

MAGNOLIA STREET



BAINE AVENUE



OLIVE STREET

EXHIBIT A p13



REVISIONS	BY
PLANNING 10-4-18	
PLANNING 11-5-18	

**HOMETEC**  
ARCHITECTURE, INC.  
555-B Meridian Avenue, San Jose, CA 95126

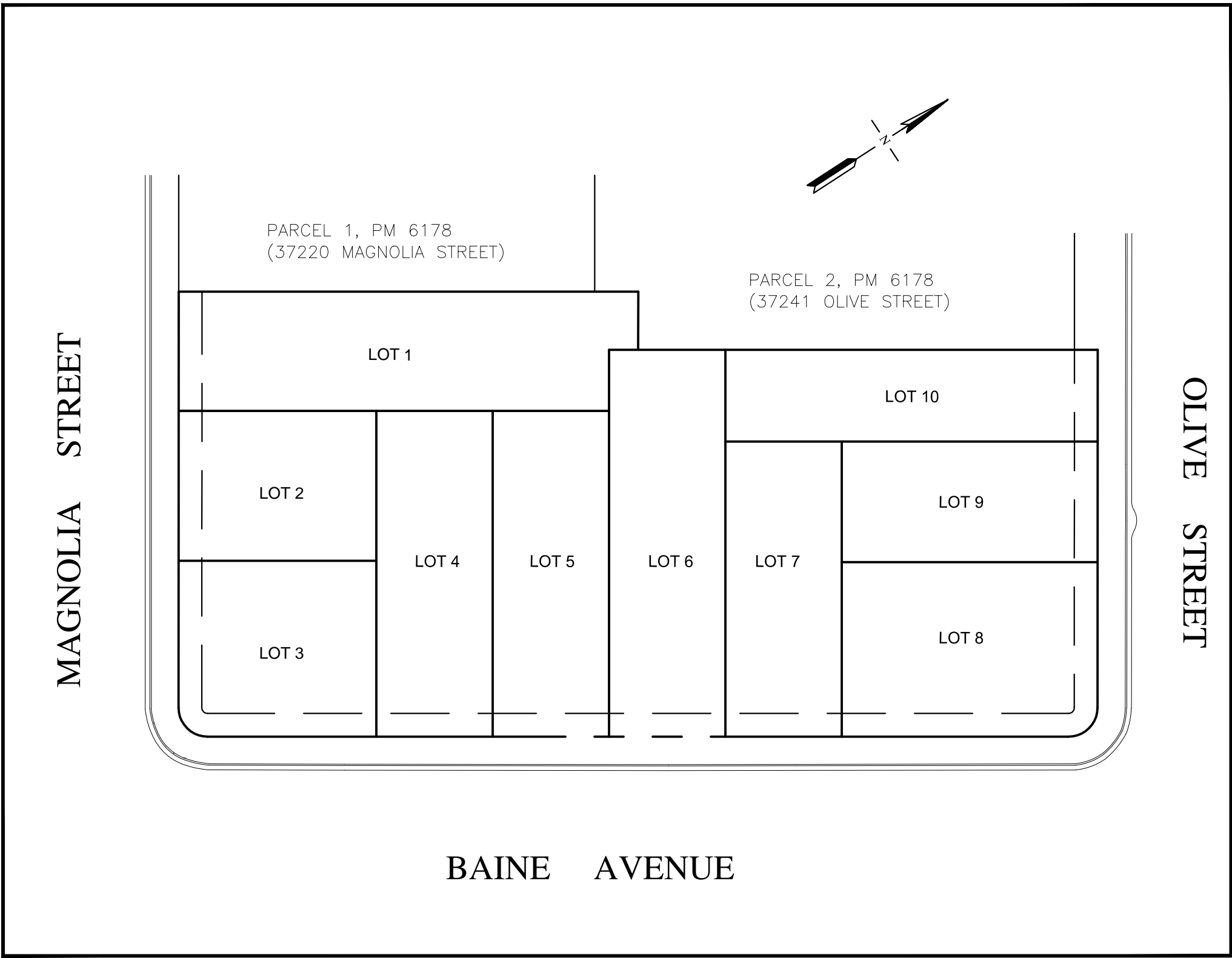
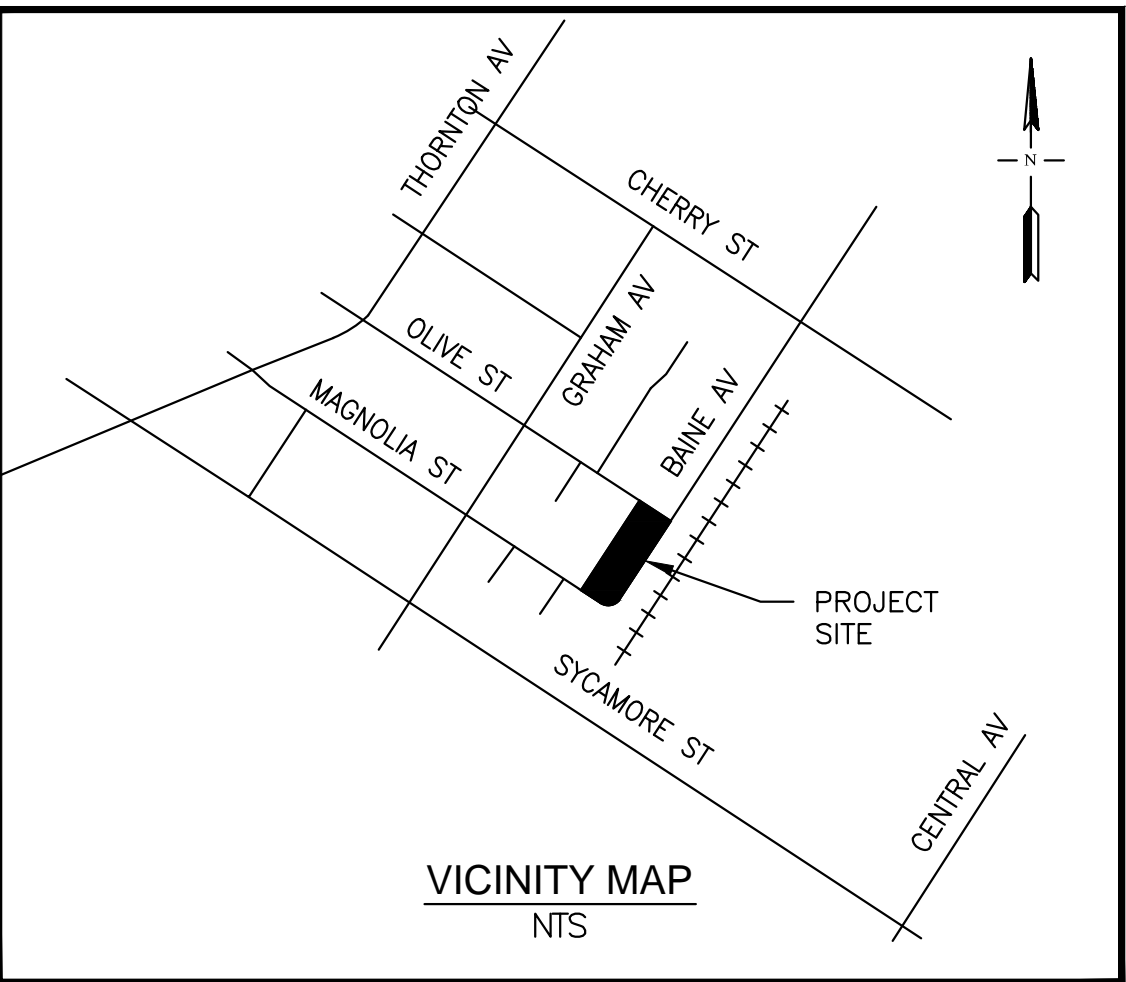
RICHARD A. HARTMAN  
A.L.A.  
408.995.1496  
HometecArch@gmail.com

