephone and cable television services shall be provided underground for the proposed duplex building from the nearest utility pole riser or any additional riser pole that may be required in accordance with the City of Newark Subdivision Standards. The developer shall enter into an agreement with the City of Newark to pay for the cost of future undergrounding of services along the project frontage at such time as an undergrounding project takes place on this segment of Magnolia Street.
- y. Any proposed utility connections and/or underground work within structurally sound street pavement must be bored or jacked. Open street cuts will not be permitted on Magnolia Street without approval by the City Engineer.
- z. Prior to the issuance of a Certificate of Occupancy, any and all damage to existing public improvements and/or any damage as a result of construction activity associated with this project shall be repaired to the satisfaction of the City Engineer.
- aa. The developer shall retain a licensed landscape architect to prepare working drawings for landscape plans in accordance with City of Newark requirements. All landscape plans are subject to the review and approval of the City Engineer.
- bb. Landscape construction plans shall be developed in accordance with Newark Municipal Code Section 15.44.080 related to Bay Friendly Landscaping Practices and City of Newark standard details.
- cc. This project is subject to all applicable requirements of the State of California's Model

Water Efficient Landscape Ordinance. The landscape design plan package, including the design plans, shall include all applicable requirements specified in this ordinance.

- dd. Prior to installation by the developer, plant species, location, container size, quality, and quantity of all landscaping plants and materials shall be reviewed and approved by the City Engineer. All plant replacements shall be to an equal or better standard than originally approved subject to approval by the City Engineer.
- cc. Prior to the release of utilities or issuance of any Certificate of Occupancy, all landscaping and irrigation systems shall be completed or guaranteed by a cash deposit deposited with the City in an amount to cover the remainder of the work.
- ff. Prior to issuance of Certificate of Occupancy or release of utilities, the developer shall guarantee all trees for a period of 6 months and all other plantings and landscape for 60 days after completion thereof. The developer shall insure that the landscape shall be installed properly and maintained to follow standard horticultural practices. All plant replacements shall be to an equal or better standard than originally approved subject to approval of the City Engineer.

Any above ground utility structures, including backflow prevention devices, and appurtenances, shall be installed within the developer's property line and a minimum of 10 feet behind the street face of curb. The backflow prevention devices shall have a green painted security cage to protect it from vandalism. These locations shall be screened with landscaping to the satisfaction of the City Engineer. The landscape screen shall not interfere with the utility companies' or City Fire Department's access.

The Landscape-Parks Division

- gg. The developer shall retain a licensed landscape architect to prepare working drawings for landscape plans in accordance with City of Newark requirements. All landscape plans are subject to the review and approval of the City Engineer.
- hh. Landscape construction plans shall be developed in accordance with Newark Municipal Code Section 15.44.080 related to Bay Friendly Landscaping Practices and City of Newark standard details. All landscaping materials selected for landscape-based stormwater treatment measures shall be consistent with the recommendations in the Alameda Countywide Clean Water Program C.3 Technical Guidance Manual.
- ii. This project is subject to all applicable requirements of the State of California's Model Water Efficient Landscape Ordinance. The landscape design plan package, including the design plans, shall include all applicable requirements specified in this ordinance.
- jj. Prior to installation by the developer, plant species, location, container size, quality, and quantity of all landscaping plants and materials shall be reviewed and approved by the City Engineer. All plant replacements shall be to an equal or better standard than originally approved subject to approval by the City Engineer.

- kk. Prior to the release of utilities or issuance of any Certificate of Occupancy, all landscaping and irrigation systems shall be completed or guaranteed by a cash deposit deposited with the City in an amount to cover the remainder of the work.
- ll. Prior to issuance of Certificate of Occupancy or release of utilities, the developer shall guarantee all trees for a period of 6 months and all other plantings and landscape for 60 days after completion thereof. The developer shall insure that the landscape shall be installed properly and maintained to follow standard horticultural practices. All plant replacements shall be to an equal or better standard than originally approved subject to approval of the City Engineer.
- mm. Any above ground utility structures, including backflow prevention devices, and appurtenances, shall be installed within the developer's property line and a minimum of 10 feet behind the street face of curb. The backflow prevention devices shall have a green painted security cage to protect it from vandalism. These locations shall be screened with landscaping to the satisfaction of the City Engineer. The landscape screen shall not interfere with the utility companies' or City Fire Department's access.

The Building Division

- nn. Construction for this project, including site work and all structures, can occur only between the hours of 8:00 AM and 6:00 PM, Monday through Friday. The applicant may make a written request to the Building Official for extended working hours and/or days. In granting or denying any request the Building Official will take into consideration the nature of the construction activity which would occur during extended hours/days, the time duration of the request, the proximity to residential neighborhoods and input by affected neighbors. All approvals will be done so in writing.
- oo. A fully automatic fire sprinkler system shall be installed in each dwelling.
- pp. The removal of the existing building will require a demolition permit issued by the City Building Inspection Division. Prior to the issuance of a demolition permit the applicant will need to provide written clearances from the Bay Area Air Quality Control Board, PG&E, Alameda County Water District, and Union Sanitary District.

Fire Division

- qq. A NFPA 13D fire sprinkler system will be required for the duplex.
- rr. Fire lane marking and signs will be required to avoid constructing an approved fire turn around at the end of the property.

The Police Division

- ss. The development shall comply with Chapter 15.06, Security Code, of the Newark Municipal Code.

General

- tt. All proposed changes from the approved exhibits shall be submitted to Community Development Director who shall decide if they warrant Joint Staff Committee Review and if, so decided, said changes shall be submitted for the Committee's review and decision. The applicant shall pay the prevailing fee for each additional separate submittal of development exhibits requiring Joint Staff Committee review and approval.
- uu. If any condition of this Joint Staff Committee Review be declared invalid or unenforceable by a court of competent jurisdiction, this Joint Staff Committee Review shall terminate and be of no force and effect, at the election of the City Council on motion.
- vv. The Joint Staff Committee Review shall be transmitted to the Planning Commission and City Council. Both the Commission and Council have the option to call this item up for review, at which time they may add, delete, or modify condition of approval.
- ww. The applicant hereby agrees to defend, indemnify, and save harmless the City of Newark, its Council, boards, commissions, officers, employees and agents, from and against any and all claims, suits, actions, liability, loss, damage, expense, cost (including, without limitation, attorneys' fees, costs and fees of litigation) of every nature, kind or description, which may be brought by a third party against, or suffered or sustained by, the City of Newark, its Council, boards, commissions, officers, employees or agents to challenge or void the permit granted herein or any California Environmental Quality Act determinations related thereto.
- xx. In the event that any person should bring an action to attack, set aside, void or annul the City's approval of this project, the applicant shall defend, indemnify and hold harmless the City and/or its agents, officers and employees from any claim, action, or proceeding against the City and/or its agents, officers and employees with counsel selected by the applicant (which shall be the same counsel used by applicant) and reasonably approved by the City. Applicants's obligation to defend, indemnify and hold harmless the City and/or its agents, officers and employees shall be subject to the City's compliance with Government Code Section 66474.9.
- yy. Prior to the submittal for building permit review, all conditions of approval for this project, shall be printed on the plans.

This approval now must be transmitted to the Planning Commission and the City Council. The Commission and the Council each have the option to call this item for review, adding or deleting conditions of approval. The Commission is scheduled to review this item at their meeting on February 13, 2018 and the Council is scheduled to review this item on

February 22, 2018. If both, the Commission and the Council, elect not to review this approval, you may submit your plans for next step (Improvement plans and Building Permit). If either the Commission or Council elect to review the action of the Joint Staff Committee, you will be notified of the date of the meeting when your project will be considered.

If you have any questions, please call me at (510) 578-4242.

Sincerely,

A handwritten signature in black ink, appearing to read "Sofia", with a stylized flourish at the end.

Sofia Mangalam
Associate Planner

ABBREVIATIONS & LEGEND

& And	F.S. Full Size	S South
∠ Angle	FT. Foot or Feet	S.C. Solid Core
⊕ At	FTG. Footing	S.C.D. Seal Cover Dispenser
⊖ Centerline	FURR. Furred(ing)	SCH. Schedule
⊙ Diameter or Round	FUT. Future	SCN. Screen
⊥ Perpendicular		S.D. Soap Dispenser
⊕ Pound or Number		SECT. Section
(E) Existing		SH. Shelf, Shelving
A.B. Anchor Bolts	GA. Gauge	SHR. Shower
ABV. Above	GALV. Galvanized	SHT. Sheet
A.C. Asphalt concrete	G.B. Grab Bar	SHTH. Sheathing
ACOUS. Acoustical	G.C. General Contract(or)	SIM. Similar
A/C Air Conditioning	GD. Grade (ing)	S.N.D. Sanitary Napkin Dispenser
A.D. Area Drain	GL. Glass	S.N.R. Sanitary Napkin Receptacle
AFF. Above Finished Floor	GND. Ground	SNT. Sealant
ADJ. Adjustable	GYP. Gypsum	SPEC. Specification (s)
ADJL. Adjacent	H.B. Hoss Bibb	SQ. Square
AGGR. Aggregate	HBD. Hardboard	SST. Stainless Steel
ALT. Alternate	HDW. Hardware	SSK. Service Sink
ALUM. Aluminum	H.M. Hollow Metal	STA. Station
ANOD. Anodized	HOR. Horizontal	STD. Standard
APPROX. Approximate	HR. Hour	STL. Steel
ARCH. Architect (ure) (ural)	HT Height	STOR. Storage
ASPH. Asphalt	HWD. Hardwood	STR. Structure (al)
	H.V.A.C. Heating/Ventilating/ Air Conditioning	SUSP. Suspended
		SYM. Symmetrical
		SYN. Synthetic
		T. Tread
		T.B. Towel Bar
		T.C. Terra Cotta
		TEL. Telephone
		T&G Tongue and Groove
		THK Thick
		THR Threshold
		T.P.D. Toilet Paper Dispenser
		TPIN Toilet Partition
		T.V. Television
		T.O.C. Top Of Curb
		T.O.P. Top Of Pavement
		T.O.W. Top Of Wall
		TYP. Typical
		TZ. Terrazzo
		UNF. Unfinished
		U.O.N./ Unless Otherwise Noted
		U.N.O.
		VERT. Vertical
		VEST. Vestibule
		W West
		W/ With
		W.C. Water Closet
		W/O Without
		WD. Wood
		WP. Waterproof
		WSCT. Wainscot
		WT. Weight

BD. Board	I.D. Inside Diameter
BEL. Below	INSU. Insulation
BET. Between	INT. Interior
BITUM. Bituminous	
BLDG. Building	
BLK. Black	JAN. Janitor
BLKG. Blocking	JT. Joint
BM. Beam	
B.M. Bench Mark	KIT. Kitchen
BRG. Bearing	
BRZ. Bronze	LAB. Laboratory
BOT. Bottom	LAM. Laminate
B.S. Both Sides	LAV. Lavatory
B.W. Both Ways	LBL. Label
BUR. Built Up Roofing	LKR. Locker
	LT Light
	LTL. Lintel
	LVR. Louver
CAB. Cabinet	M (m) Meter
C.B. Catch Basin	MAS. Masonry
CEM. Cement	MAX. Maximum
CER. Ceramic	MBR. Member
C.I. Cast Iron	M.C. Medicine Cabinet
CJT. Control Joint	MECH. Mechanical
CK. Caulk(ing)	MEMB. Membrane
CLO. Ceiling	MET/MTL. Metal
CLO. Closet	MFR. Manufacture (r)
CLR. Clear (ance)	MH. Manhole
CM (cm) Centimeter	MIN. Minus
C.M.U. Concrete Masonry Unit	MIR. Mirror
CNTR. Counter	MISC. Miscellaneous
COL. Column	MM (mm) Millimeter
COMP. Composite (tion)	M.O. Masonry Opening
CONC. Concrete	MLD. Moulding
CONN. Connection	MTD. Mounted
CONST. Construction	MTL. Material
CONT. Continuous	MUL. Mullion
CORR. Corridor	MWK. Millwork
CTR. Center	

DBL. Double	N North
DEPT. Department	N.I.C. Not In Contract
DEMO. Demolish, Demolition	NO. / Number
D.F. Drinking Fountain	NOM. Nominal
DIA. Diameter	N.T.S. Not To Scale
DIAG. Diagonal	
DIM. Dimension(s)	
DISP. Dispenser	
DMT. Demountable	O/ Over
DN. Down	O.A. Over All
D.O. Door Opening	OBS. Obscure
DR. Door	O.C. On Center
DWR. Drawer	O.D. Outside Diameter
DS. Downspout	OFF. Office
D.S.P. Dry Stand Pipe	OPG. Opening
DTL. Detail	OPH. Opposite Hand
DWG. Drawing(s)	OPP. Opposite
E. East	PCC. Pre-Cast Concrete
EA. Each	PFB. Prefabricate (d)
E.B. Expansion Bolt	PFN. Prefinished
E.J. Expansion Joint	PK. Parking
EL. Elevation	PL. Plate
ELEC. Electrical	P.LAM. Plastic Laminate
ELEV. Elevator	PLAS. Plaster
EMER. Emergency	PNT. Paint (ed)
ENCL. Enclosure	PR. Pair
E.P. Electrical Panelboard	PT. Point
EQ. Equal	P.T.D. Paper Towel Dispenser
EQPT. Equipment	P.T.R. Paper Towel Receptacle
E.W.C. Electric Water Cooler	PTN. Partition
EXG. Existing	Ply. Plywood
EXPO. Exposed	PVE. Pave (ing) (ed)
EXP. Expansion	P.V.C. Polyvinyl Chloride
EXT. Exterior	
F.A. Fire Alarm	Q.T. Quarry Tile
F.B. Flat Bar	
F.D. Floor Drain	R Riser
F.E. Fire Extinguisher	RAD. Radius
F.E.C. Fire Extinguisher Cabinet	R.B. Rubber Base
FFE Finished Floor Elevation	R.D. Roof Drain
FFL Finished Floor Line	REF. Reference
F.H.C. Fire Hose Cabinet	REFR. Refrigerator
FIN. Finished	REG. Register
FL. Floor	REINF. Reinforced (ing)
FLUR. Fluorescent	REQ. Required
FND. Foundation	RES. Resilient
F.O.C. Face Of Concrete	REV. Revision (s), Revised
F.O.F. Face Of Finish	RM. Room
F.O.S. Face Of Studs	R.O. Rough Opening
FP. Fireproof	RWD. Redwood
	R.W.C. Rain Water Conductor
	R.W.L. Rain Water Leader

PLAN SECTIONS

	CONCRETE
	CONCRETE BLOCK
	METAL STUDS
	WOOD STUDS
	SOUND INSU. PTN.

DETAIL SECTIONS

	CONCRETE
	FINISHED WOOD
	PLYWOOD
	RIGID INSULATION
	BLANKET INSULATION
	ACOUSTICAL TILE
	GYPSTUM BOARD
	METAL
	PLASTER
	MASONRY
	GLASS
	EARTH

Duplex Development

For: Mr. & Mrs. Li

37136 MAGNOLIA STREET, NEWARK, CA 94560



BUILDING RENDERING

VICINITY MAP



BLDG DATA

APN: 92-61-15
 LOT SIZE: 7,500 SF
 ZONE: R-2500
 FLOOR AREA:
 UNIT #1 (DOWNSTAIR) 2,035 S.F.
 UNIT #2 (UPSTAIR) 1,728 S.F.
 GARAGE 450 S.F.
 OCCUPANCY: R-3/U-1
 BUILDING TYPE: V-B
 STORY(IES): TWO (2)
 FIRE SPRINKLE: YES
 DESIGN COMPLY WITH :
 CBC 2016 Ed.
 CFC 2016 Ed.
 CMC 2016 Ed.
 CPC 2016 Ed.
 CEC 2016 Ed.
 2016 BUILDING ENERGY EFFICIENCY STANDARD
 2016 CALIFORNIA GREEN BUILDING CODE
 CITY OF NEWARK ORDINANCE

SHEET INDEX

A-001	TITLE SHEET
A-002	SITE PLANS - DEMOLITION AND PROPOSED
A-003	CONCEPTUAL GRADING PLAN AND LANDSCAPE PLAN
A-003.A	IMPERVIOUS SURFACE PLAN
A-100.1	FIRST FLOOR PLAN
A-100.2	SECOND FLOOR PLAN
A-200	ROOF PLAN
A-300	EXTERIOR ELEVATIONS
A-400	EXTERIOR - COLOR BOARD
A-500	BUILDING CROSS SECTION



T SQUARE CONSULTING GROUP, Inc.

2050 CONCOURSE DRIVE, #20 TEL (408) 321-9988
 SAN JOSE, CA 95131-1892 FAX (408) 321-9987



SY-CHENG TSAI C-24234

Duplex Development
 For: Mr. & Mrs. Li

37136 MAGNOLIA ST., NEWARK, CA 94560

TITLE SHEET

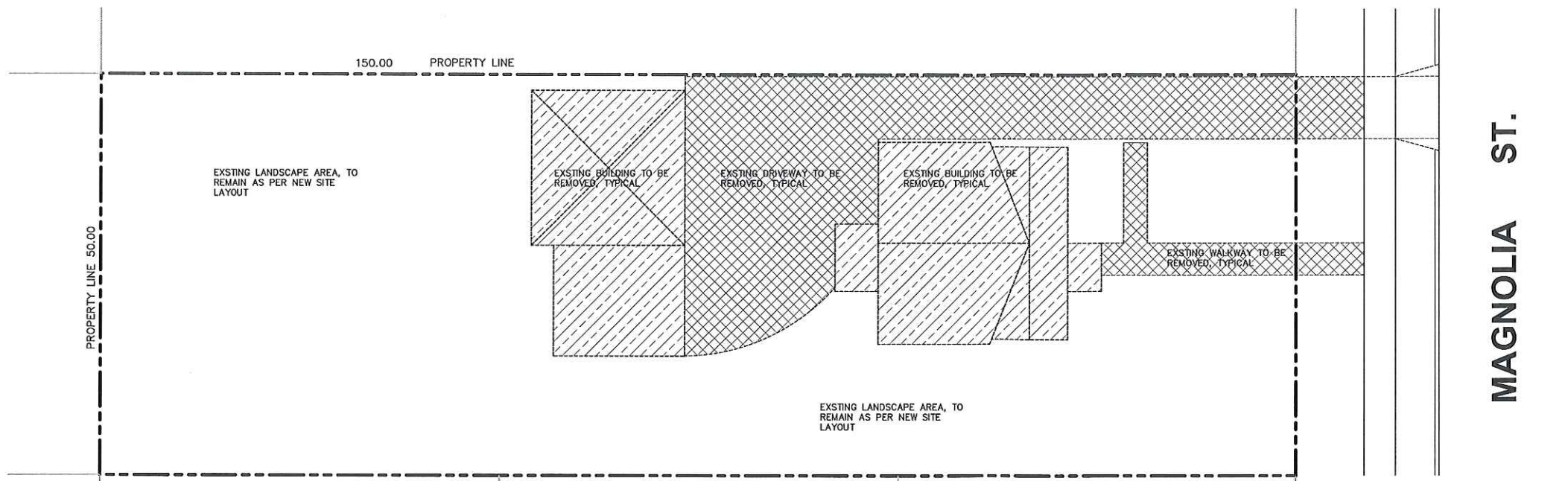
DATE:	06/01/17
JOB NO.	TS170528
ISSUE & REVISION	
1	09/08/17 CITY SUBMITTAL
2	11/08/17 CITY SUBMITTAL
3	12/22/17 CITY REV.
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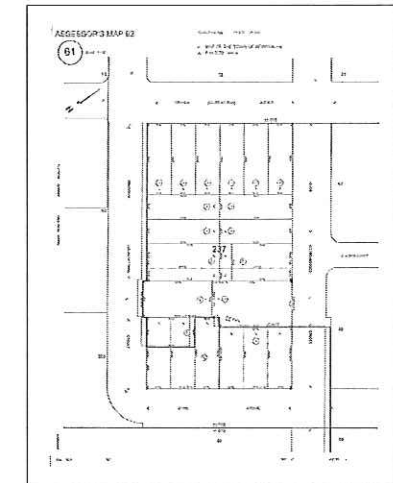
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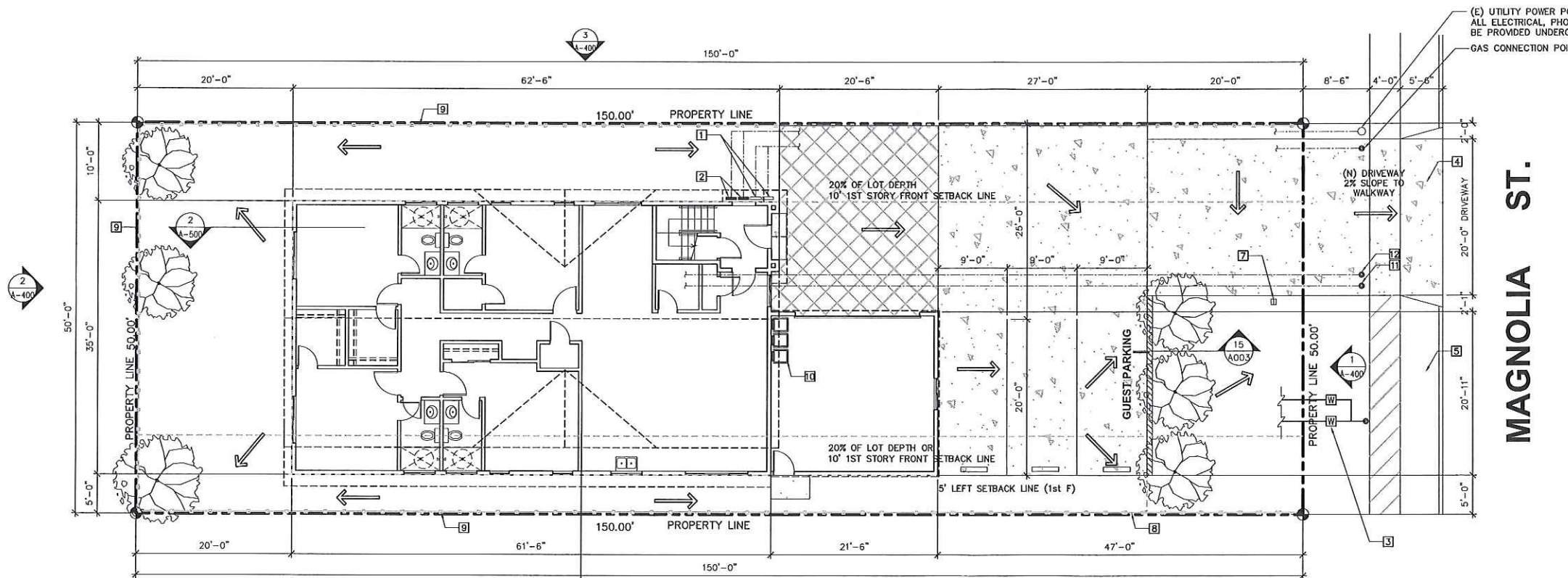
EXHIBIT Ap1



APN MAP
SITE: 92-61-15



SITE PLAN - DEMO
SCALE: 1/8" = 1'-0"



(E) UTILITY POWER POST
ALL ELECTRICAL, PHONE AND/OR CABLE SERVICES SHALL
BE PROVIDED UNDERGROUND TO THE DUPLEX UNITS.
GAS CONNECTION POINT

KEY NOTES

- 1 NEW GAS METER LOCATION. PAINT COLOR TO MATCH WALL. SEPARATE SERVICE IS REQUIRED FOR EACH UNIT.
- 2 NEW ELECTRICAL METER LOCATION. PAINT COLOR TO MATCH WALL. SEPARATE SERVICE IS REQUIRED FOR EACH UNIT.
- 3 EXISTING WATER METER TO REMAIN. SEPARATE SERVICE IS REQUIRED FOR EACH UNIT.
- 4 EXTEND / MODIFY (E) 12'-0" W. CONCRETE DRIVE TO 20'-0" W. G.C. IS RESPONSIBLE FOR APPLYING AN ENCROACHMENT PERMIT PRIOR TO START CONSTRUCTION
- 5 EXISTING CITY'S STREET SIDE LANDSCAPE TO REMAIN
- 6 EXISTING FIRE HYDRANT
- 7 PROPOSED NEW MAILBOX LOCATION. PROPERTY OWNER IS RESPONSIBLE FOR GETTING AN APPROVAL OF MAILBOX LOCATION AND DESIGN FROM CITY'S COMMUNITY DEVELOPMENT DIRECTOR AND NEWARK POSTMASTER
- 8 EXISTING CHAIN LINK FENCE, 6'-0" HT.
- 9 EXISTING WOOD FENCE, 6'-0" HT.
- 10 NEW TRASH BINS LOCATION. PRIOR TO ISSUANCE OF BUILDING PERMIT THE APPLICANT WILL CHECK WITH REPUBLIC SERVICES OF ALAMEDA COUNTY FOR SERVICES.
- 11 NEW SANITARY SEWER CONNECTION POINT. SEPARATE SERVICE IS REQUIRED FOR EACH UNIT.
- 12 (E) SANITARY SEWER CONNECTION, V.I.F. SEPARATE SERVICE IS REQUIRED FOR EACH UNIT.

LEGEND

- PROPERTY LINE
- EXISTING BUILDING TO BE REMOVED
- EXISTING DRIVEWAY / SIDEWALK TO BE REMOVED
- EXISTING PUBLIC SIDEWALK
- NEW CONCRETE DRIVEWAY
- NEW LANDSCAPING AREA (SEE SHEET A.003)
- STORM WATER DRAINAGE DIRECTION (NOTE: MIN. 1% SLOPE FOR LANDSCAPED SURFACE AND MIN. 0.5% SLOPE FOR CONCRETE WALKWAY OR DRIVEWAY)
- ROOF LINE ABOVE
- NEW PERVIOUS SURFACE

SITE PLAN
SCALE: 1/8" = 1'-0"

CONSTRUCTION NOTES:

1. CONSTRUCTION FOR THIS PROJECT, INCLUDING SITE WORK AND ALL STRUCTURES, CAN OCCUR ONLY BETWEEN THE HOURS OF 8:00 AM AND 6:00 PM, MONDAY THROUGH FRIDAY. THE APPLICANT MAY MAKE A WRITTEN REQUEST TO THE BUILDING OFFICIAL FOR EXTENDED WORKING HOURS AND/OR DAYS. IN GRANTING OR DENYING ANY REQUEST THE BUILDING OFFICIAL WILL TAKE INTO CONSIDERATION THE NATURE OF THE CONSTRUCTION ACTIVITY WHICH WOULD OCCUR DURING EXTENDED HOURS/DAYS, THE TIME DURATION OF THE REQUEST, THE PROXIMITY TO THE RESIDENTIAL NEIGHBORHOODS AND INPUT BY AFFECTED NEIGHBORS. ALL APPROVAL WILL BE DONE SO IN WRITING.
2. THE REMOVAL OF THE EXISTING BUILDING WILL REQUIRE A DEMOLITION PERMIT ISSUED BY THE CITY BUILDING INSPECTION DIVISION. PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT THE APPLICANT WILL NEED TO PROVIDE WRITTEN CLEARANCES FROM THE BAY AREA QUALITY CONTROL BOARD, PG&E, ALAMEDA COUNTY WATER DISTRICT AND UNION SANITARY DISTRICT.

FIRE NOTES:

1. A NFPA 13D FORE SPRINKLER SYSTEM WILL BE REQUIRED FOR THE DUPLEX.
2. PER FIRE DIVISION, FIRE LANE MARKING AND SIGN WILL BE REQUIRED TO AVOID CONSTRUCTING AN APPROVED FIRE TURN AROUND AT THE END OF THE PROPERTY.