10 NEW HOMES FOR:  
**Goldsilverisland Homes, LLC**  
37280 Magnolia Street Newark, CA 94560

Date	8-1-18
Scale	1/8" = 1'-0"
Drawn	RAH
Job	18-002
Sheet	<b>A-12</b>
of	Sheets

# VESTING TENTATIVE TRACT MAP 8494 FOR A 10-LOT SUBDIVISION

## 37280 MAGNOLIA STREET CITY OF NEWARK, ALAMEDA COUNTY, CA NOVEMBER 2018



**OVERALL SITE MAP**

SCALE: 1"=40'

**GENERAL NOTES:**

- OWNER/APPLICANT: YING-MING LI  
(408) 896-3369  
yingming642@hotmail.com
- CIVIL ENGINEER & LAND SURVEYOR: ROBERT Y. WANG C50541 & LS8931  
RW ENGINEERING, INC.  
505 ALTAMONT DRIVE  
MILPITAS, CA 95035  
(408) 262-1899  
rwengineering@gmail.com
- APN: 092-0061-012-01, 092-0061-012-02 & 092-0061-011
- EXISTING ZONING: MR: RESIDENTIAL MEDIUM DENSITY
- PROPOSED ZONING: PD: PLANNED DEVELOPMENT OVERLAY DISTRICT
- PROPOSED USE: TEN (10) SINGLE FAMILY RESIDENTIAL UNITS
- WATER: ALAMEDA COUNTY WATER DISTRICT
- STORM & SEWER (ON-SITE): PRIVATE
- STORM (OFF-SITE): CITY OF NEWARK
- SEWER (OFF-SITE): UNION SANITARY DISTRICT
- GAS & ELECTRIC: PG&E
- TELEPHONE: AT&T
- CABLE TV: AT&T
- SOLID WASTE & RECYCLING: REPUBLIC SERVICES
- TOTAL ACREAGE OF PROPOSED SUBDIVISION: 1.04 ACRES± (45,182 S.F.±) AFTER STREET ABANDONMENT  
0.93 ACRE± (40,494 S.F.±) BEFORE STREET ABANDONMENT
- STREET TREE: ONE PER LOT
- STREET NAME: NO NEW STREET NAMES ARE PROPOSED.
- FLOOD ZONE: ZONE X UNSHADED.
- GEOLOGICAL HAZARD ZONE: SEISMIC HAZARD ZONE.
- EXISTING WELLS ON SITE: NONE.
- MAINTENANCE:
  1. MAINTENANCE RESPONSIBILITIES FOR STORMWATER TREATMENT FACILITIES AND THE FULL TRASH CAPTURE DEVICE ON OLIVE STREET WILL BE BY THE HOMEOWNER'S ASSOCIATION AND SPELLED OUT IN THE COVENANTS, CONDITIONS, AND RESTRICTIONS (CC&Rs). CC&Rs SHALL BE REVIEWED & APPROVED BY THE CITY PRIOR TO RECORDATION.
  2. MAINTENANCE OF LANDSCAPE PLANTER BETWEEN BACK OF CURB AND FRONT OF SIDEWALK ALONG MAGNOLIA STREET, BAINE AVENUE, AND OLIVE STREET SHALL BE THE RESPONSIBILITY OF HOMEOWNER'S ASSOCIATION.

**SHEET INDEX**

NO.	DESCRIPTION
C-1	COVER SHEET
C-2	LOT PLAN
C-3	PRELIMINARY GRADING & DRAINAGE PLAN
C-4	PRELIMINARY STORMWATER CONTROL PLAN
C-5	PRELIMINARY UTILITY PLAN
L-1	PRELIMINARY LANDSCAPE PLAN
L-2	PROPOSED TREE IMAGES

**APPLICABLE STANDARD DETAILS**

SD-104	CURB & GUTTER
SD-106-1	DRIVEWAY-TYPE R
SD-108	SIDEWALK
SD-110	ASPHALT PLANING DETAIL
SD-122	ELECTROLIER
SD-123	ELECTROLIER BASE
SD-201	STREET PLANTING DETAIL



# VESTING TENTATIVE TRACT MAP 8494

**ABBREVIATION**

A.B.	AGGREGATE BASE	LF	LINEAL FEET
AC	ASPHALT CONCRETE	MAX.	MAXIMUM
AD	AREA DRAIN	MH	MANHOLE
BC	BEGINNING OF CURVE	MIN.	MINIMUM
BM	BENCHMARK	MON	MONUMENT
BSW	BACK OF SIDEWALK	(N)	NEW
BW	BOTTOM OF WALL	NO.	NUMBER
CB	CATCH BASIN	N.T.S.	NOT TO SCALE
C&G	CURB AND GUTTER	OG	ORIGINAL GROUND
CL	CENTER LINE	P.S.E.	PUBLIC SERVICE EASEMENT
CO	CLEAN OUT	PL	PROPERTY LINE
CONC	CONCRETE	P.P.	POWER POLE
CY	CUBIC YARD	P.U.E.	PUBLIC UTILITY EASEMENT
DI	DROP INLET	P.V.C.	POLYVINYL CHLORIDE
D.I.P.	DUCTILE IRON PIPE	R	RADIUS
D/W	DRIVEWAY	R.C.P.	REINFORCED CONCRETE PIPE
EA	EACH	R/W	RIGHT OF WAY
EC	END OF CURVE	SD	STORM DRAIN
EL	ELEVATIONS	SHT.	SHEET
EG	EXISTING GROUND ELEVATION	SPEC.	SPECIFICATION
EP	EDGE OF PAVEMENT	SS	SANITARY SEWER
EX/(E)	EXISTING	SS	STATION
FF	FINISHED FLOOR	STA.	STANDARD
FG	FINISHED GRADE (GROUND)	STD.	TOP OF BASIN
FS	FINISH SURFACE (PAVEMENT)	TC	TOP OF CURB
FH	FIRE HYDRANT	TEMP.	TEMPORARY
FL	FLOW LINE	TW	TOP OF WALL
GB	GRADE BREAK	TYP.	TYPICAL
GE	GROUND ELEVATION (CURRENT)	V.C.	VERTICAL CURVE
HORIZ	HORIZONTAL	VCP	VITRIFIED CLAY PIPE
H.P.	HIGH POINT	VERT.	VERTICAL
INV.	INVERT ELEVATION	WM	WATER METER
JB	JUNCTION BOX		
JT	JOINT TRENCH		
J.P.	JOINT UTILITY POLE		

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	DISTINCTIVE BOUNDARY LINE
---	---	LOT LINE
---	---	ADJOINERS LINE
---	---	CENTERLINE
---	---	EASEMENT LINE
---	---	TIE LINE
---	---	EXISTING LOT LINE TO BE REMOVED
---	SS	SANITARY SEWER LINE
---	SD	STORM DRAIN LINE
---	W	WATER LINE
☆	☆	STREET LIGHT
PG&E	PG&E	PG & E VAULT
WV	WV	WATER VALVE
CB	CB	CURB CATCH BASIN
SDMH	SDMH	STORM DRAIN MANHOLE
SSMH	SSMH	SANITARY SEWER MANHOLE
SSCO	SSCO	SANITARY SEWER CLEAN-OUT
200	200	BENCHMARK
→	→	CONTOUR LINE
→	→	FLOW DIRECTION
x 21.16	x 21.16	SPOT ELEVATION
MON	MON	MONUMENT
↓	↓	DOWNSPOUT
→	→	OVERLAND RELEASE
→	→	SWALE
→	→	CONCRETE PAVING

**SITE BENCHMARK:**

SET NAIL  
ELEVATION=20.27' NAVD 88

**BASIS OF BEARINGS:**

THE BEARING OF N33°00'16"E OF THE CENTERLINE OF BAINE AVENUE BETWEEN FOUND MONUMENTS AS SHOWN ON THAT CERTAIN PARCEL MAP 6178 FILED IN BOOK 198 OF MAPS AT PAGE 98, ALAMEDA COUNTY RECORDS WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS MAP.

	PROPOSED SINGLE FAMILY HOMES	
	DEVELOPMENT STANDARDS RM: Residential Medium Density (17.07.030)	PD OVERLAY DISTRICT
<b>LOT AND DENSITY STANDARDS</b>		
MINIMUM LOT SIZE (sq ft)	6,000	3500
MINIMUM LOT WIDTH (FT)	60	40
MINIMUM LOT DEPTH (FT)	100	67.9
MINIMUM FRONTAGE ON A PUBLIC STREET (ft)	40	40
<b>BUILDING FORM AND LOCATION</b>		
MAXIMUM HEIGHT (ft)	75, 35	
FRONT	15	
INTERIOR SIDE	5	4
STREET SIDE	8	
REAR	10	10
<b>STANDARD</b>		
<b>LOT COVERAGE, LANDSCAPE, AND OPEN SPACE STANDARDS</b>		
MAXIMUM LOT COVERAGE (% of lot)	55	
MINIMUM LANDSCAPING (% of lot)	25	

TITLE SHEET  
**37280 MAGNOLIA STREET**  
APN: 092-0061-012-01, 092-0061-012-02 & 092-0061-011  
PLN: P2018-004      CITY OF NEWARK      CALIFORNIA

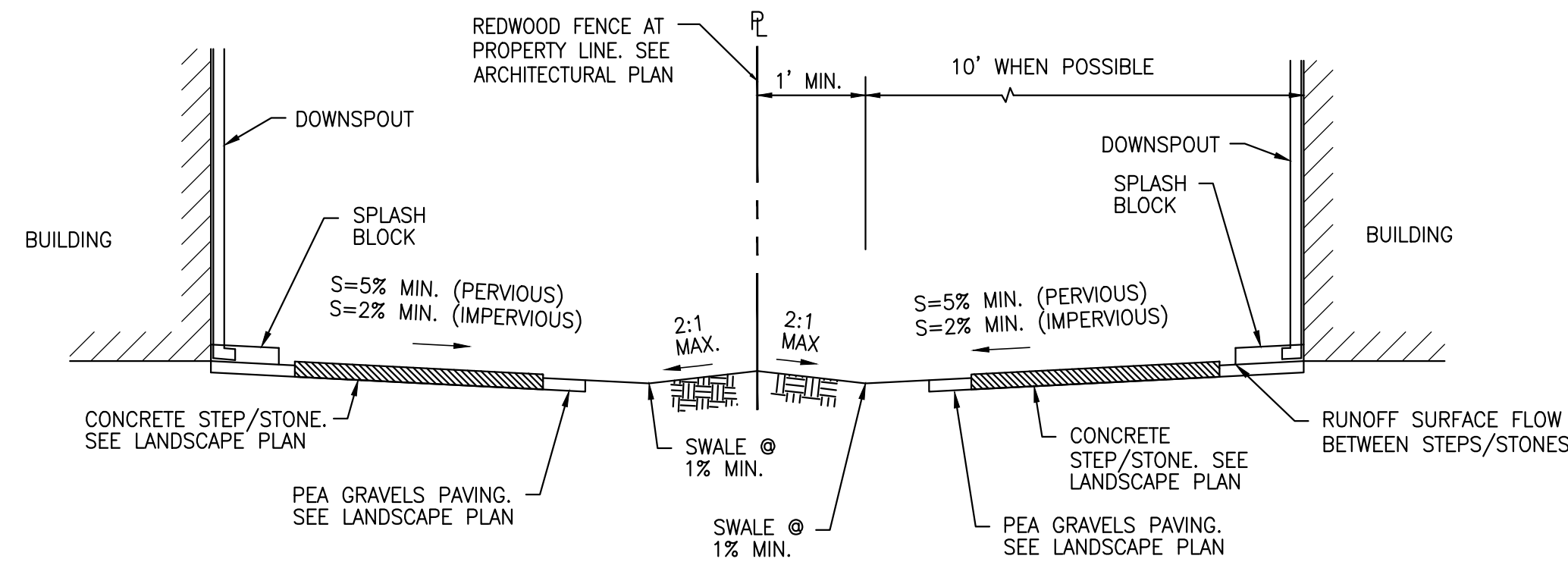
**RW ENGINEERING, INC.**  
CIVIL ENGINEERS    LAND SURVEYORS  
505 ALTAMONT DRIVE  
MILPITAS, CA 95035  
(P) (408) 262-1899  
(FAX) (408) 824-5556  
rwengineering@gmail.com