PROJECT DATA:

LOT SIZE:	7,500 SF	REQUIRED COVERAGE:	35%	PROPOSED COVERAGE:	33.13%
BUILDING AREA:	UNIT #1: 2,035 SF UNIT #2: 1,728 SF GARAGE: 450 SF	BUILDING HEIGHT:	30'-0"	FRONT SETBACK:	30'-0"
PARKING:	2-CAR GARAGE 3 PARKING SPACES	REAR SETBACK:	20'-0"	FRONT SETBACK:	47'-0"
CONSTRUCTION:	WOOD FRAMING, STUCCO SIDING EXTERIOR ASPHALT SHINGLE ROOF VINYL FRAME WINDOWS, WOOD DOOR FRAME, WOOD PANEL DOOR CRAWL SPACE, ATTIC SPACE.	SIDE SETBACK (DRIVER SIDE):	10'-0"	REAR SETBACK:	20'-0"
SPRINKLER:	A NFPA 13D FIRE SPRINKLER SYSTEM WILL BE REQUIRED	SIDE SET BACK:	5'-0"	SIDE SETBACK (2ND F):	10'-0"
		SIDE SETBACK (2ND F):	10'-0"	PARKING - GARAGE (1 PER UNIT):	2
		PARKING - SPACE (1 PER UNIT):	2	PARKING - GUEST (1 + 20% * UNITS):	1.4
		OPEN SPACE:	400 SF	LANDSCAPE COVERAGE:	25%
		LANDSCAPE COVERAGE:	25%		

T SQUARE CONSULTING GROUP, Inc.
2050 CONCOURSE DRIVE, #50 SAN JOSE, CA 95131-1892 TEL (408) 321-9988 FAX (408) 321-9987

ARCHITECT
SY-CHENG TSAI
C-24234
1/31/19
RENEWAL DATE
STATE OF CALIFORNIA

Duplex Development
For: Mr. & Mrs. Li
37136 MAGNOLIA ST., NEWARK, CA 94560

SITE PLAN & DEMO. SITE

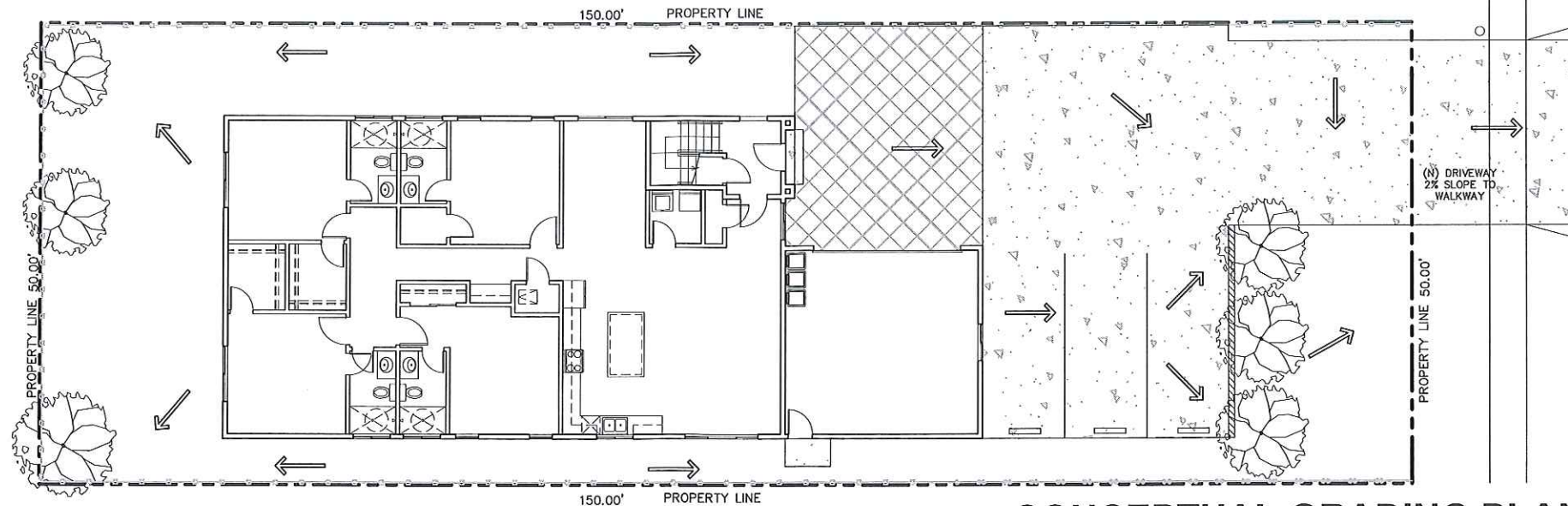
DATE: 06/01/17
JOB NO. TS170528

ISSUE & REVISION	
09/08/17	CITY SUBMITTAL
1 11/08/17	CITY SUBMITTAL
2 12/22/17	CITY REV.
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SHEET NO.
A-002

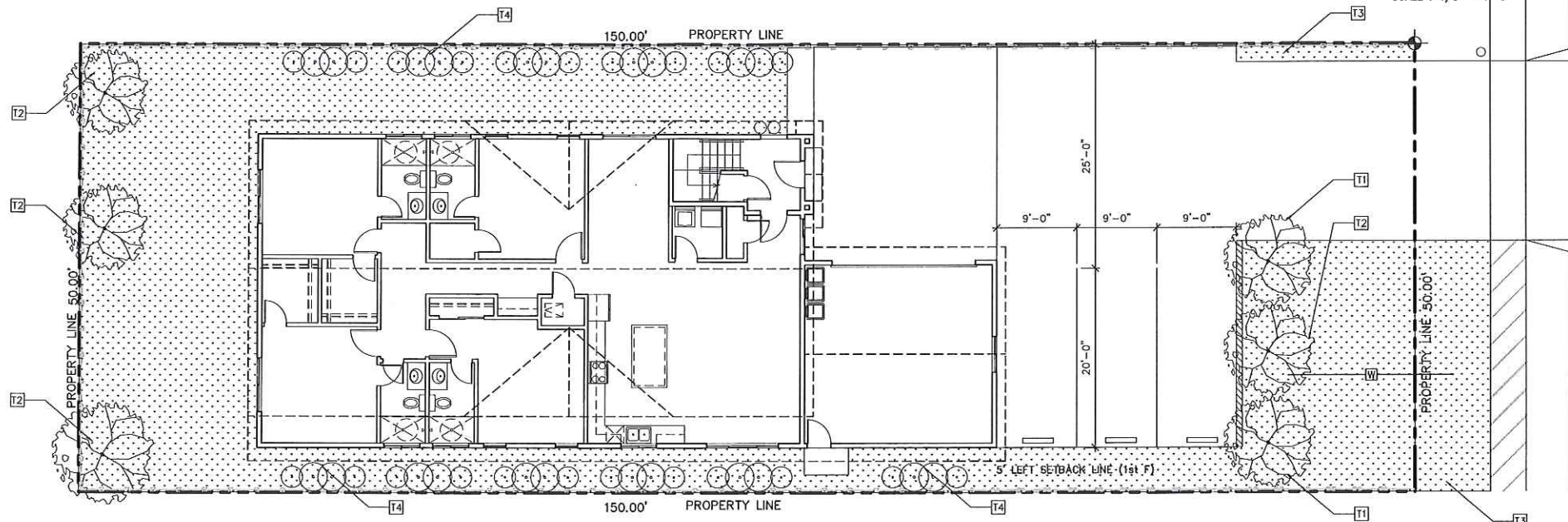
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EXHIBIT A02



CONCEPTUAL GRADING PLAN

SCALE: 1/8" = 1'-0"



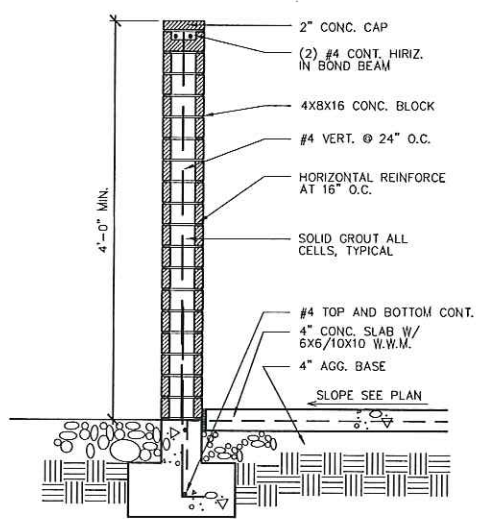
CONCEPTUAL LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"



LANDSCAPE NOTES:

1. LANDSCAPE DESIGN AND PROPOSED AUTOMATIC IRRIGATION SYSTEM WILL SATISFY THE STATE OF CALIFORNIA'S WATER EFFICIENT LANDSCAPE ORDINANCE.
2. ALL LANDSCAPE AREA THAT ARE NOT PLANTED WITH VEGETATION GROUND COVER MUST HAVE A MINIMUM 3" LAYER OF BARK MULCH PLACED.
3. BAY FRIENDLY LANDSCAPING PRINCIPLES IMPLEMENTATION:
 - a. LANDSCAPE LOCALLY; USE LOCAL, NATURAL PLANT COMMUNITIES AS MODELS. REFER TO PLANT SCHEDULE.
 - b. LANDSCAPE FOR LESS TO THE LANDFILL; SELECT APPROPRIATE PLANTS; DO NOT PLANT INVASIVE SPECIES. REFER TO PLANT SCHEDULE.
 - c. CONSERVE WATER; GROW DROUGHT TOLERANT CALIFORNIA NATIVE OR MEDITERRANEAN PLANTS. REFER TO PLANT SCHEDULE.
 - d. PROTECT WATER AND AIR QUALITY; MINIMIZE IMPERVIOUS SURFACES. REFER TO IMPERVIOUS CONCEPTUAL PLAN ON SHEET A-003.A



SCREENING WALL

15 3/4"=1'-0"

LANDSCAPING AREA CALCULATION					
LOT AREA	LANDSCAPING AREA REQUIRED	LANDSCAPING AREA PROVIDED			
7,500 S.F.	7,500 X 25% = 1,875 S.F.	FRONT YARD + SIDE YARDS + REAR YARD = 2,756 S.F.			
COVERAGE		2,756 / 7,500 = 36.74 % > 25%			
LANDSCAPING PLANT SCHEDULE					
SYMBOL	PLANT NAME	SIZE	QUANTITY	HT. x SPREAD	REMARKS
T-1	VICTORIAN BOX	MIN. 24 BOX X 8' HT.	2	15'x15'	
T-2	MYRTLE	MIN. 24 BOX X 8' HT.	4	8'x10'	
T-3	COYOTE BRUSH	GROUND COVER			FRONT & REAR; DROUGHT TOLERANT
T-4	CALIFORNIA WILD LILAC	SHRUB			SIDE YARD; DROUGHT TOLERANT

EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASUREMENT SHALL BE ONSITE AND READILY ACCESSIBLE PRIOR TO CONSTRUCTION.
2. SWEEP OR SCRAPE UP SOILS TRACKED ONTO THE ROAD AT THE END OF EACH DAY DO NOT HOSE INTO STREET, GUTTER, OR STORM DRAIN.
3. REVEGETATE SIDETRUBED AREA. EXPOSED BARE DIRT SHALL BE COVERED WITH MULCH, JUST NETTING OR OTHER EROSION CONTROL PLANKET.
4. ALL TEMPORARY STOCKPILES SHALL BE COVERED WITH 16 MIL PLASTIC SHEET, SUITABLY ANCHORED.
5. THE SITE SHALL BE MONITOR BY THE CONTRACTOR/OWNER AFTER RAIN EVENT TO VERIFY EROSION CONTROL MEASURES ARE FUNCTIONING.

LEGEND

- PROPERTY LINE
 - EXISTING PUBLIC SIDEWALK
 - NEW CONCRETE DRIVEWAY
 - NEW LANDSCAPING AREA
 - STORM WATER DRAINAGE DIRECTION
 - NEW PERVIOUS SURFACE
- (NOTE: MIN. 1% SLOPE FOR LANDSCAPED SURFACE AND MIN. 0.5% SLOPE FOR CONCRETE WALKWAY OR DRIVEWAY)

EXHIBIT Ap3

T SQUARE CONSULTING GROUP, Inc.
 2050 CONCOURSE DRIVE, #50 TEL (408) 321-9988
 SAN JOSE, CA 95131-1892 FAX (408) 321-9987

ARCHITECT
 SY-CHENG TSAI C-24234
 1/31/19
 STATE OF CALIFORNIA

Duplex Development
 For: Mr. & Mrs. Li
 37136 MAGNOLIA ST., NEWARK, CA 94560

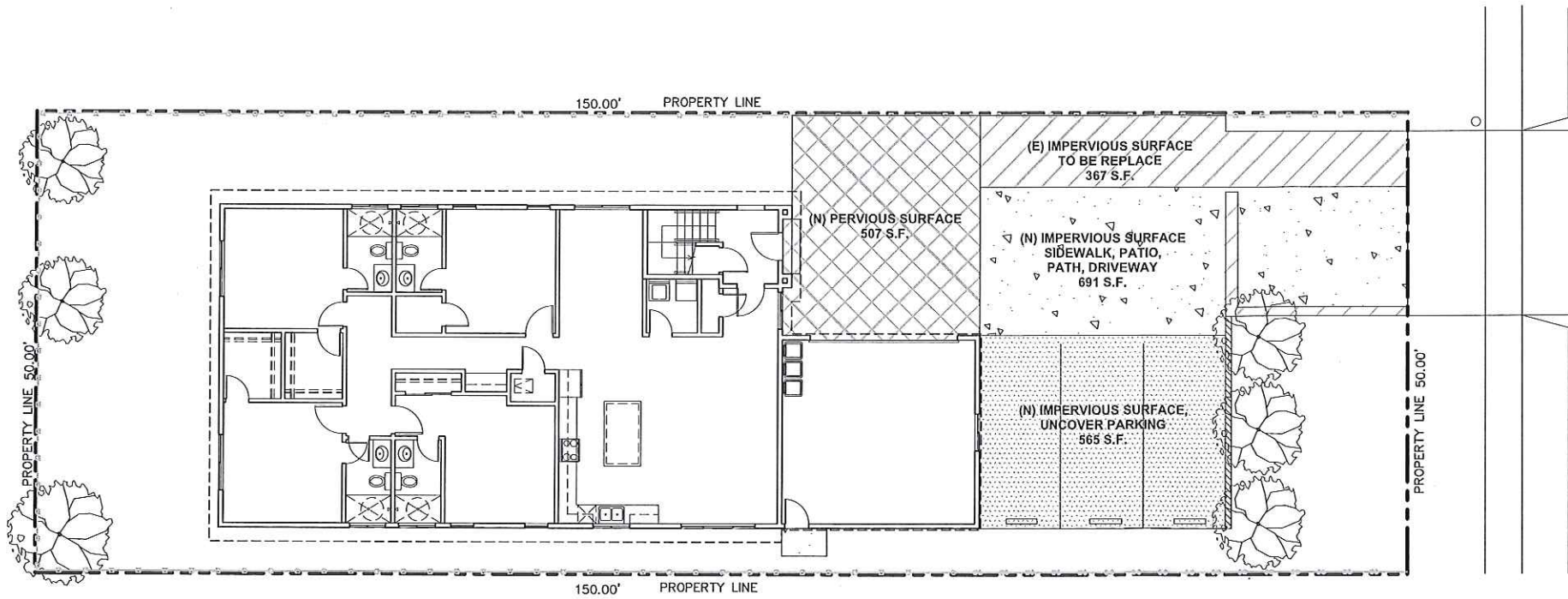
LANDSCAPE & GRADING PLANS

DATE: 06/01/17
 JOB NO. TS170528

ISSUE & REVISION	
09/08/17	CITY SUBMITTAL
1 11/08/17	CITY SUBMITTAL
2 12/22/17	CITY REV.
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SHEET NO.
A-003

DRAWN BY:



LEGEND

- EXISTING IMPERVIOUS SURFACE TO BE REPLACED 367 S.F.
- NEW IMPERVIOUS SURFACE SIDEWALKS, PATIOS, PATHWAYS, DRIVEWAYS 691 S.F.
- NEW IMPERVIOUS SURFACE UNCOVERED PARKING 565 S.F.
- ROOF AREA 2,863 S.F.
- TOTAL IMPERVIOUS SURFACE 4,486 S.F.
- NEW PERVIOUS SURFACE (PERVIOUS CONCRETE, PERVIOUS ASPHALT, PERVIOUS PAVERS, OR GRID PAVERS) 508 S.F.