DESIGNED BY: RW	SHEET <b>1</b>
DRAWN BY: RW	
CHECKED BY: RW	
DATE: 11/14/18	
SCALE: AS NOTED	OF 5 SHEETS

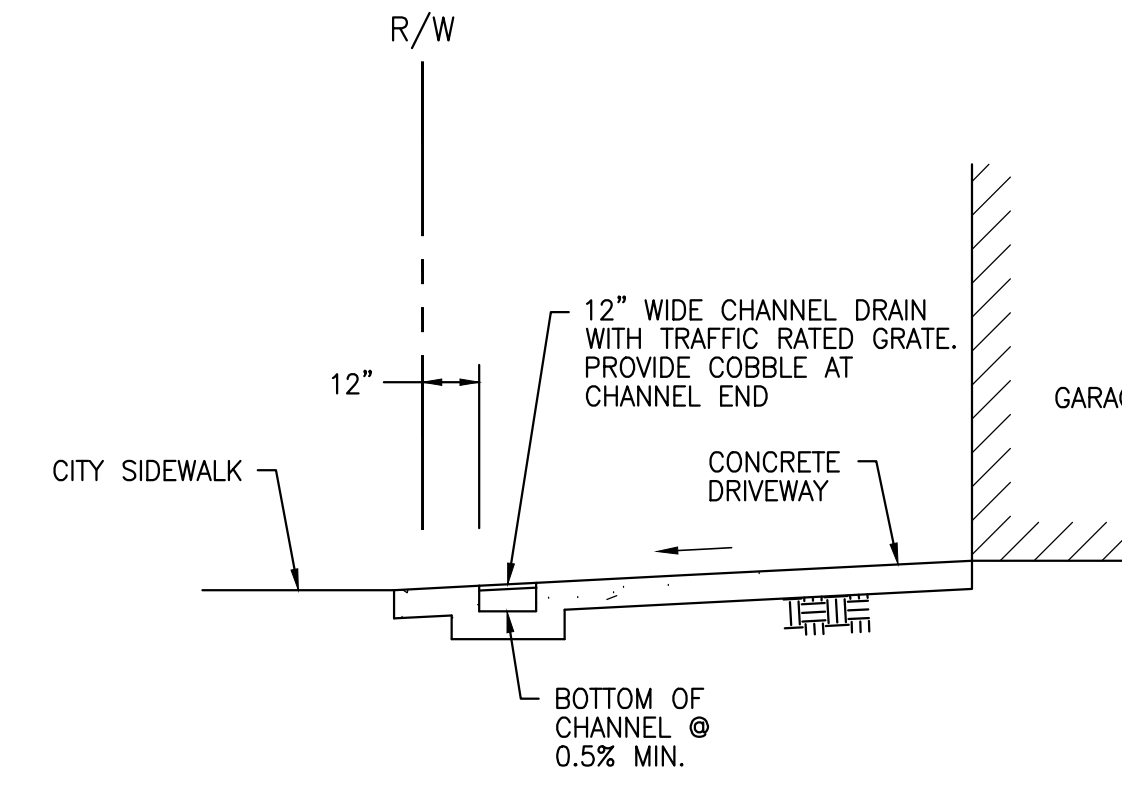


**NOTES:**

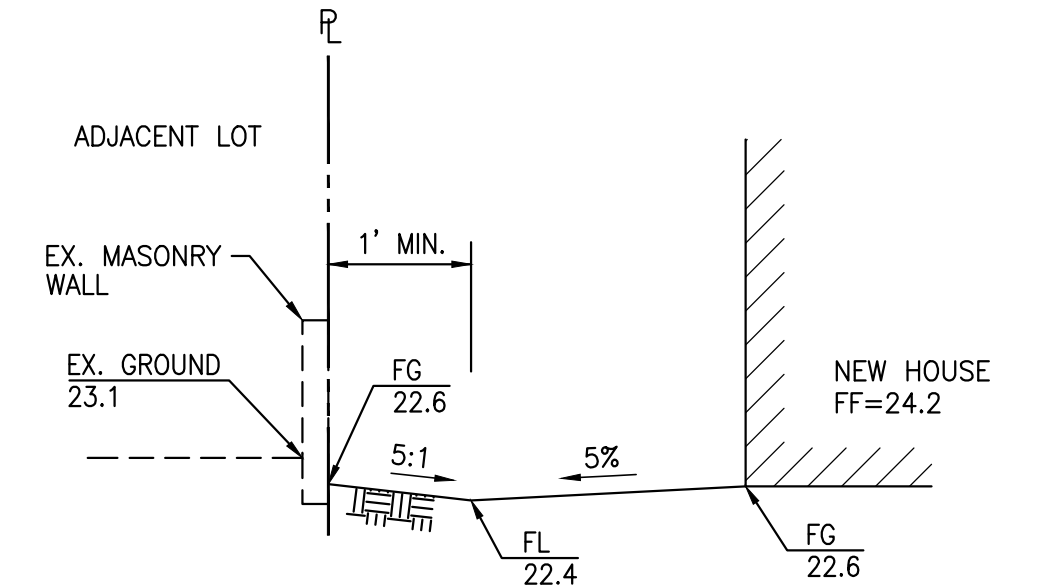
- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GENERAL AND SPECIFIC PROVISIONS, STANDARD DRAWINGS, DETAILS, AND REQUIREMENT OF THE CITY OF NEWARK.
- SEE ARCHITECTURAL SITE PLAN AND LANDSCAPE PLAN FOR SITE INFORMATION, IMPROVEMENTS, DETAILS AND NOTES NOT SHOWN HEREIN.
- NO STORM WATER SHALL DRAIN ONTO ADJOINING PROPERTY AND SHALL BE DIRECTED TO DRAINAGE DITCH ALONG THE PROPERTY.
- LOCATION OF DOWNSPOUTS TO BE VERIFIED IN THE FIELD.
- ADDITIONAL PAVEMENT, CURB & GUTTER AND SIDEWALK REPAIR MAY BE REQUIRED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE.
- ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB, GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT.
- CONSTRUCTION FOR THIS PROJECT, INCLUDING SITE WORK AND ALL STRUCTURES, CAN OCCUR ONLY BETWEEN THE HOURS OF 8:00 AM AND 5:00 PM, MONDAY THROUGH FRIDAY. THE APPLICANT MAY MAKE A WRITTEN REQUEST TO THE BUILDING OFFICIAL FOR EXTENDED WORKING HOURS AND/OR DAYS. IN GRANTING OR DENYING ANY REQUEST THE BUILDING OFFICIAL WILL TAKE INTO CONSIDERATION THE NATURE OF THE CONSTRUCTION ACTIVITY WHICH WOULD OCCUR DURING EXTENDED HOURS/DAYS, THE TIME DURATION OF THE REQUEST, THE PROXIMITY TO RESIDENTIAL NEIGHBORHOODS AND INPUT BY AFFECTED NEIGHBORS. ALL APPROVALS WILL BE DINE SO IN WRITING.
- PRIOR TO THE REMOVAL OF ANY OF THE STRUCTURES ON THE SITE DEMOLITION PERMITS SHALL BE OBTAINED FROM THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AND THE CITY OF NEWARK'S BUILDING INSPECTION DIVISION.