IMPERVIOUS SURFACE PLAN

SCALE: 1/8" = 1'-0"



Stormwater Requirements Checklist

Yes	No	Best Management Practice (BMP)
<input type="checkbox"/>	<input type="checkbox"/>	Attach the municipality's construction BMP plan sheet to project plans and require contractor to implement the applicable BMPs on the plan sheet
<input type="checkbox"/>	<input type="checkbox"/>	Temporary erosion controls to stabilize all denuded areas until permanent erosion controls are established.
<input type="checkbox"/>	<input type="checkbox"/>	Delimitate with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
<input type="checkbox"/>	<input type="checkbox"/>	Provide notes, specifications, or attachments describing the following: • Construction, operation and maintenance of erosion and sediment controls, include inspection frequency. • Methods and schedule for grading, excavation, filling, clearing of vegetation, and storage and disposal of excavated or cleared material. • Specifications for vegetative cover & mulch, include methods and schedules for planting and fertilization. • Provisions for temporary and/or permanent irrigation.
<input type="checkbox"/>	<input type="checkbox"/>	Perform clearing and earth moving activities only during dry weather.
<input type="checkbox"/>	<input type="checkbox"/>	Use sediment controls or filtration to remove sediment when dewatering and obtain all necessary permits.
<input type="checkbox"/>	<input type="checkbox"/>	Protect all storm drain inlets in vicinity of site using sediment controls such as boms, floor rolls, or filters
<input type="checkbox"/>	<input type="checkbox"/>	Trap sediment on-site using BMPs such as sediment basins or traps, earthen ditches or berms, silt basins, check dams, soil blankets or mats, covers for soil stock piles, etc.
<input type="checkbox"/>	<input type="checkbox"/>	Divert on-site runoff around exposed areas; divert off-site runoff around the site (e.g., ditches and dikes).
<input type="checkbox"/>	<input type="checkbox"/>	Protect adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
<input type="checkbox"/>	<input type="checkbox"/>	Limit construction access routes and stabilize designated access points.
<input type="checkbox"/>	<input type="checkbox"/>	No idling, fueling, or maintaining vehicles on-site, except in a designated area where wastewater is contained and treated.
<input type="checkbox"/>	<input type="checkbox"/>	Store, handle, and dispose of construction materials/wastes properly to prevent contact with stormwater.
<input type="checkbox"/>	<input type="checkbox"/>	Contractor shall train and provide instruction to all employees/subcontractors re construction BMPs.
<input type="checkbox"/>	<input type="checkbox"/>	Control and prevent the discharge of all potential pollutants, including pavement cleaning wastes, paints, concrete, petroleum products, chemicals, wastewater or sediments, fire water from architectural copper, and non-stormwater discharges to storm drains and waterways.

PROJECTS THAT ARE NOT C.3 REGULATED PROJECTS STOP HERE!

Implementation of Stormwater Requirements

Yes	No	Plan Sheet No.	Description
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A-003	Direct roof runoff into gutters or rain barrels and use rainwater for irrigation or other non-potable uses.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A-003	Direct roof runoff onto vegetative areas.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A-003	Direct runoff from sidewalks, walkways, and/or patios onto vegetative areas.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A-003	Direct runoff from driveways and/or uncovered parking lots onto vegetative areas.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A-003.A	Construct sidewalks, walkways, and/or patios with pervious surfaces. Use the specifications in the C3 Technical Guidance (Version 4.1) or for small projects see the BASMA Pervious Paving Fact Sheet. For these documents and others go to the program website at www.ci.sanjo.se.ca.us/gis/permissions.asp and click on "Resources."
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A-003.A	Minimize land disturbance and impervious surface (especially parking lots)
<input checked="" type="checkbox"/>	<input type="checkbox"/>		Maximize permeability by clustering development and preserving open space.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		Use micro detention, including distributed landscape-based detention.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		Prefer sensitive areas, including wetland and riparian areas, and minimize changes to the natural topography.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		Self-sealing area (see Section 4.1 of the C.3 Technical Guidance)
<input checked="" type="checkbox"/>	<input type="checkbox"/>		Self-retaining area (see Section 4.2 of the C.3 Technical Guidance)
<input checked="" type="checkbox"/>	<input type="checkbox"/>		Plant or pressure interceptor basin (Section 4.5, C.3 Technical Guidance)

* For MRP Provision C.3 a (6) for non-C.3 Regulated Projects, C.3 a (2)(b) for Regulated Projects, C.31 for projects that create/replace 2,500 to 10,000 sq ft. of impervious surface and stand-alone single family homes and create/replace 2,500 sq ft. or more of impervious surface.

Stormwater Requirements Checklist

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- 1B. Is the project a "C.3 Regulated Project" per MRP Provision C.3.b?**
- 1B.1 In Item 1B.1, does the Total New Impervious Surface equal 10,000 sq ft. or more? If YES, skip to Item 1B.6 and check "Yes." If NO, continue to Item 1B.3.
- 1B.3 Does the Item 1B.1 Total New Impervious Surface equal 5,000 sq ft. or more, but less than 10,000 sq ft.? If YES, continue to Item 1B.4. If NO, skip to Item 1B.5 and check "No."
- 1B.4 Is the project a "Special Land Use Category" per Item 1A.12? For uncovered parking, check YES only if there is 5,000 sq ft. or more uncovered parking. If NO, go to Item 1B.5 and check "No." If YES, go to Item 1B.6 and check "Yes."
- 1B.5 Is the project a C.3 Regulated Project? If YES, go to Item 1B.6. If NO, continue to Item 1C.
- 1B.6 Does the total amount of Replaced Impervious Surface equal 50 percent or more of the Pre-Project Impervious Surface? If YES, stormwater treatment requirements apply to the whole site. If NO, these requirements apply only to the impervious surface created and/or replaced.
- 1B.7 Is the project installing a total of 3,000 sq ft. or more (excluding private use patios in single family homes, townhomes, or condominiums) of new pervious pavement systems? (Pervious pavement systems include pervious concrete, pervious asphalt, pervious pavers and grid pavers etc. and are described in the C3 Technical Guidance At www.ci.sanjo.se.ca.us/gis/permissions.asp) If YES, stormwater treatment system inspection requirements (C.3.8) apply. Municipal staff will add this site to your list of sites needing a final inspection on the next construction and on-going O&M inspection. If NO, inspection requirements only apply if there are other best practices installed on the project.
- 1C. Projects that are NOT C.3 Regulated Projects**
- If you answered YES to Item 1B.6, or the project creates/replaces less than 5,000 sq ft. of impervious surface, then this project is NOT a C.3 Regulated Project, and stormwater treatment is not required. BUT the municipality may determine that source controls and site design measures are required. Skip to Section 11.
- 1D. Projects that ARE C.3 Regulated Projects**
- If you answered YES to Item 1B.6, then the project is a C.3 Regulated Project. The project must include appropriate site design measures and source controls that reduce stormwater treatment measures. Hydrologic/GIS management may also be required, refer to Section 11 to make this determination. If final discretionary approval was granted on or after DECEMBER 1, 2011, Low Impact Development (LID) requirements apply, except for "Special Projects." See Section 11.
- 1E. Identify C.3 Construction-Phase Stormwater Requirements**
- | Yes | No | |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | E.1 Does the project disturb 1.0 acre (42,000 sq ft.) or more of land? (See Item 1A.14). If YES, obtain coverage under the state's Construction General Permit at http://www.sanjo.se.ca.us/permissions.asp before start of construction. Submit to the municipality a copy of your Notice of Intent and Storm Water Pollution Prevention Plan (SWPPP) before a grading or building permit is issued. |
| <input type="checkbox"/> | <input type="checkbox"/> | E.2 Is this site a "High Priority Site" that disturbs less than 1.0 acre (42,000 sq ft.) of land? (Municipal staff will make this determination.) "High Priority Sites" are sites having any of the following criteria: <ul style="list-style-type: none"> • that require a grading permit, • are adjacent to a creek, • are on hillsides, as indicated on a jurisdictional hazard map or if no map exists, then sites with slopes of 15% or more and are disturbing 5,000 sq ft. or more of land, (see IA.13 above and MRP 2.0 Provision C.6.0.8 (2)(b)), • are otherwise high priority for stormwater protection during construction (see MRP 2.0 Provision C.6.0.8 (2)(b)). |
- NOTE TO APPLICANT: All projects require appropriate atmospheric best management practices (BMPs) during construction. Refer to the Section 11 for a listing of appropriate construction BMPs.
- NOTE TO MUNICIPAL STAFF: If the answer is "Yes" to E.1 or E.2, refer this project to construction site inspection staff to be notified to their list of projects that require stormwater inspections at least monthly during the wet season (October 1 through April 30) and other times of the year as appropriate.

Stormwater Requirements Checklist

1. Applicability of C.3 and C.6 Stormwater Requirements

1A. Enter Project Data (For "C.3 Regulated Projects," data will be reported in the municipality's stormwater Annual Report.)

1A.1 Project Name:	DUPLEX DEVELOPMENT FOR MR. & MRS. LI
1A.2 Project Address (include cross street):	37136 MAGNOLIA ST.
1A.3 Project APN:	92-01-15
1A.4 Project Watershed:	
1A.5 Applicant Name:	AMARANTA HERNANDEZ
1A.6 Date Submitted:	
1A.7 Applicant Address:	2050 CONCOURSE DRIVE #50, SAN JOSE, CA 95131
1A.8 Applicant Phone:	(408)321-9988
1A.9 Applicant Email Address:	
1A.10 Development type (check all that apply):	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Mixed-Use <input type="checkbox"/> Streets, Roads, etc. <input checked="" type="checkbox"/> Redevelopment as defined by MRP (creating, adding and/or replacing exterior existing impervious surface on a site where past development has occurred) <input type="checkbox"/> Special land use categories as defined by MRP: (1) auto service facilities, (2) retail gasoline surface, (3) restaurants, (4) uncovered parking area (stand-alone or part of a larger project)
1A.11 Project Description* (this may be part of future phases of the project)	NEW 2-STORY DUPLEX WITH ATTACHED GARAGE AND UNCOVERED PARKING SPACES
1A.12 Total Area of Site:	0.17 acres
1A.13 Slope on Site:	0 %
1A.14 Total Area of land disturbed during construction (include clearing, grading, excavating and stockpile areas):	0.12 acres

1B. Is the project a "C.3 Regulated Project" per MRP Provision C.3.b?

1B.1 Enter the amount of impervious surface created and/or replaced by the project (if the total amount is 5,000 sq ft. or more):

Type of Impervious Surface	Table of Impervious and Pervious Surfaces			
	a. Pre-Project Impervious Surface (sq ft.)	b. Existing Impervious Surface to be Replaced (sq ft.)	c. New Impervious Surface to be Created (sq ft.)	d. Post-project pervious surface (sq ft.)
Roof areas (excluding any portion of the roof that is substituted "green roof")	1,285		2,863	
Impervious sidewalks, patios, paths, driveways	1,248	367	691	
Impervious uncovered parking			565	
Streets (p-Asic)				N/A
Streets (p-Sub)				N/A
Totals:	2,533	367	4,119	
Area of Existing Impervious Surface to remain in place	367			N/A
Total New Impervious Surface (sum of totals for columns b and c):		4,486		

* Wastewater is defined by the maps from the Alameda County Flood Control District at <http://www.floodcontrol.org/resources/holders/waterboards/>

Redevelopment projects that replace existing impervious surface are subject to C.3 requirements only if one or more lines of travel are added.

Special Land Use Categories (SLUC) codes are in Section 2.2 of the C.3 Technical Guidance available at <http://www.ci.sanjo.se.ca.us/gis/permissions.asp>

Project description examples: 1. they will include individual water services, residential type for a duplex building for 200 residential units, etc.

For the MRP, government has a strict definition of pervious pavement is NOT an impervious surface. Pervious pavement is defined as concrete that allows water to infiltrate at a rate equal to or greater than immediately surrounding unsealed, uncoated areas, or that allows water to infiltrate the natural soil unless otherwise defined in Provision C.3.4

Uncovered parking includes top level of a parking structure.

"Any Use" means to install new impervious surface where existing impervious surface is removed. "Create" means to install new impervious surface where there is currently no impervious surface.

T SQUARE CONSULTING GROUP, Inc.
2050 CONCOURSE DRIVE, #50 SAN JOSE, CA 95131-1892 TEL: (408) 321-9988 FAX: (408) 321-9987

Professional Engineer Seal: SY-CHENG TSAI, C-24234, State of California, 1/31/19, No. 97554, 1/31/19, No. 97554

Duplex Development
For: Mr. & Mrs. Li
37136 MAGNOLIA ST., NEWARK, CA 94560

IMPERVIOUS SURFACE PLAN

DATE: 06/01/17
JOB NO. TS170528

ISSUE & REVISION

09/08/17	CITY SUBMITAL
11/08/17	CITY SUBMITAL
12/22/17	CITY REV.
3	
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SHEET NO. **A-003.A**

DRAWN BY:





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 TEL (408) 321-9888 FAX (408) 321-9887

All notes, specifications & details are to be read in conjunction with the contract documents. The contractor shall be responsible for obtaining all necessary permits, licenses, and approvals. The contractor shall be responsible for coordinating all utility work. The contractor shall be responsible for protecting all existing conditions. The contractor shall be responsible for maintaining access to all adjacent properties. The contractor shall be responsible for maintaining safety at all times. The contractor shall be responsible for cleaning up after construction. The contractor shall be responsible for obtaining all necessary insurance. The contractor shall be responsible for obtaining all necessary bonds. The contractor shall be responsible for obtaining all necessary permits. The contractor shall be responsible for obtaining all necessary approvals. The contractor shall be responsible for coordinating all utility work. The contractor shall be responsible for protecting all existing conditions. The contractor shall be responsible for maintaining access to all adjacent properties. The contractor shall be responsible for maintaining safety at all times. The contractor shall be responsible for cleaning up after construction. The contractor shall be responsible for obtaining all necessary insurance. The contractor shall be responsible for obtaining all necessary bonds. The contractor shall be responsible for obtaining all necessary permits. The contractor shall be responsible for obtaining all necessary approvals.