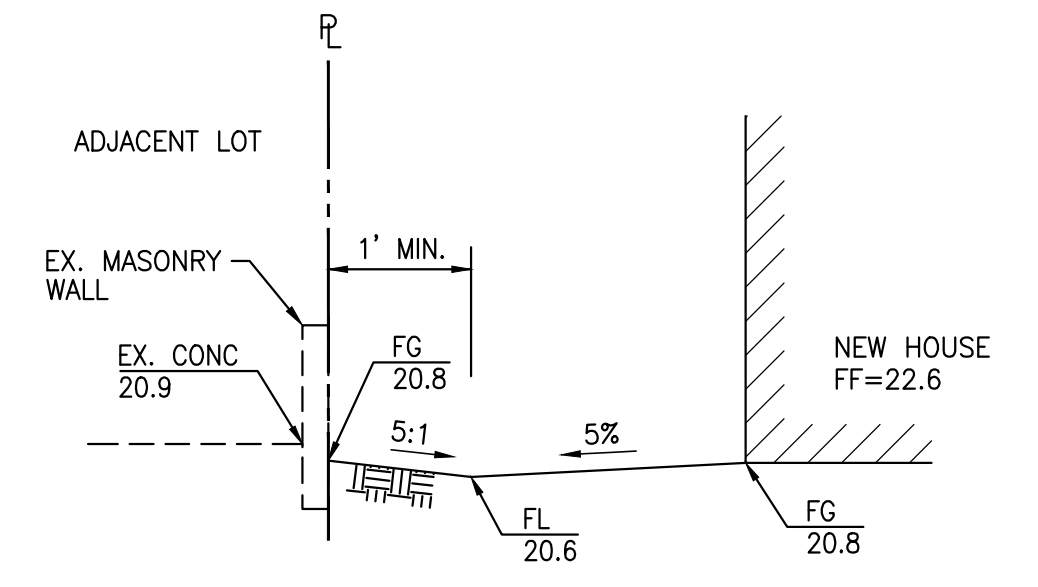
**TYPICAL GRADING AROUND BUILDING**  
NOT TO SCALE



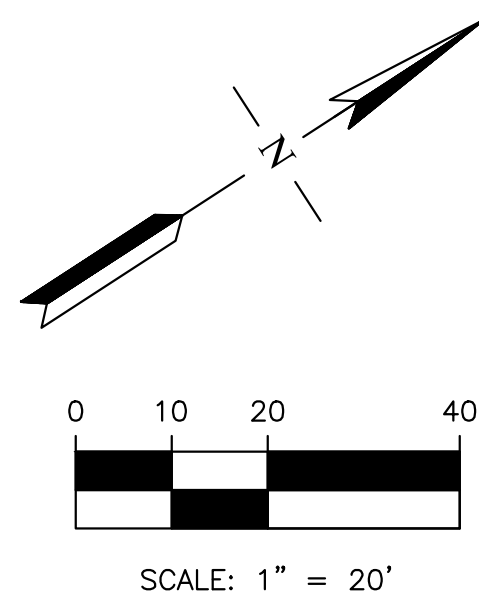
**CONCRETE DRIVEWAY**  
NOT TO SCALE



**SECTION A-A**  
NOT TO SCALE



**SECTION B-B**  
NOT TO SCALE



MAGNOLIA STREET

OLIVE STREET

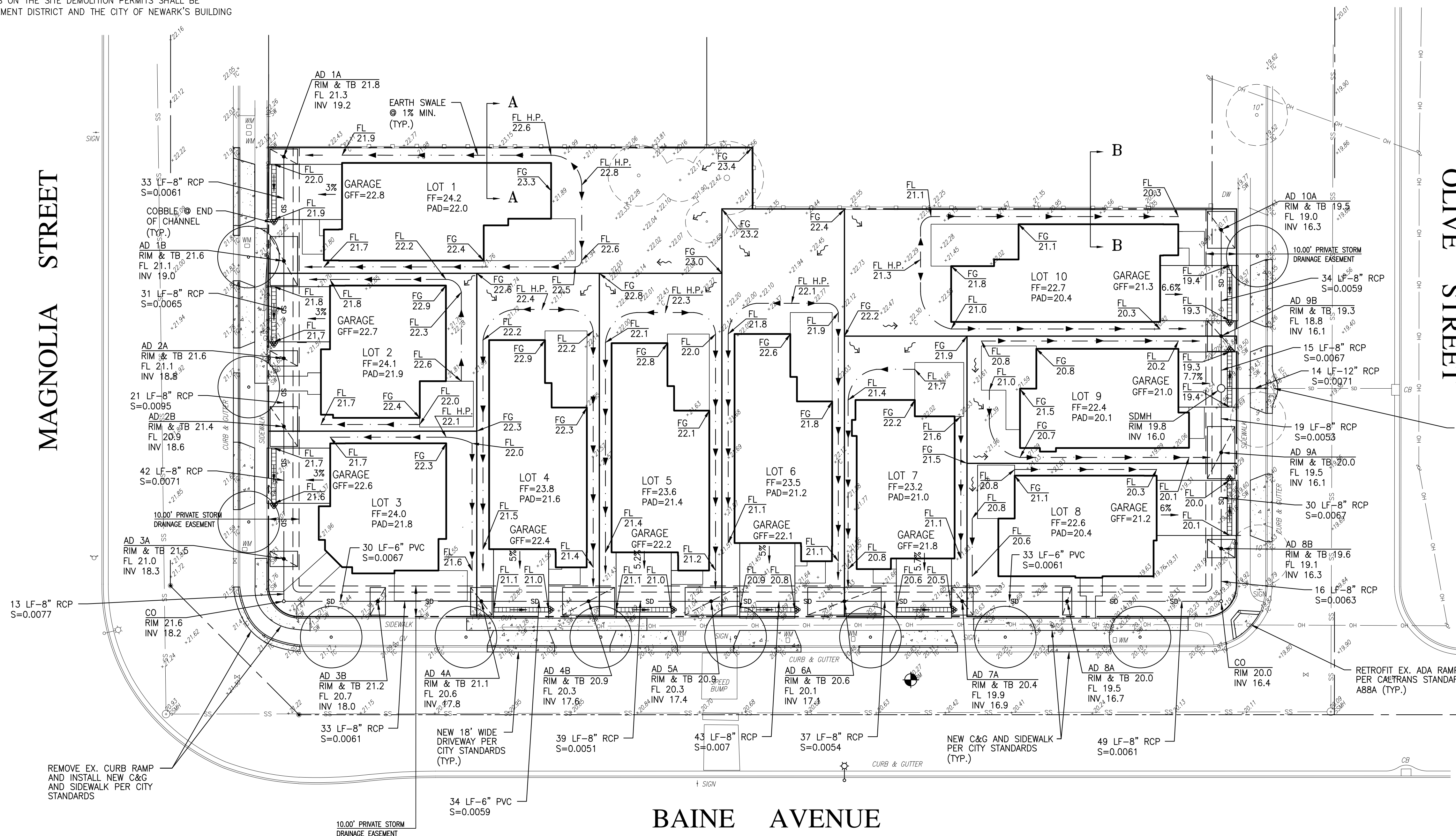


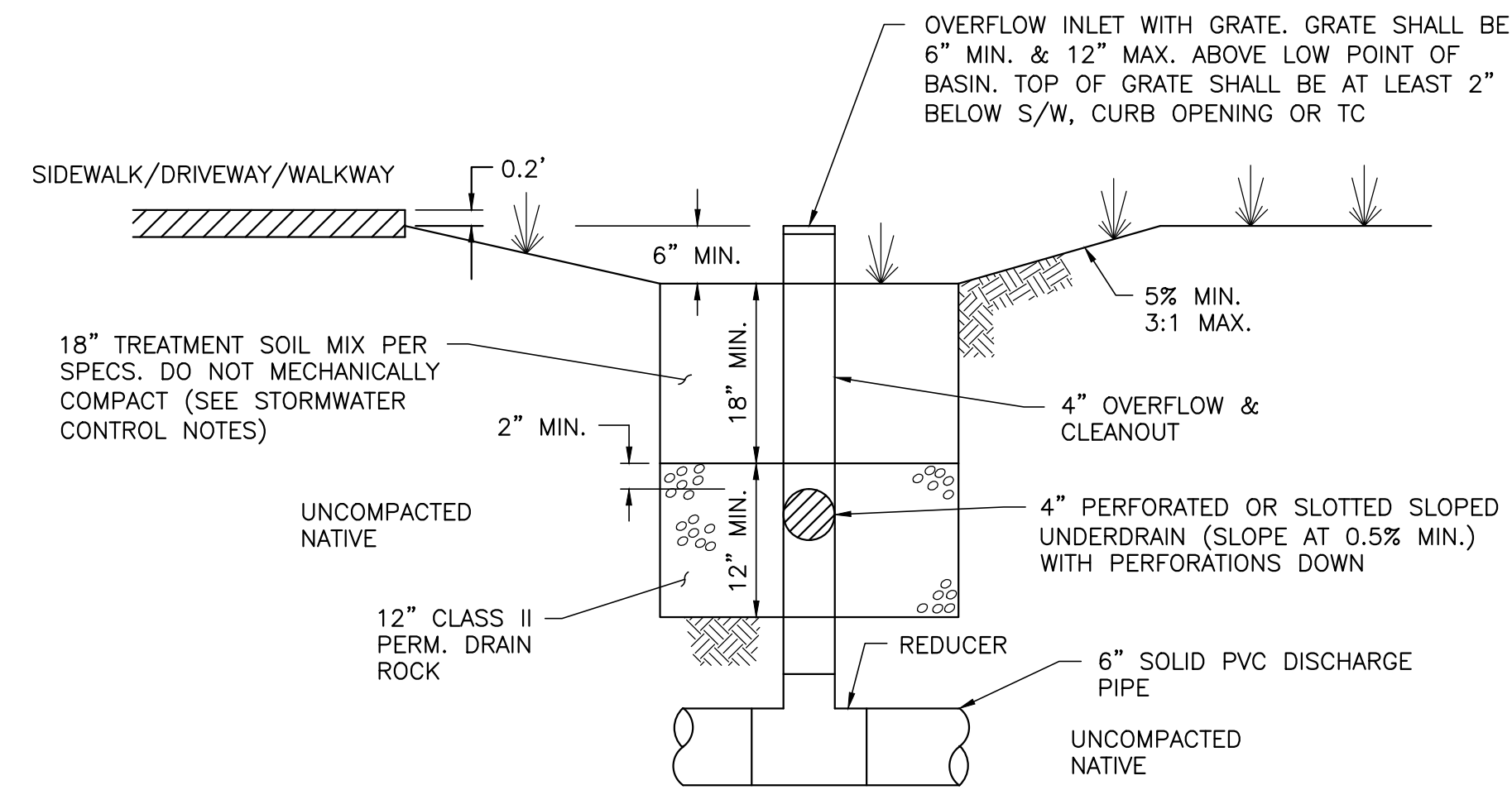
EXHIBIT A p16

**VESTING TENTATIVE TRACT MAP 8494**

PRELIMINARY GRADING & DRAINAGE PLAN		<b>RW</b> ENGINEERING, INC. CIVIL ENGINEERS LAND SURVEYORS 505 ALTAMONT DRIVE MILPITAS, CA 95035 (P) (408) 262-1899 (FAX) (408) 824-5556 rwengineering@gmail.com	DESIGNED BY: RW	SHEET
37280 MAGNOLIA STREET			DRAWN BY: RW	
APN: 092-0061-012-01, 092-0061-012-02 & 092-0061-011		CITY OF NEWARK CALIFORNIA	CHECKED BY: RW	3
PLN: P2018-004			DATE: 11/14/18	
			SCALE: AS NOTED	

IMPERVIOUS AREA AND TREATMENT DEVICE

IMPERVIOUS AREA		SIZE (SF)	POTENTIAL POLLUTANT	ESTIMATED SIZING FACTOR	AREA/FLOW REQUIRED	TREATMENT DEVICE		SIZE PROVIDED	AREA PROVIDED
ZONE	SURFACE TYPE					ID #	TYPE		
LOT 1	ROOF, HARDSCAPE & D/W	3,210	DUST/OIL/TRASH	0.04	128	BR#1	BIO-RETENTION	9'X17'	153
LOT 2	ROOF, HARDSCAPE & D/W	2,500	DUST/OIL/TRASH	0.04	100	BR#2	BIO-RETENTION	9'X17'	153
LOT 3	ROOF, HARDSCAPE & D/W	2,650	DUST/OIL/TRASH	0.04	106	BR#3	BIO-RETENTION	9'X17'	153
LOT 4	ROOF, HARDSCAPE & D/W	2,940	DUST/OIL/TRASH	0.04	118	BR#4	BIO-RETENTION	9'X17'	153
LOT 5	ROOF, HARDSCAPE & D/W	2,920	DUST/OIL/TRASH	0.04	117	BR#5	BIO-RETENTION	9'X17'	153
LOT 6	ROOF, HARDSCAPE & D/W	3,200	DUST/OIL/TRASH	0.04	128	BR#6	BIO-RETENTION	9'X17'	153
LOT 7	ROOF, HARDSCAPE & D/W	2,620	DUST/OIL/TRASH	0.04	105	BR#7	BIO-RETENTION	9'X17'	153
LOT 8	ROOF, HARDSCAPE & D/W	2,610	DUST/OIL/TRASH	0.04	104	BR#8	BIO-RETENTION	9'X17'	153
LOT 9	ROOF, HARDSCAPE & D/W	2,620	DUST/OIL/TRASH	0.04	105	BR#9	BIO-RETENTION	9'X17'	153
LOT 10	ROOF, HARDSCAPE & D/W	3,210	DUST/OIL/TRASH	0.04	128	BR#10	BIO-RETENTION	9'X17'	153



STORMWATER CONTROL NOTES:

1. THE CONTRACTOR MUST PROVIDE A SOIL CERTIFICATE OF COMPLIANCE TO THE CITY OF NEWARK TO VERIFY THAT THE BIORETENTION SOIL MIX AND PERMEABLE ROCK USED IN THE BIORETENTION AREAS MEET THE REQUIREMENTS IN THE APPENDIX K OF THE C.3 STORMWATER TECHNICAL GUIDANCE MANUAL PROVIDED BY THE ALAMEDA COUNTY CLEANWATER PROGRAM, DATED OCTOBER 31, 2017.
2. BIO-RETENTION SOILS SHALL BE A MIXTURE OF FINE SAND, AND COMPOST, MEASURED ON A VOLUME BASIS: 60%-70% SAND 30%-40% COMPOST. REFER TO APPENDIX K OF THE C.3 STORMWATER TECHNICAL GUIDANCE MANUAL PROVIDED BY THE ALAMEDA COUNTY CLEANWATER PROGRAM, DATED OCTOBER 31, 2017, AVAILABLE ON ALAMEDA COUNTY CLEANWATER PROGRAM WEBSITE.
3. CONTRACTOR SHALL MAINTAIN RECORD DOCUMENTS OF CONSTRUCTION CHANGES (AS-BUILT DRAWINGS) FOR ANY TREATMENT MEASURE(S) AND SHALL PROVIDE SAID DOCUMENTATION TO THE CITY OF NEWARK UPON COMPLETION OF CONSTRUCTION. NO EXCEPTION ALLOWED.
4. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE PROJECT CIVIL ENGINEER AND LANDSCAPE ARCHITECT MUST SUBMIT A LETTER TO THE CITY ENGINEER APPROVING THE CONSTRUCTION OF THE BIOTENTION AREAS, INCLUDING THE LANDSCAPING.

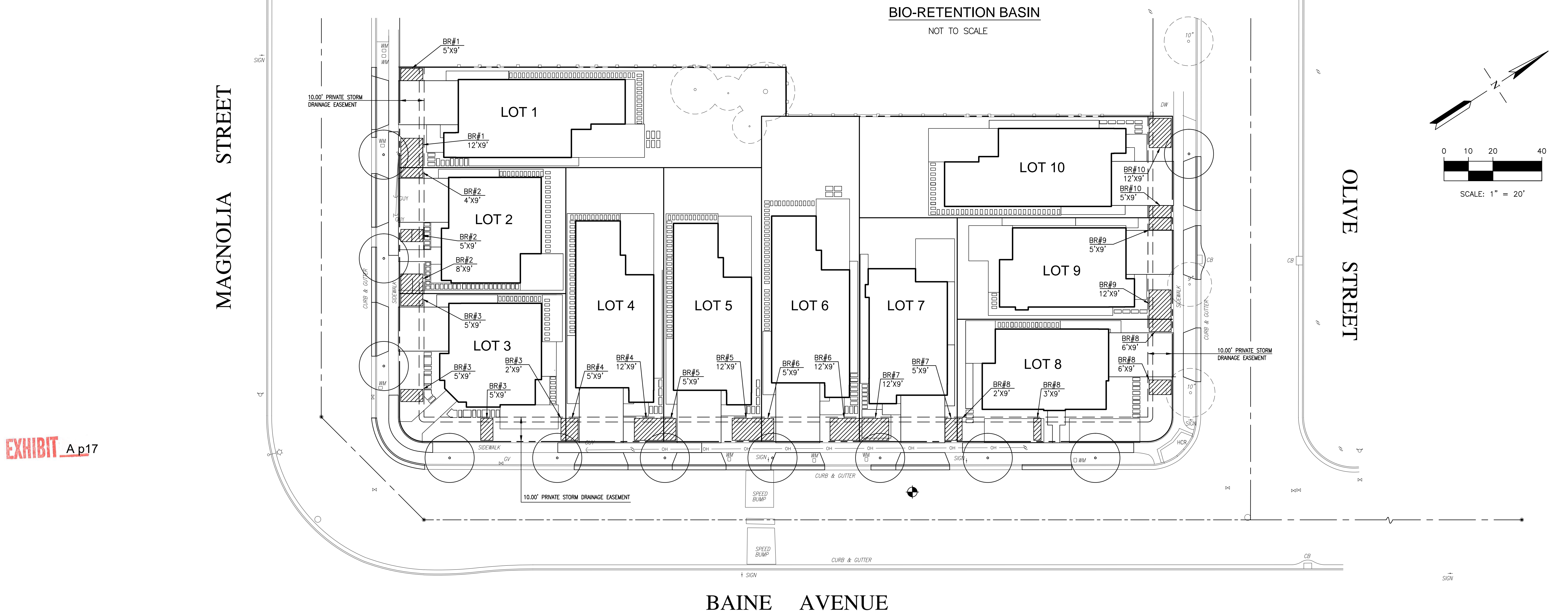
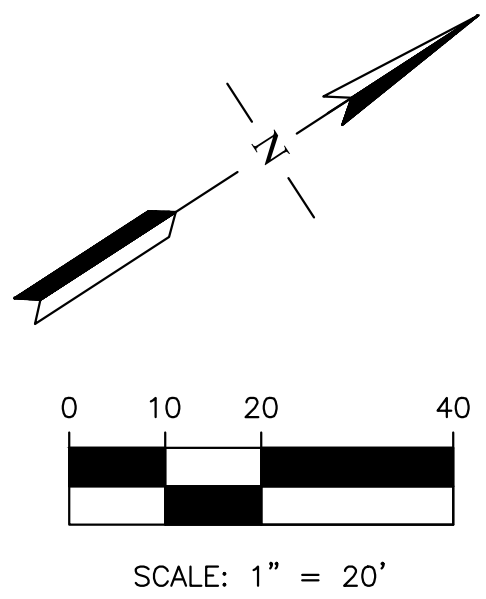