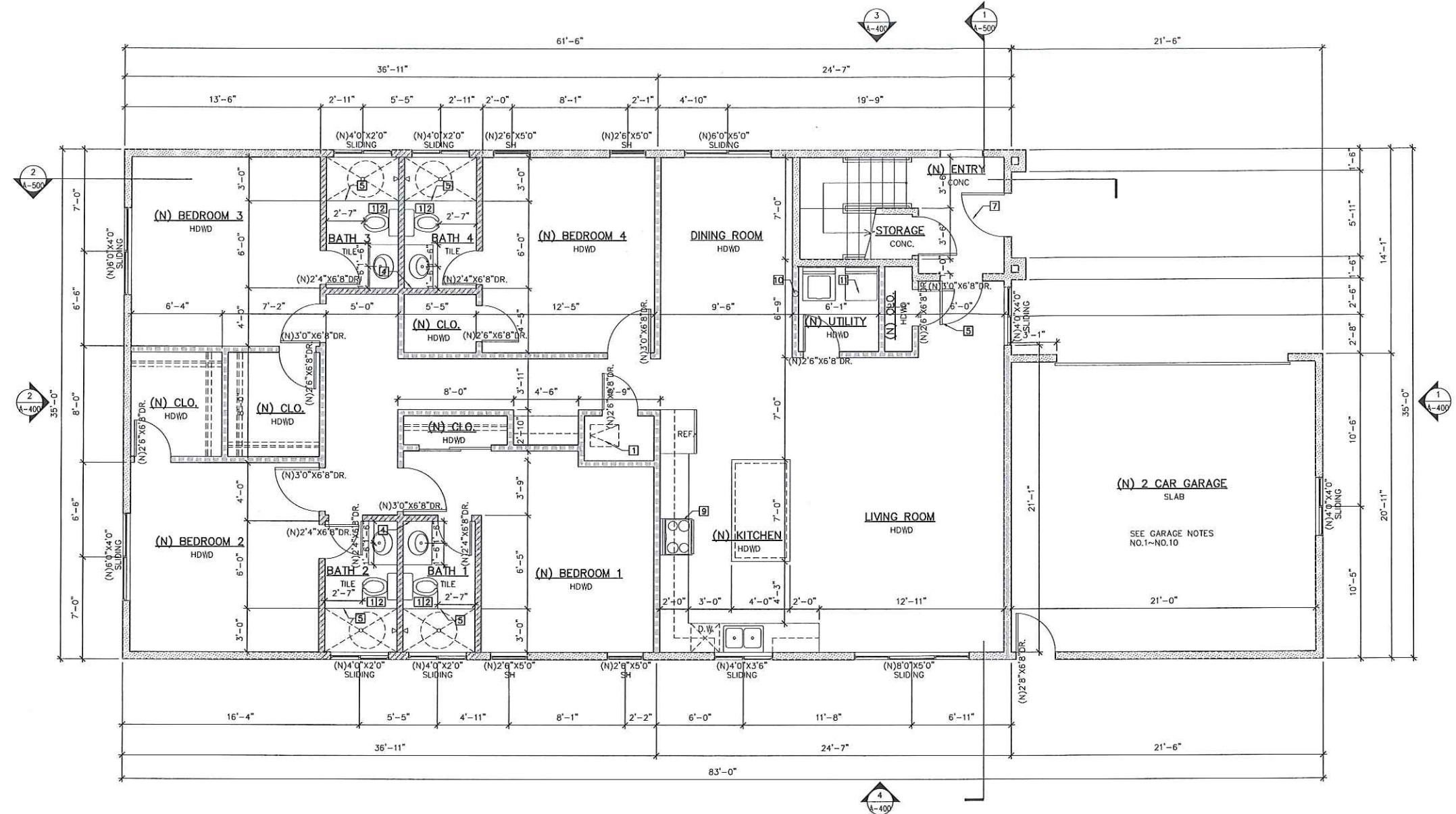


SY-CHENG TSAI C-24234

Duplex Development
 For: Mr. & Mrs. Li
 37136 MAGNOLIA ST., NEWARK, CA 94560

FIRST FLOOR PLAN

DATE:	06/01/17
JOB NO.	TS170528
ISSUE & REVISION	
09/08/17	CITY SUBMITTAL
11/08/17	CITY SUBMITTAL
12/22/17	CITY REV.
SHEET NO.	A-100.1
DRAWN BY:	



FIRST FLOOR PLAN (ELEV. REF. NORTH)
 SCALE: 1/4" = 1'-0"

LEGEND

- NEW EXTERIOR WALL. 2X D.F. WOOD STUDS @ 16" O.C. WITH 7/8" 3-COAT CEMENT PLASTER OVER METAL OVER (2) LAYERS D-GRADE BLDG. PAPER OVER APA RATED 1/2" OSB OR PLYWD SHEATHING AT EXTERIOR SIDE; BATT INSULATION PER T-24 CALCS.; AND 1/2" GYP. BD. AT INTERIOR SIDE
- NEW INTERIOR CEILING HEIGHT PARTITION. 2X D.F. #2 WOOD STUD @ 16" O.C. WITH 1/2" GYP. BD. AT ALL SIDES
- NEW INTERIOR FULL-HEIGHT FIRE-RATED GARAGE/DWELLING SEPARATION WALL. 2X D.F. #2 WOOD STUD @ 16" O.C. WITH R-13 BATT INSULATION & FULL HEIGHT 5/8" TYPE 'X' GYP. BD. CONTINUOUS FROM FOUNDATION TO ROOF SHEATHING AT GARAGE SIDE
- NEW FULL-HEIGHT 1-HOUR FIRE-RATED AREA SEPARATION WALL. 2X D.F. #2 WOOD STUD @ 16" O.C. WITH R-13 BATT INSULATION & FULL HEIGHT 5/8" TYPE 'X' GYP. BD. AT EACH SIDE. PROVIDE 2X SOLID WOOD FIREBLOCKING BETWEEN STUDS AT MAX. 10'-0" HEIGHT
- NEW WINDOW WITH MILGARD OR EQ. LOW-E DUAL PANE GLAZE & VINYL FRAME. REFER TO T-24 CALCULATIONS FOR U-VALUE. TYPICAL SILL HEIGHT: +3'-0" A.F.F.; U.O.N. ON ELEVATIONS
- NEW EXTERIOR/INTERIOR DOOR. DOOR FINISH AND STYLE TO BE SELECTED BY BUILDING OWNER, U.O.N.

FLOOR PLAN GENERAL NOTES

1. DO NOT SCALE DRAWINGS, WRITTEN DIMENSION GOVERN. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT NOTIFY DESIGNER. FLOOR PLAN BY DESIGNER TAKES PRECEDENCE OVER ALL OTHER PLANS. ALL WALLS/PARTITIONS ARE DIMENSIONED FROM FINISH TO FINISH. DIMENSIONS NOTED "CLEAR" OR "CLR" MUST BE ACCURATELY MAINTAINED, AND SHALL NOT VARY MORE THAN ±1/8" WITHOUT WRITTEN INSTRUCTION FROM DESIGNER. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS. DIMENSION TOLERANCE DIMENSIONS MARKED MEAN A TOLERANCE NOT GREATER NOR SMALLER THAN 2 INCHES FROM INDICATED DIMENSION, U.O.N. VERIFY FIELD DIMENSIONS EXCEEDING TOLERANCE WITH THE DESIGNER. SECURE DESIGNER'S APPROVAL.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS PRIOR TO STARTING ANY FIELD WORK.
3. ANY DEVIATION CALLED BY THE FIELD CONDITIONS, OR ANY CONDITIONS DIFFERENT FROM THOSE INDICATED ON PLANS SHALL BE REPORTED IN WRITTEN TO THE DESIGNER OR STRUCTURAL ENGINEER. ANY DISCREPANCY NOT REPORTED TO THE DESIGNER OR STRUCTURAL ENGINEER WILL ABSOLVE THE DESIGNER OR STRUCTURAL ENGINEER FROM ANY LIABILITY.
4. AT ALL PERIMETER CONDITIONS WHERE DEMO OCCURS SHALL BE PATCHED AND REPAIRED. ALL EXISTING WALLS DAMAGED SHALL BE REPAIRED AS REQUIRED.
5. USE 5/8" WONDERBOARD OR "DUROCK" CEMENT BOARD AROUND TUB/SHOWER AREA, KITCHEN & UTILITY ROOM. BOARD SHALL BE MIN. 72" HIGH FROM DRAIN INLET.
6. ALL WINDOW AND EXTERIOR DOORS SHALL DBL. GLAZED. PROVIDE WEATHER-STRIPPED FOR OUT-SWINGING DOOR.

7. NEW TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL, CRC SECTION R308.1
8. WATER HEATER SHALL BE SEISMIC ALLY ANCHORED TO INCLUDE ANCHORS OR STRAPS AT POINTS WITHIN THE UPPER AND LOWER 1/3 OF ITS VERTICAL DIMENSION. THE LOWER STRAPS/ANCHORS LOCATED TO MAINTAIN A MIN. DISTANCE OF 4" ABOVE THE CONTROLS PER CBC REQUIREMENTS.
9. WATER HEATER MUST BE PROVIDED WITH A TEMPERATURE AND PRESSURE RELIEF VALVE HAVING A FULL SIZED DRAIN OF GALVANIZED STEEL OR HAND DRAWN COPPER TO THE OUTSIDE OF THE BLDG. WITH THE END OF THE PIPE NOT MORE THAN (2) TWO FT. OR LESS SIX INCHES ABOVE THE GRADE. POINTING DOWNWARD, THE TERMINAL AND BEING UNTHREADED.
10. FLOOR LEVEL CHANGE SHALL NOT BE MORE THAN 1/2". EXCEPT a) IF STAIRS ARE USED AND DOOR(S) DO NOT SWING OVER THE TOP STEP; b) LANDING AT EXTERIOR DOORWAY PER CRC SEC. R311.3.1
11. GLASS DOOR AND WINDOWS SUBJECT TO HUMAN IMPACT MUST HAVE SAFETY GLAZING, OR PROTECTIVE GRILL.
12. PROVIDE EXHAUST VENTILATION FOR WHOLE-BUILDING MECHANICAL VENTILATION SYSTEM PER 2008 RESIDENTIAL COMPLIANCE MANUAL. EXHAUST FAN MUST SUPPLY 5 AIR CHANGES PER HOUR & MIN. 20CFM IN ALL BATHROOMS. KITCHEN EXHAUST FAN SHALL SUPPLY 5 AIR CHANGES PER HOUR. IF HOOD IS USED AS EXHAUST FAN, IT MUST BE DUCTED TO OUTSIDE. EXHAUST FAN CONTROL SWITCH SHALL BE LABELED & PROPERTY OWNER SHALL PROVIDE WITH INSTRUCTIONS ON HOW TO OPERATE THE SYSTEM
13. PROVIDE HEATING EQUIPMENT SUFFICIENT TO MEET REQUIREMENTS SET FORTH IN CRC SPC. R303.8 AT 3" ABOVE FLOOR. REQUIREMENT IN EACH HABITABLE AREA.
14. HEIGHT OF COMBUSTIBLE MATERIAL ABOVE KITCHEN RANGE SHALL BE 30" (UNPROTECTED) 24" (PROTECTED).
15. WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISHED WALL MATERIALS SHALL HAVE CONSTRUCTED OF MATERIAL NOT ADVERSELY AFFECTED BY WATER (IF GYP. BD.S TO BE USED, IT MUST BE APPROVED W.G. BOARD INSTALLED ACCORDING TO CRC SEC. R702.3.8).
16. THE TUB/SHOWER VALVES SHALL BE PRESSURE BALANCED AND THE TEMP. RATING SET TO 120 DEGREES OR LESS.
17. EMERGENCY ESCAPE WINDOWS FOR SLEEPING ROOMS MUST:
 - a) MIN. NET CLEAR OPERABLE AREA 5.7 SF.
 - b) MIN. NET CLEAR OPERABLE WIDTH 20 INCHES.
 - c) MIN. NET CLEAR OPERABLE HEIGHT 24 INCHES.
 - d) MAX. 44" HEIGHT FROM BOTTOM OF CLEAR OPENING TO THE FINISHED FLOOR
18. INSTALL A SMOOTH METAL DUCT AS DRYER VENT EXHAUST TO OUTSIDE WITH A BACKDRAFT DAMPER.
19. SHOWER STALLS AND TUB ENCLOSURES MUST CONFORM WITH THE REQUIREMENTS PER CPC SEC. 411.7.
20. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MIN. 36" AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS, ATTIC VENTS OR ANY OPENINGS INTO THE BUILDING PER CMC 504.5

UNDER-FLOOR VENTILATION CALCULATION (PER CRC CHAPTER 4, SECTION R408.1)

VENTILATION AREA REQUIRED	2,152 S.F./150 = 14.5 S.F.
VENTILATION AREA PROVIDED	15' x 5' x (28) EA. = 14.5 S.F.

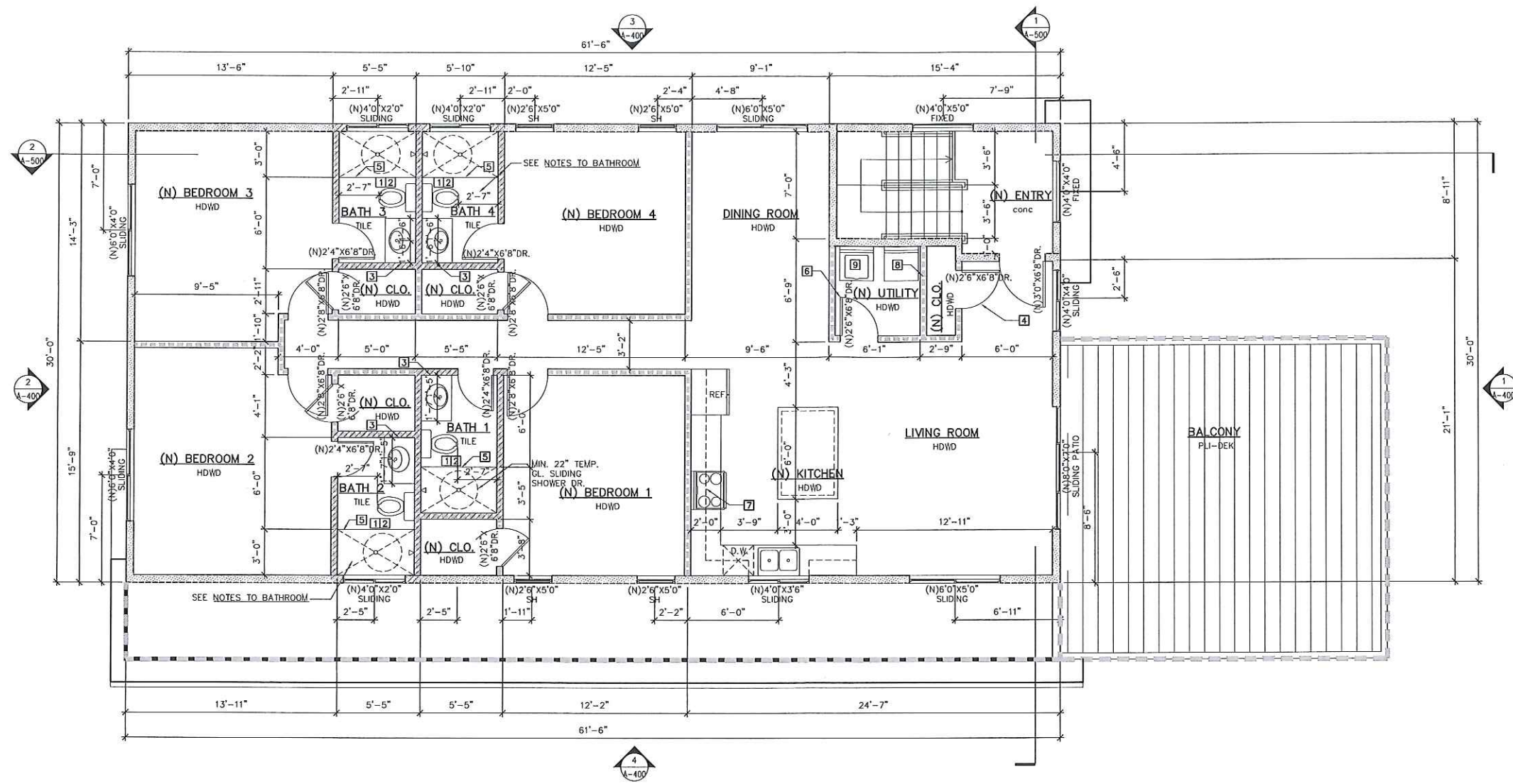
PLUMBING FIXTURE NOTES (PER 2013 CALGREEN CODE)

1. TOILET SHALL NOT EXCEED 1.28 GALLONS PER FLUSH.
2. SHOWERHEADS SHALL HAVE A MAX. FLOW RATE OF NOT MORE THAN 2 GALLONS PER MINUTE AT 80 PSI. WHEN A SHOWER IS SERVED BY MORE THAN 1 SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALE SHALL MAX. 2 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY 1 SHOWER OUTLET TO BE IN OPERATE AT A TIME.
3. LAVATORY FAUCET FLOW RATE SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI. AND SHALL BE MIN. 0.8 GALLONS PER MINUTE AT 20 PSI.
4. LAVATORY FAUCET FLOW RATE LOCATED AT OUTSIDE OF BEDROOM SHALL NOT EXCEED 0.5 GALLONS PER MINUTE AT 60 PSI.
5. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH:
 - a) EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT & BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 - b) EXHAUST FAN MUST BE CONTROLLED BY HUMIDITY CONTROL.
 - i. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF < 50% TO A MAX. OF 80%. A HUMIDITY CONTROL MAY UNLITZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.
 - ii. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN & IS NOT REQUIRED TO BE INTEGRAL.
6. KITCHEN FAUCET FLOW RATE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI.

KEY NOTES

1. PROVIDE A NEW 18"x24" FLOOR ACCESS AT THIS LOCATION
2. NEW TOILET, LAVATORY SINK, FAUCET & SHOWER HEADER PER "PLUMBING NOTES" ON THIS SHEET
3. NEW NON-ABSORBENT CERAMIC WALL TILE SHALL BE MIN. 72" HT. ABOVE SHOWER/TUB DRAIN INLET. TILE COLOR TO BE SELECTED BY OWNER. U.O.N. REFER TO FLOOR PLAN GENERAL NOTE #5 FOR WALL BACKING REQUIREMENT
4. INSTALL RECESSED MEDICINE CABINET W/MIRROR DOOR
5. 20-MIN. FIRE-RATED 1-3/4" SOLID CORE WOOD DOOR. LOCKSET SHALL BE FREE OPEN FROM THE INSIDE OF HOUSE WITHOUT USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT.
6. PROVIDE NEW MIN. 22" WIDTH TEMPERED GLASS SHOWER DOOR
7. NEW CONCRETE STEP SHALL BE 2% SLOPE DOWN AWAY FROM THE STRUCTURE AT MAX. 7-3/4" IN HEIGHT
8. PROVIDE MIN. 100 SQUARE INCHES LOUVER OPENING ON DOOR FOR MAKEUP AIR
9. KITCHEN HOOD DUCTED TO OUTSIDE (MIN. 5" FLEX DUCT WITH A MAX. LENGTH OF 35 FT.) WITH A MIN. VENTILATION RATE OF 100 CFM. HOOD TO HAVE BACKDRAFT DAMPER
10. PROVIDE CLOTHES DRYER VENT TO OUTSIDE WITH A MIN. LENGTH 14'-0" EQUIPPED WITH A BACK-DRAFT DAMPER INCLUDING (2) 90-DEGREE ELBOWS & A MIN. 4" PER CMC 504.3.1
11. INSTALL (N) UL LISTED DIRECT-VENT GAS BURN FURNACE ON 18" HT. WOOD FRAMED PLYWOOD DECK. USE COMBUSTION AIR FROM OUTDOOR METHOD PER 2013 C.M.C. - INLET AIR FROM VENTILATED CRAWL SPACE & OUTLET AIR THROUGH WALL TO VENTILATED ATTIC

EXHIBIT Ap5



SECOND FLOOR PLAN 
SCALE: 1/4" = 1'-0"

KEY NOTES

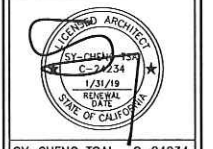
- [1] NEW TOILET, LAVATORY SINK, FAUCET & SHOWER HEADER PER "PLUMBING NOTES" ON THIS SHEET
- [2] NEW NON-ABSORBENT CERAMIC WALL TILE SHALL BE MIN. 72" HT. ABOVE SHOWER/TUB DRAIN INLET. TILE COLOR TO BE SELECTED BY OWNER. U.O.N. REFER TO FLOOR PLAN GENERAL NOTE #5 FOR WALL BACKING REQUIREMENT
- [3] INSTALL RECESSED MEDICINE CABINET W/MIRROR DOOR
- [4] 20-MIN. FIRE-RATED 1-3/4" SOLID CORE WOOD DOOR. LOCKSET SHALL BE FREE OPEN FROM THE INSIDE OF HOUSE WITHOUT USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT.
- [5] PROVIDE NEW MIN. 22" WIDTH TEMPERED GLASS SHOWER DOOR
- [6] PROVIDE MIN. 100 SQUARE INCHES LOUVER OPENING ON DOOR FOR MAKEUP AIR
- [7] KITCHEN HOOD DUCTED TO OUTSIDE (MIN. 5" FLEX DUCT WITH A MAX. LENGTH OF 35 FT.) WITH A MIN. VENTILATION RATE OF 100 CFM. HOOD TO HAVE BACKDRAFT DAMPER
- [8] PROVIDE CLOTHES DRYER VENT TO OUTSIDE WITH A MIN. LENGTH 14'-0" EQUIPPED WITH A BACK-DRAFT DAMPER INCLUDING (2) 90-DEGREE ELBOWS & A MIN. 4" PER CMC 504.3.1
- [9] INSTALL (N) UL LISTED FURNACE FOR ATTIC INSTALLATION AS FOLLOWING:
 - a. PROVIDE MINIMUM 24" WIDE 3/4" PLYWOOD NAILED TO FRAMING WITH 8d NAILS @ 6" O.C. AT EDGE & 12" O.C. IN FIELD WITH A35 CLIPS @ EACH CORNER OF UNIT.
 - b. PROVIDE A LEVEL SERVICE SPACE MINIMUM 30" DEEP X 30" WIDE LOCATED AT THE FRONT OR SERVICE SIDE OF THE UNIT.
 - c. PROVIDE UNOBSTRUCTED PASSAGEWAY WITH MINIMUM 30" H. X 30" W. THE UNIT SHALL BE LOCATED WITHIN MAX. 20'-0" IN LENGTH FROM ACCESS OPENING.
 - d. PROVIDE ELECTRICAL POWER PER MER. REQUIREMENTS

REFER TO SHEET A-100.1 FOR FLOOR PLAN LEGEND, GENERAL NOTES AND PLUMBING FIXTURE NOTES

EXHIBIT *ApG*

T SQUARE CONSULTING GROUP, Inc.
2050 CONCOURSE DRIVE, #50 TEL: (408) 321-9888
SAN JOSE, CA 95131-1892 FAX: (408) 321-9987

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SY-CHENG TSAI C-24234

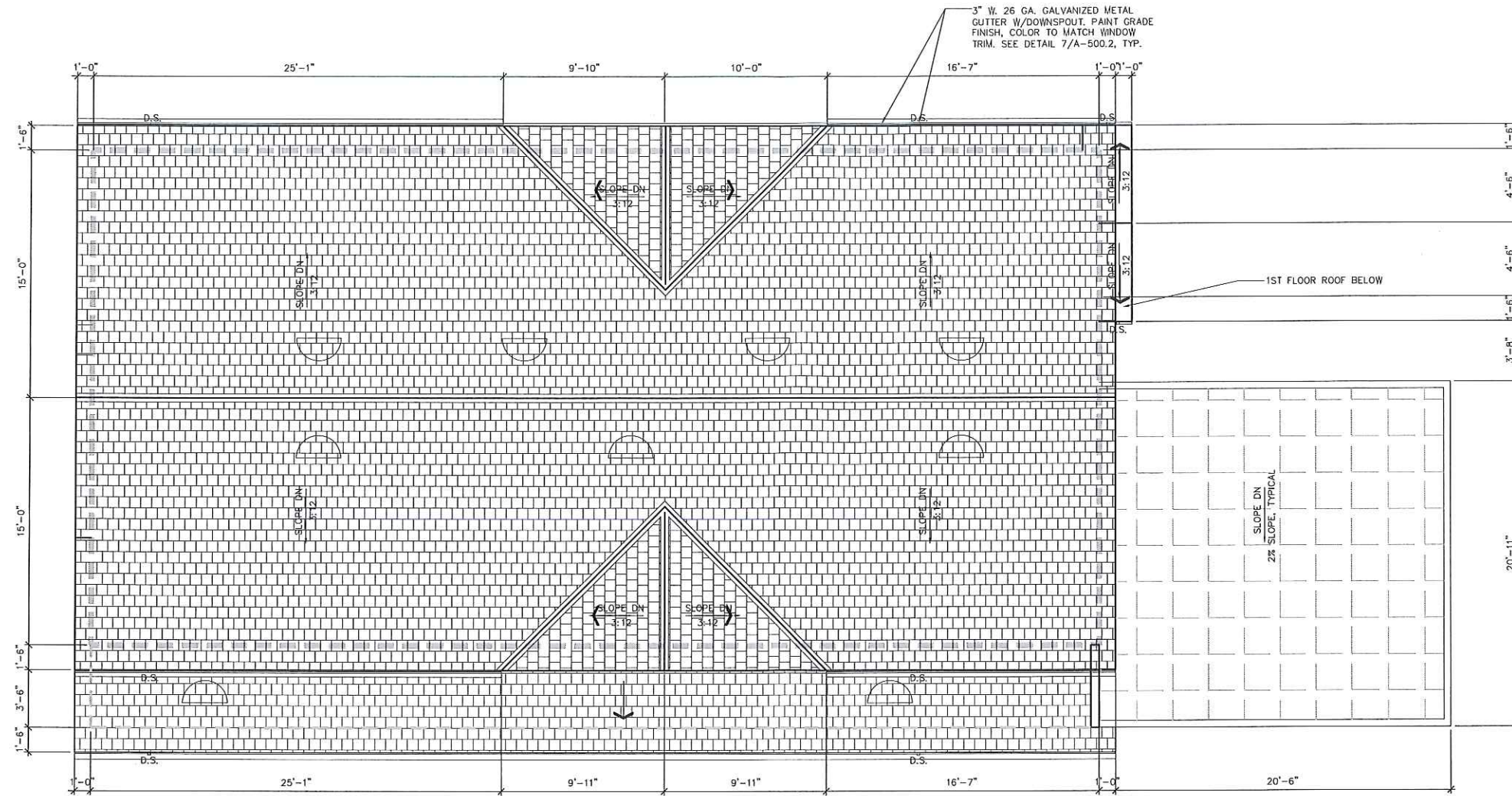
Duplex Development
For: Mr. & Mrs. Li
37136 MAGNOLIA ST., NEWARK, CA 94560

SECOND FLOOR PLAN

DATE: 06/01/17
JOB NO. TS170528

ISSUE & REVISION		
NO.	DATE	DESCRIPTION
1	09/08/17	CITY SUBMITTAL
2	11/08/17	CITY SUBMITTAL
3	12/22/17	CITY REV.
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SHEET NO.
A-100.2
DRAWN BY:



ROOF PLAN 
 SCALE : 1/8" = 1'-0"