EXHIBIT A p17

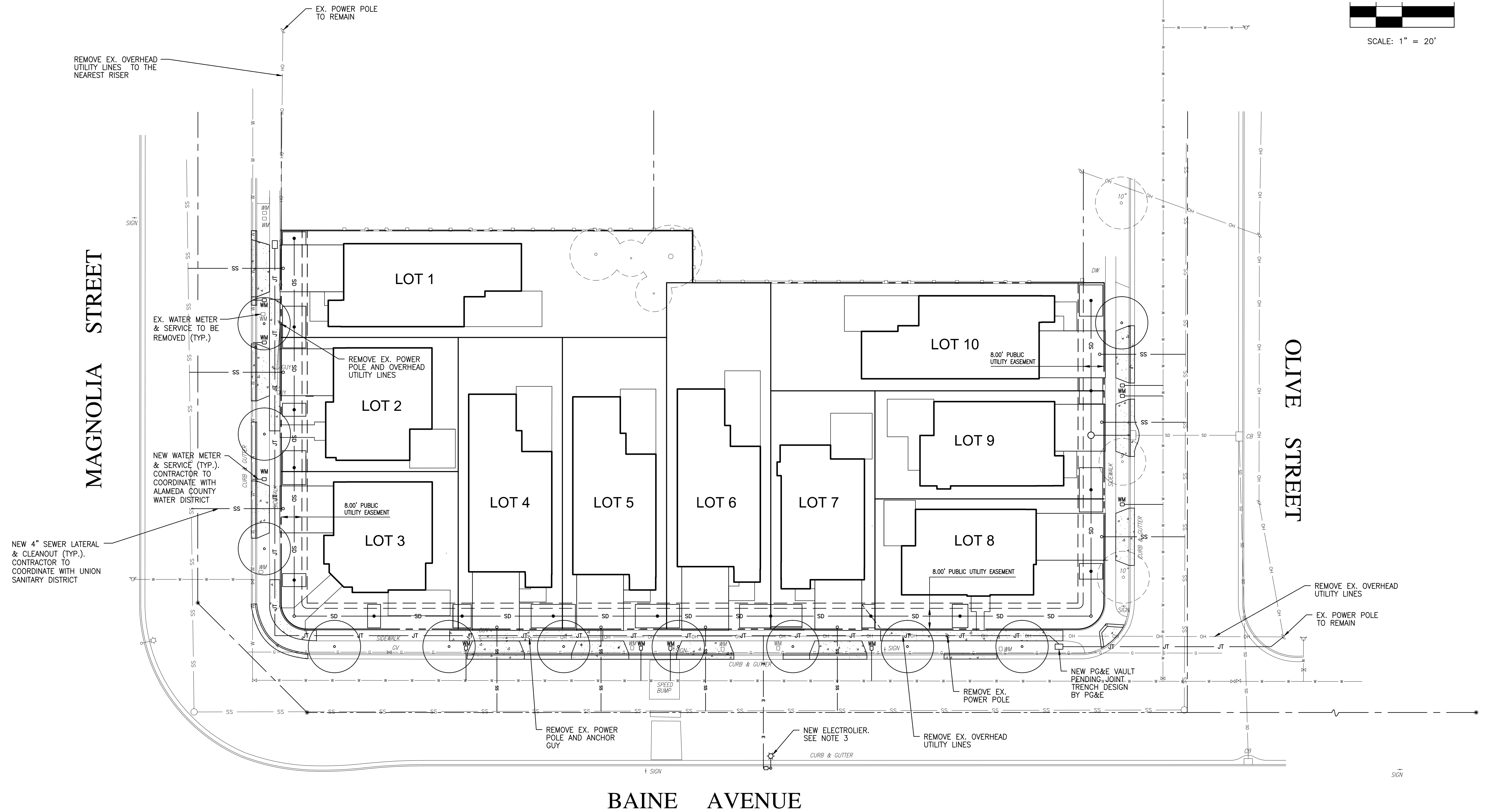
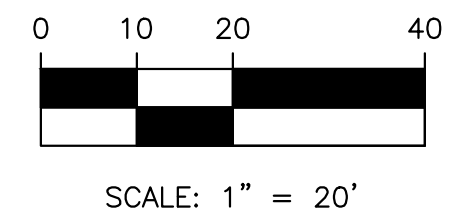
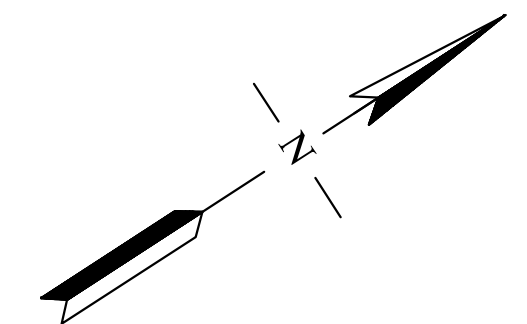


VESTING TENTATIVE TRACT MAP 8494

PRELIMINARY STORMWATER CONTROL PLAN <b>37280 MAGNOLIA STREET</b> APN: 092-0061-012-01, 092-0061-012-02 & 092-0061-011 PLN: P2018-004      CITY OF NEWARK      CALIFORNIA		<b>RW</b> RW ENGINEERING, INC. CIVIL ENGINEERS LAND SURVEYORS 505 ALTAMONT DRIVE MILPITAS, CA 95035 (P) (408) 262-1899 (FAX) (408) 824-5556 rwengineering@gmail.com	DESIGNED BY: RW DRAWN BY: RW CHECKED BY: RW DATE: 11/14/18 SCALE: AS NOTED	SHEET <b>4</b> OF 5 SHEETS

**ELECTRICAL NOTES:**

1. DEVELOPER TO COORDINATE WITH WITH PG&E AND OTHER UTILITY CONTRACTORS TO DEVELOP JOINT TRENCH AND UNDERGROUNDING PLAN UPON APPROVAL OF THE APPLICATION BY PLANNING COMMISSION AND CITY COUNCIL. COMPLETE JOINT TRENCH DRAWINGS AND STREET LIGHT PLANS SHALL BE SUBMITTED WITH THE FIRST SUBMITAL OF THE TRACT IMPROVEMENT PLAN SET FOR REVIEW AND APPROVAL OF THE CITY ENGINEER.
2. WATER METER TO BE SIZED PER SPRINKLER DESIGN. CONTRACTOR TO COORDINATE WITH FIRE DEPARTMENT AND ALAMEDA COUNTY WATER DISTRICT.
3. ADDITIONAL STREETLIGHTS MAY BE REQUIRED PENDING PHOTOMETRIC STUDY.



**EXHIBIT** Ap18

**VESTING TENTATIVE TRACT MAP 8494**

PRELIMINARY UTILITY PLAN <b>37280 MAGNOLIA STREET</b> APN: 092-0061-012-01, 092-0061-012-02 & 092-0061-011 PLN: P2018-004      CITY OF NEWARK      CALIFORNIA		<b>RW</b> RW ENGINEERING, INC. CIVIL ENGINEERS LAND SURVEYORS 505 ALTAMONT DRIVE MILPITAS, CA 95035 (P) (408) 262-1899 (FAX) (408) 824-5556 rwengineering@gmail.com	DESIGNED BY: RW DRAWN BY: RW CHECKED BY: RW DATE: 11/14/18 SCALE: AS NOTED	SHEET <b>5</b> OF 5 SHEETS

**TYPICAL LANDSCAPE SPEC WITH MINOR VARIATIONS TO FIT EACH SITE**

SMALL LAWNS WITH PERIMETER PLANTS IN 3" LAYER WOOD CHIP MULCH

TIMBERTECH OR EQUAL DECK IN EACH REAR YARD

△ PATHS: CONCRETE PATH ALONG GARAGE LEADING TO GRAVEL PATH WITH STEPSTONE STEPPING STONES ON GARAGE SIDE AND GRAVEL PATH WITHOUT STEPPING STONES ON OPPOSITE SIDE (TYPICAL)

DRIVEWAYS TO BE CONCRETE AND INCLUDE CONCRETE PATH TO SIDE GARAGE DOOR (TYPICAL)

NEW 24" BOX (MIN) TREES TO PROVIDE SHADE, INTEREST AND PRIVACY SCREENING

FRONT PAVING TO BE ACID WASHED CONCRETE PATH AND MATCHING POURED IN PLACE CONCRETE STEPPING STONES AS SHOWN (TYPICAL)

BIORETENTION AREAS PLANT GRASSES AND GROUNDCOVER AS PER PLANT LIST

**TREE LIST**

#	QU.	SIZE	BOTANICAL NAME	COMMON NAME	HEIGHT x WIDTH	WOCOLS PLANT FACTOR
<b>EVERGREEN TREES</b>						
1	3	24" BOX	MELALEUCA QUINQUINERVA	CAJEPUT TREE	30' x 20'	L
2	2	24" BOX	ARBUTUS MARINA'	STRAWBERRY TREE	20'-40' x 20'-30'	L
3	3	24" BOX	LAURUS SARATOSA	SARATOSA LAUREL	20'-40' x 20'-40'	L
4	11	24" BOX	PISTACHIA 'KEITH DAVEY'	CHINESE PISTACHE (FRUITLESS VARIETY)	30'-60' x 30'-60'	L
<b>DECIDUOUS TREES</b>						
5	3	24" BOX	LAGERSTROEMIA 'TUSCARORA'	GRAPE MYRTLE	25' x 12'	L
6	2	24" BOX	ULMUS 'FRONTIER'	FRONTIER ELM	40' x 30'	L
7	4	24" BOX	ACER RUBRUM 'BONHALL'	RED MAPLE	40' x 15'	M
<b>BIO-RETENTION PLANTING</b>						
21		16	ACTOSTAPHYLOS 'EMERALD CARPET'	MANZANITA		L
22		16	CAREX BARBARAE	SANTA BARBARA SEDGE		L
23		16	JUNCAS PATENS 'ELK BLUE'	BLUE RUSH		L
24		26	CHONDROPETALUM TECTORUM	CAPE RUSH		L