ATTIC SPACE VENTILATION CALCULATION (PER CRC SECTION R806.2)			
NEW ATTIC SPACE AREA (1ST FLOOR)	697 S.F.	NEW ATTIC SPACE AREA (2ND FLOOR)	1,792 S.F.
VENT AREA REQUIRED:	697/150 = 4.6 S.F.	VENT AREA REQUIRED:	1,792/150 = 12 S.F.
EAVE VENT BLOCK	REQUIRED: 4.6 X 50% = 2.3 S.F. PROVIDED: 21 X (16) PICECS = 2.3 S.F. (NOTE: BLOCKS SHALL BE PLACED CROSS ATTIC AT ALL SIDES OF EAVE) EAVE VENTILATION BLOCK: 21 S.I. NET FREE AREA PER PICE (SEE DETAIL 7/A-600.5)	EAVE VENT BLOCK	REQUIRED: 12 X 50% = 6 S.F. PROVIDED: 21 X (42) PICECS = 6 S.F. (NOTE: BLOCKS SHALL BE PLACED CROSS ATTIC AT ALL SIDES OF EAVE) EAVE VENTILATION BLOCK: 21 S.I. NET FREE AREA PER PICE (SEE DETAIL 7/A-600.5)
ROOF VENT	REQUIRED: 6.4 X 50% = 2.3 S.F. PROVIDED: 0.95 S.F. X (3) PICECS = 2.8 S.F. (36" Ø HALF ROUND DORMER VENT)	ROOF VENT	REQUIRED: 12 X 50% = 6 S.F. PROVIDED: 0.95 S.F. X (7) PICECS = 6.6 S.F. (36" Ø HALF ROUND DORMER VENT)
		GABLE LOUVER VENTILATION PROVIDED:	12" W. X 18" H. ATTIC LOUVER VENT COVERED WITH CORROSION-RESISTANT WIRE MESH OPENINGS OF 1/8" MIN. AND 1/4" MAX IN DIMENSION

LEGEND

-  NEW CLASS-B COMPOSITION SHINGLES ROOF WITH:
 - (2) LAYER OF #15 ASPHALT FELT BUILDING PAPER
 - 1/2" CDX (OSB) PLYWOOD SHEATHING, 5 PLY.
 - WOOD RAFTER FRAME, SEE ROOF PLAN
 - R-30 BATT INSULATION
-  DENOTE DIRECTION OF DRAINAGE
- D.S. (N) 26GA. GALVANIZE SHEET METAL DOWNSPOUT



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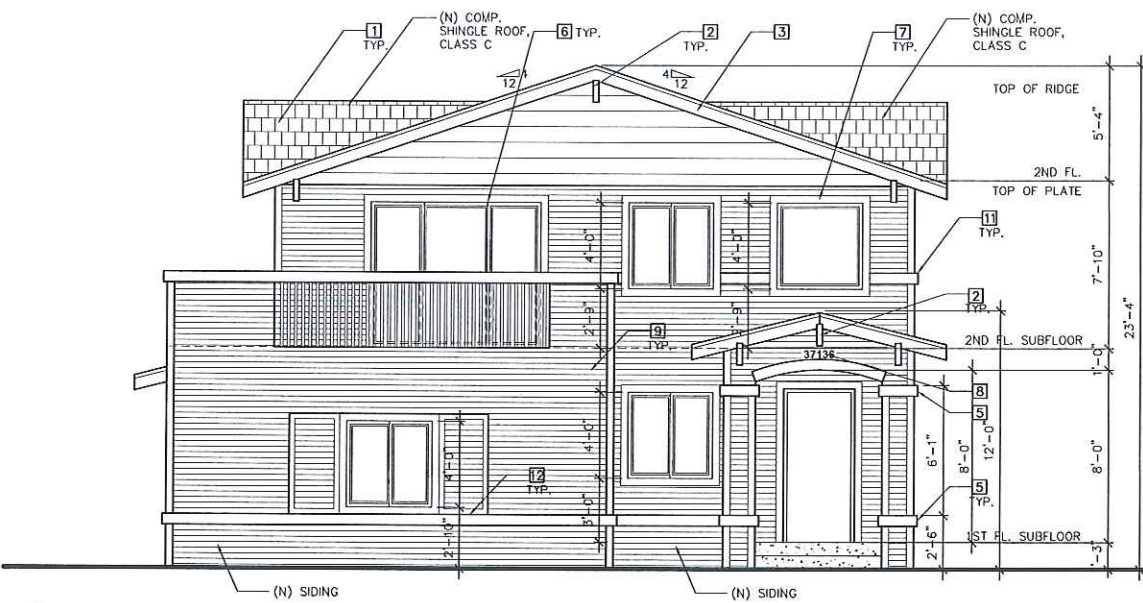
Duplex Development
 For: Mr. & Mrs. Li
 37136 MAGNOLIA ST., NEWARK, CA 94560

ROOF PLAN

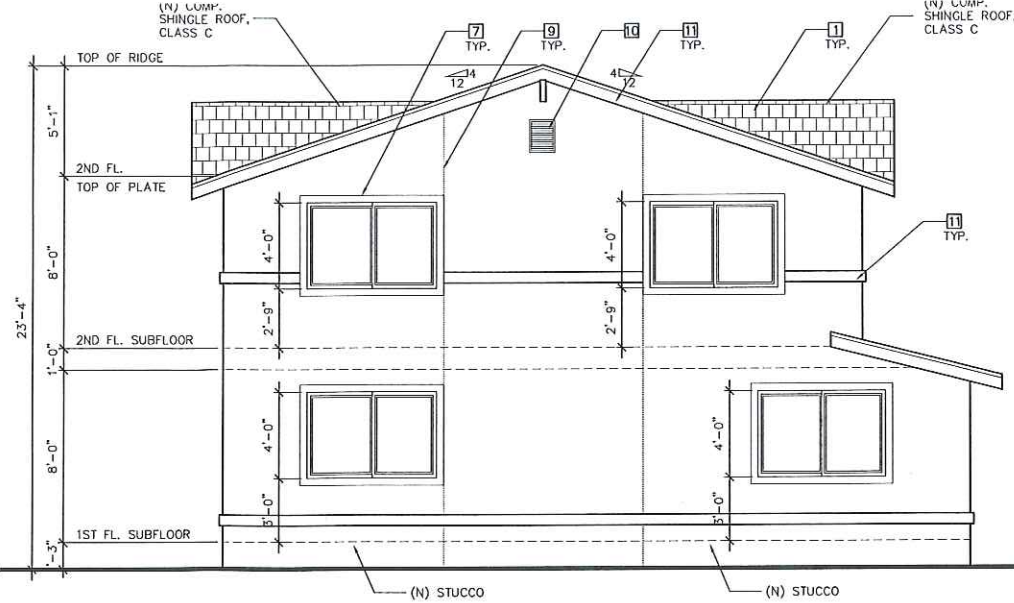
DATE:	06/01/17
JOB NO.	TS170528
ISSUE & REVISION	
09/08/17	CITY SUBMITTAL
1 11/08/17	CITY SUBMITTAL
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A-200
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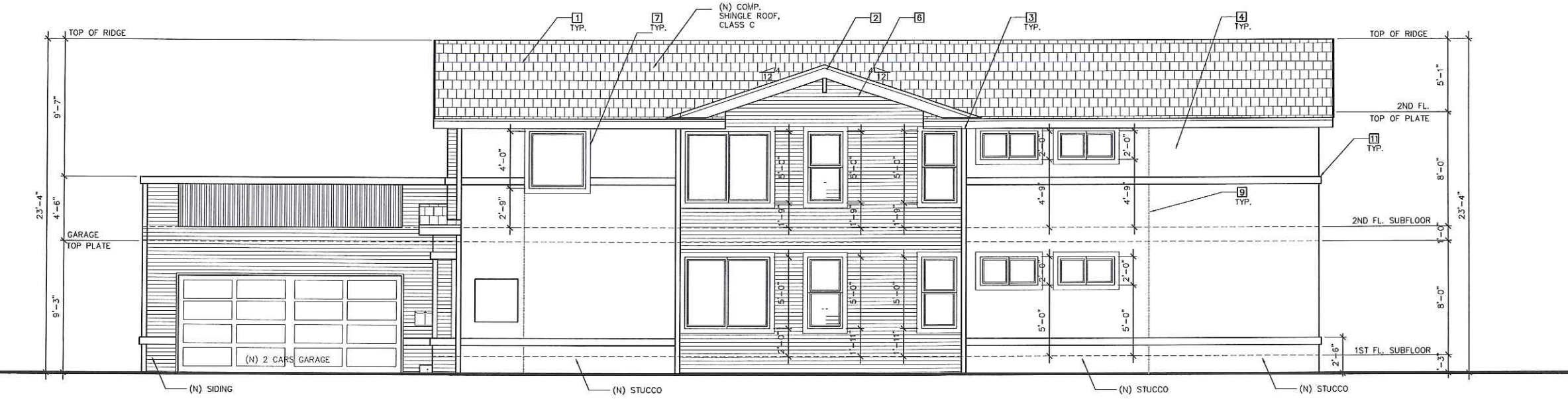
EXHIBIT Ap7



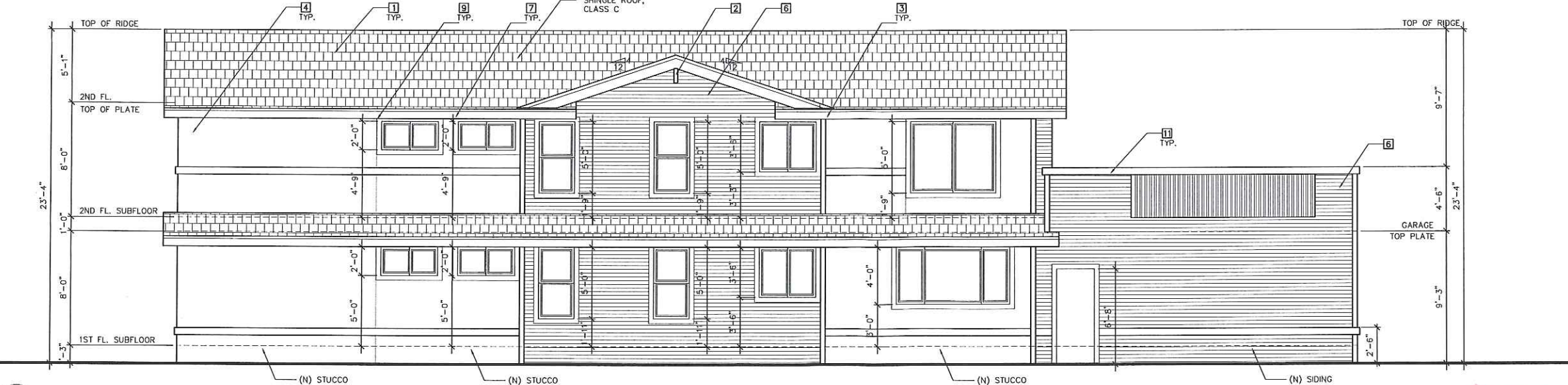
1 1/4"=1'-0"
FRONT ELEVATION



2 1/4"=1'-0"
REAR ELEVATION



3 1/4"=1'-0"
RIGHT ELEVATION



4 1/4"=1'-0"
LEET ELEVATION

BUILDING ELEV. KEY NOTES

- KEYED NOTES DESIGNATED BY []
ALL MATERIAL COLOR SEE SHEET A.400 COLOR SCHEDULE
- [1] NEW GLASS-B SHINGLE ROOF.
 - [2] DECORATIVE 4X12 FOAM BRACKET WITH PAINT GRADE FINISH
 - [3] DECORATIVE 2X6 WOOD TRIM WITH PAINT GRADE FINISH
 - [4] EXTERIOR CEMENT PLASTER FINISH WITH FINE TEXTURE
 - [5] 2X2 WOOD TRIM WITH PAINTED GRADE FINISH.
 - [6] VINYL WOOD-LOOK SIDING
 - [7] 2X4 WOOD WINDOW MOLDING WITH PAINT GRADE FINISH.
 - [8] ILLUMINATE STREET NUMBER. SIZE PER LOCAL FIRE DEPARTMENT REQUIREMENTS
 - [9] STUCCO EXPANSION JOINT
 - [10] 12"W.X18"H. ATIC VENT LOUVER WITH PAINTED WOOD TRIM
 - [11] 2X4 WOOD TRIM WITH PAINTED GRADE FINISH.
 - [12] 24"W. X HT. TO MATCH WINDOW TRIM WOOD DECORATIVE SHUTTER. PAINTED GRADE FINISH.

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2050 CONCOURSE DRIVE, #50 TEL (408) 321-9988
SAN JOSE, CA 95131-1892 FAX (408) 321-9987

Professional Engineer Seal for SY-CHENG TSAI, License No. C-24234, State of California.

Duplex Development
For: Mr. & Mrs. Li
37136 MAGNOLIA ST., NEWARK, CA 94560

EXTERIOR ELEVATIONS

DATE: 06/01/17
JOB NO. TS170528

ISSUE & REVISION	
09/08/17	CITY SUBMITTAL
1 11/08/17	CITY SUBMITTAL
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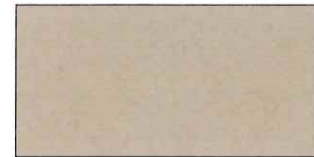
SHEET NO.
A-300
DRAWN BY:

EXHIBIT Ap8

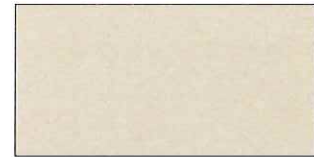
EXTERIOR FINISH SCHEDULE:

- A NEW CLASS-B SHINGLE ROOF
- B EXTERIOR CEMENT PLASTER FINISH SMOOTH FINISH
- C VINYL WOOD-LOOK SIDING
- D 2X4 WOOD WINDOW MOLDING W/ PAINT GRADE FINISH
- E ILLUMINATED STREET NUMBER, SIZE PER LOCAL FIRE DEPT. REQ.
- F STUCCO EXPANSION JOINTS
- G 12"W.X18"H. ATTIC VENT LOUVRE W/ PAINTED WOOD TRIM
- H 32"W.X56"H. TO MATCH WINDOW TRIM WOOD DECORATIVE SHUTTER W/ PAINT GRADE FINISH
- I 2X2 WOOD BALUSTER W/ PAINT GRADE FINISH

EXTERIOR PAINT COLOR SCHEDULE:



1 SHERWIN-WILLIAMS SW 7543 AVENUE TAN



2 SHERWIN-WILLIAMS SW 6155 RICE GRAIN



3 SHERWIN-WILLIAMS SW 700B ALABASTER



4 SHERWIN-WILLIAMS SW 7591 RED BARN

MATERIAL SCHEDULE:



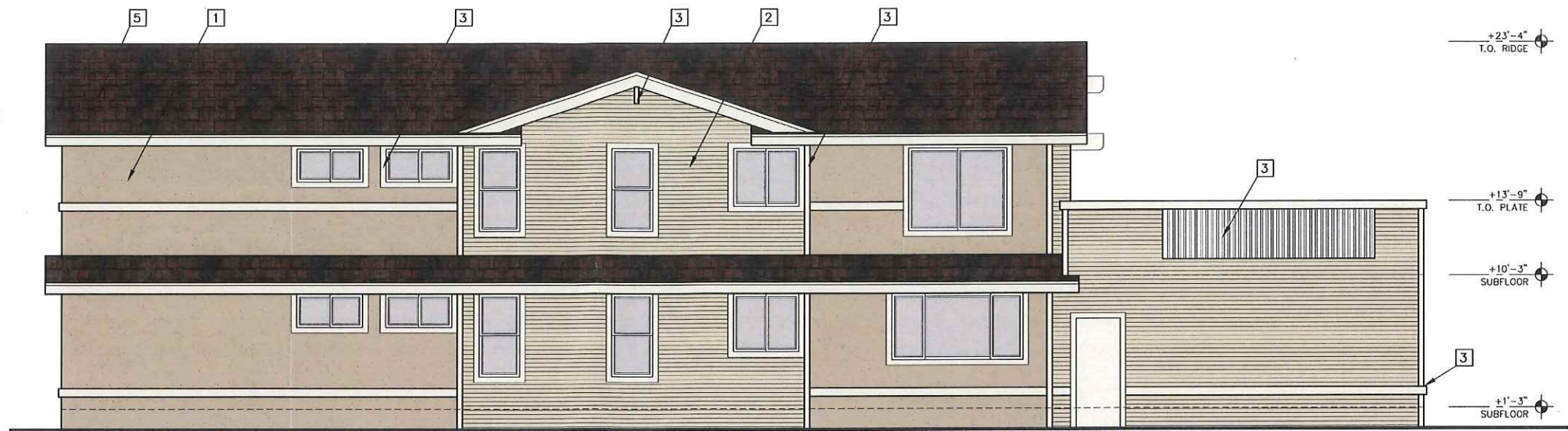
5 CHAPARRAL CEDAR PRESIDENTIAL SHAKE SHINGLES BY CERTAINTEED



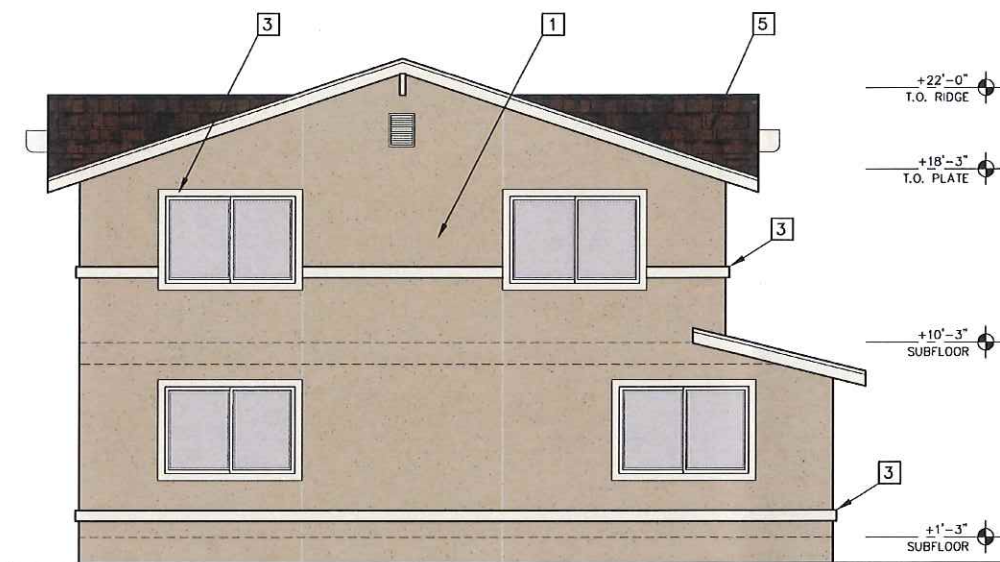
1 STUCCO, SMOOTH FINISH



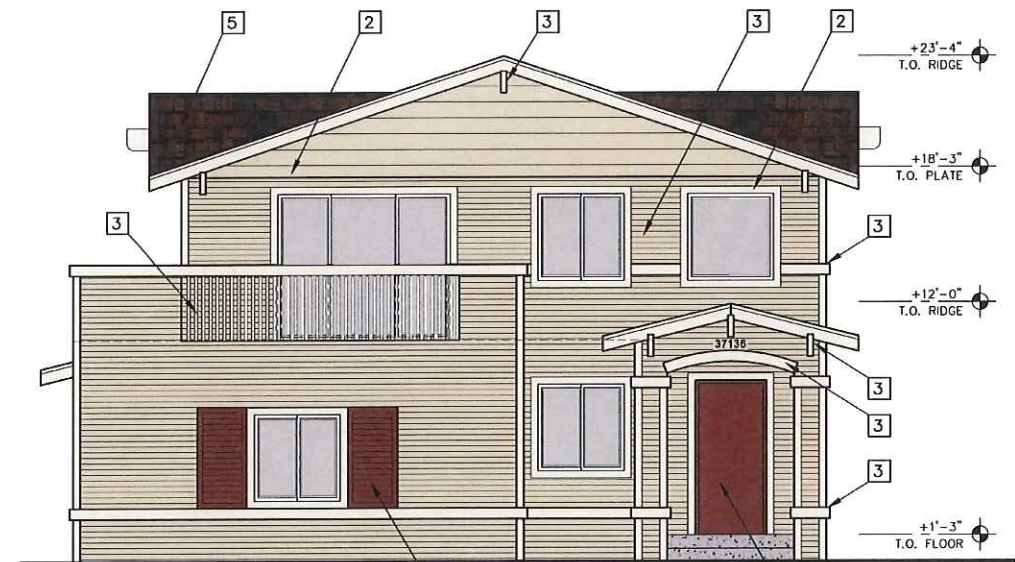
2 ENCORE HORIZONTAL VINYL SIDING BY CERTAINTEED



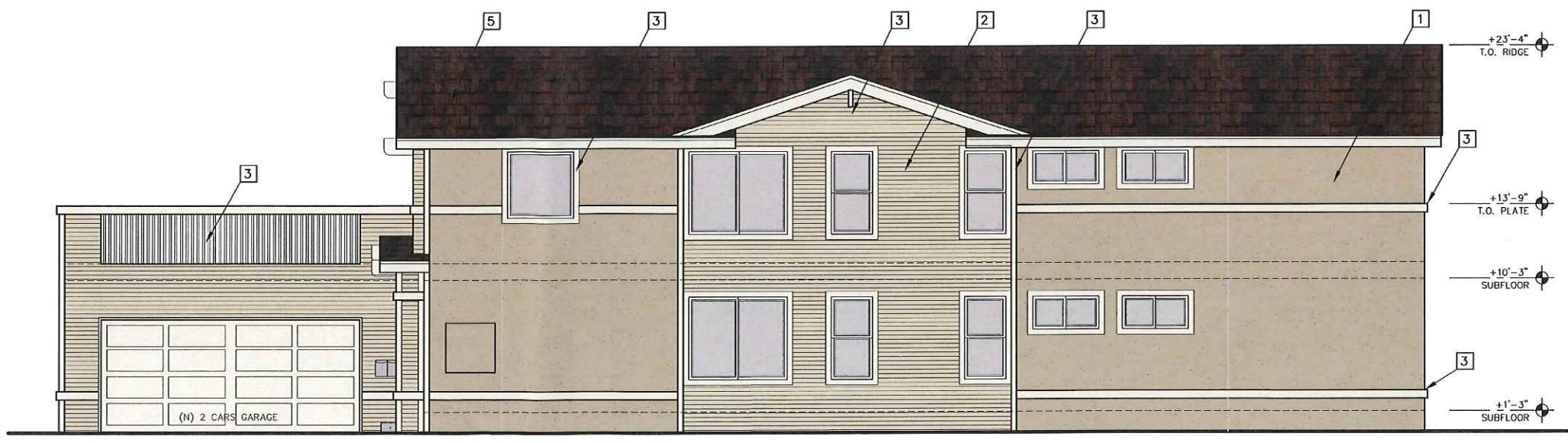
1 1/4"=1'-0" WEST ELEVATION (RIGHT)



4 1/4"=1'-0" NORTH ELEVATION (REAR)



2 1/4"=1'-0" SOUTH ELEVATION (FRONT)



3 1/4"=1'-0" EAST ELEVATION (LEFT)



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 2650 CONCOURSE DRIVE, #50 SAN JOSE, CA 95131-1852
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SY-CHENG TSAI C-24234

Duplex Development
 For: **Mr. & Mrs. Li**
 37136 MAGNOLIA ST., NEWARK, CA 94560

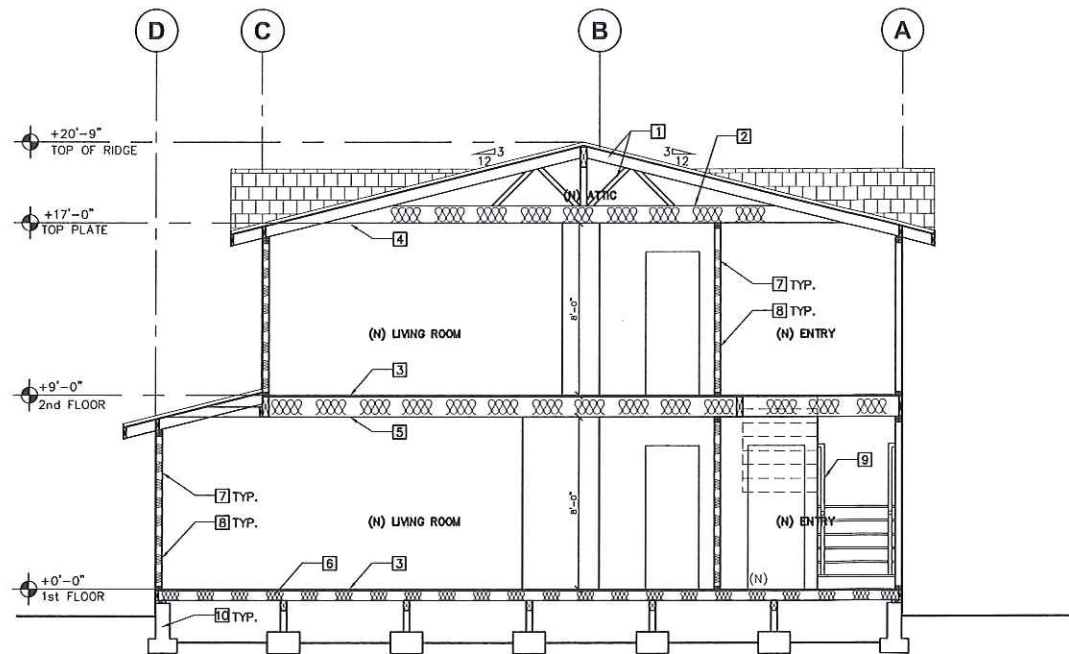
COLOR BOARD

DATE: 06/01/17
 JOB NO. TS170528

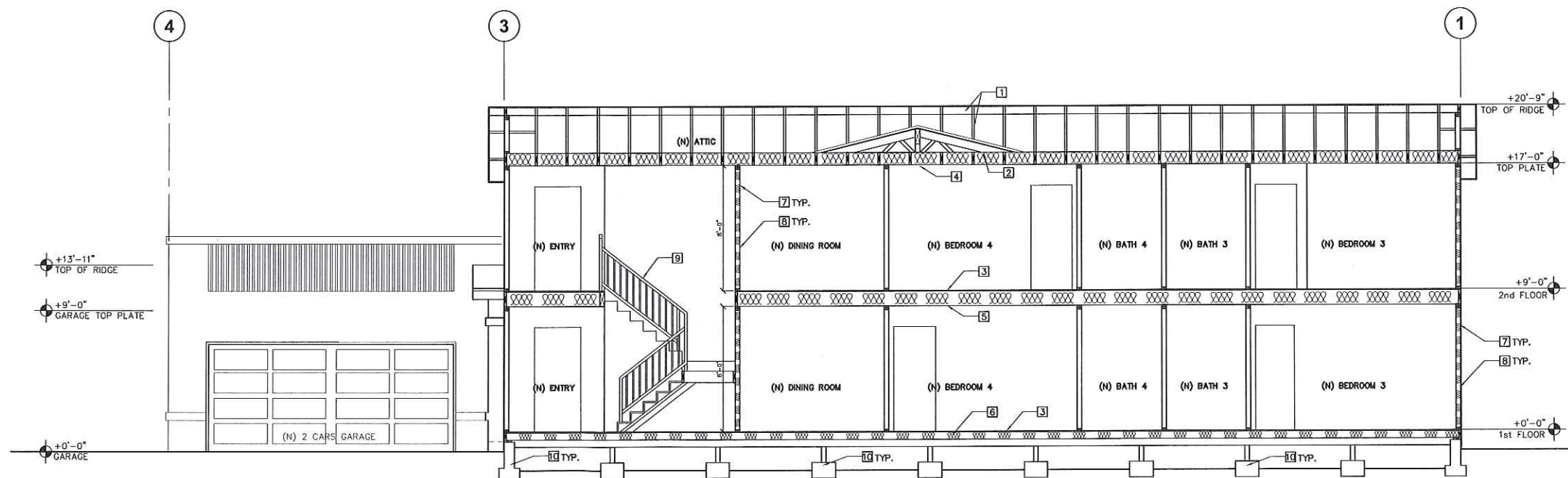
ISSUE & REVISION	
09/08/17	CITY SUBMITAL
1 11/08/17	CITY SUBMITAL
2 12/22/17	CITY REV.
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SHEET NO. **A-400**
 DRAWN BY: CY

EXHIBIT Ap9



1 BUILDING CROSS SECTION
1/4"=1'-0"



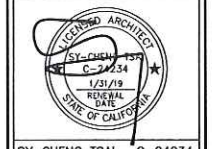
2 BUILDING CROSS SECTION
1/4"=1'-0"

BUILDING CROSS SECTION KEY NOTES

- 1 NEW ROOF FRAMING PER STRUCT. DWGS.
- 2 NEW CEILING JOIST PER STRUCT. DWGS.
- 3 NEW FLOOR JOIST & FLOOR SHEATHING PER STRUCT. DWGS.
- 4 NEW R-30 BATT INSULATION
- 5 NEW 5/8" TYP. "X" GYP. BD. ON ENTIRE 1ST FLOOR CEILING, (ONE HOUR RATED)
- 6 NEW R-19 BATT INSULATION
- 7 WALL FRAMING PER STRUCT. DWGS.
- 8 NEW R-13 BATT INSULATION
- 9 (N) +36" HT. STEEL PIPE HANDRAIL. SEE SHEET A-600.3 FOR MORE STAIR CONSTRUCTION DETAILS AND NOTES
- 10 NEW FOUNDATION PER STRUCT. DWGS.

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BUILDING CROSS SECTION

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SHEET NO.
A-500
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EXHIBIT Ap10