**SHRUB AND GROUNDCOVER LIST**

#	QU.	SIZE	BOTANICAL NAME	COMMON NAME	WOCOLS PLANT FACTOR
<b>EVERGREEN SCREENING SHRUBS</b>					
8		156	PRUNUS CAROLINIANA	CAROLINA LAUREL CHERRY	L
9		156	OLEA SPAN HILL (STD)	FRUITLESS OLIVE TREE FORM	VL
10		156	PITTOPSPORUM 'SILVER SHEEN'	BLACK STEM PITTOPSPORUM	L-M
<b>LOW SHRUBS AND GROUNDCOVER</b>					
11		56	OLEA 'LITTLE OLLIE'	DWARF OLIVE	VL
12		56	LOROPETALUM 'PURPLE DIAMOND'	PURPLE FRINGE FLOWER	L
13		56	MYRTUS COMMUNIS 'VARIEGATA'	VARIEGATED MYRTLE	L
14		56	MISCANTHUS MORNING LIGHT	SILVER GRASS	L
15		16	CORREA 'CARMINE BELLS'	AUSTRALIAN FUCHSIA	L
16		16	LOMONDRA 'LIME TUFF'	MATT RUSH	L
17		26	WESTRINGIA 'MUNDI'	AUSTRALIAN ROSEMARY	L
18		16	LAVANDULA PROVENCE	LAVENDER	L
19		26	NANDINA 'LEMON LIME'	HEAVENLY BAMBOO	L
20		16	LANTANA 'WHITE LISHIN'	LANTANA	L

△ SOD LAWNS- SOD LAWNS SHALL BE DELTA BOLERO PLUS WHICH IS HIGHLY DROUGHT RESISTANT

(E) STREET TREES (MAGNOLIA SPECIES) KEEP OR REPLACE AS NECESSARY

(N) STREET TREES @ APPROX. 45' O.C.

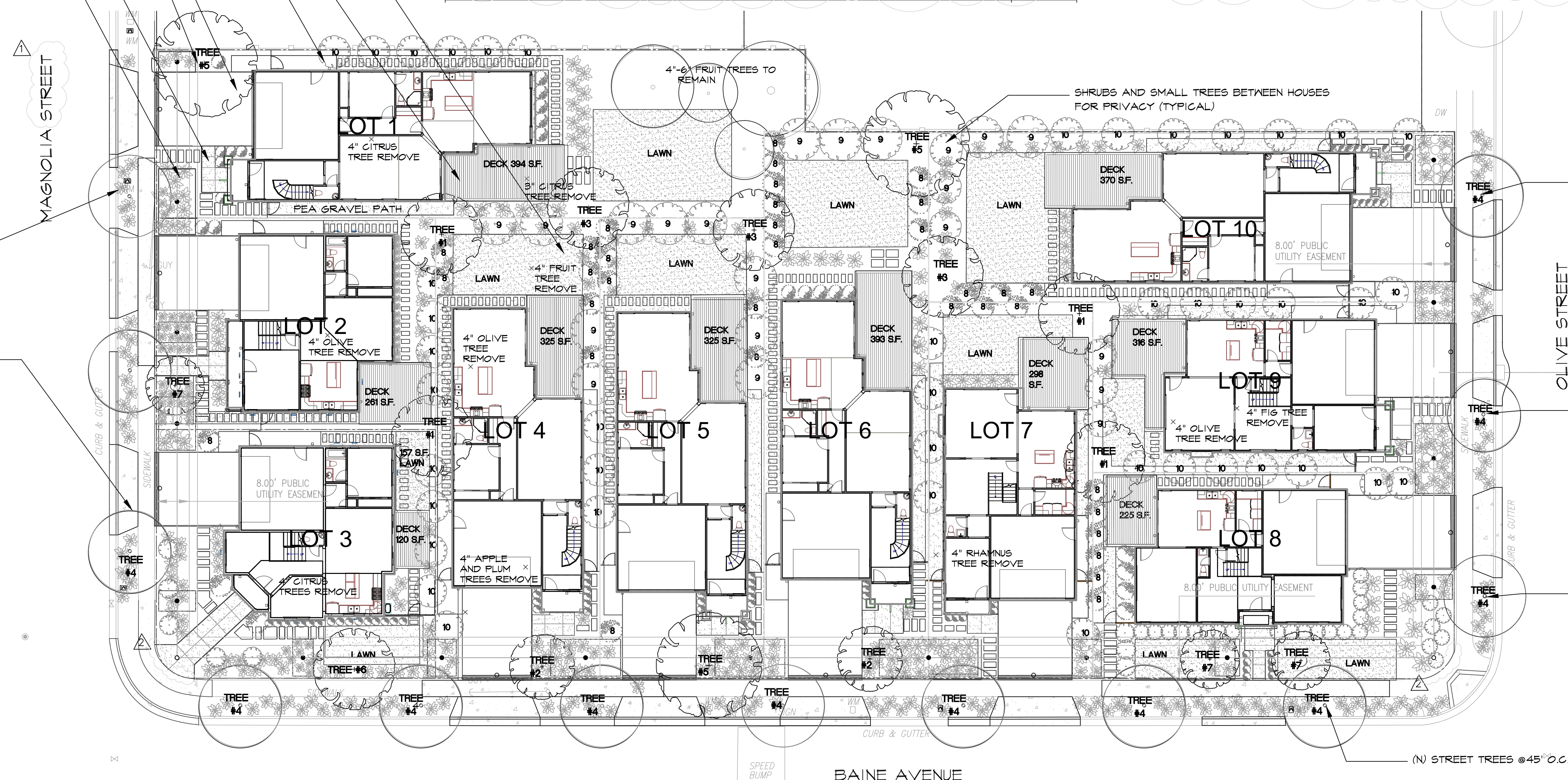


EXHIBIT A p19

**VESTING TENTATIVE TRACT MAP 8494**

**BAY FRIENDLY LANDSCAPE NOTES\***

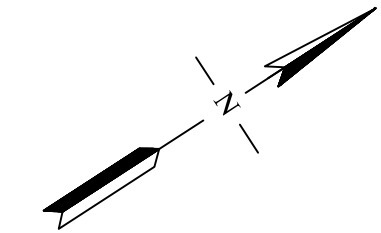
ALL LANDSCAPING SHALL FOLLOW CITY OF NEWARK'S BAY FRIENDLY LANDSCAPE GUIDE AS PER MUNICIPAL CODE 15.44.080 AND ALL LANDSCAPE AND AUTOMATIC IRRIGATION WILL BE INSTALLED IN ACCORDANCE WITH THE MODEL WATER USE ORDINANCE

- TURF AREA IS LIMITED
- NON TURF AREAS SHALL BE PLANTED WITH LOW WATER USE PLANTS FROM THE BAY FRIENDLY LANDSCAPE PLANT LIST AND OTHER CAL NATIVE AND /OR LOW WATER USE PLANTS

- PERFORM A SOILS TEST TO DETERMINE SOIL TYPE, WATER HOLDING CAPACITY AND FERTILITY AND AMEND SOIL AS PER SOIL TEST.
- UNLESS CONTRADICTED BY A SOILS REPORT, ADD ORGANIC MATTER COMPOST AT A RATE OF 4CY/1000 S.F. TILL TO A MINIMUM 6" DEEP
- ADD MIN. 2" LAYER 3/4"-1" BARK MULCH ON ALL NON TURF PLANTING AREAS AND BARE SOIL AREAS TO DISCOURAGE WEEDS.
- MINIMIZE FERTILIZER AND HERBICIDE USE, MANUALLY REMOVE WEEDS
- IF POSSIBLE, PLANT IN MID TO LATE FALL TO UTILIZE COOLER WEATHER AND RAIN
- NO DECORATIVE WATER USE IS PLANNED FOR THIS PROJECT
- IRRIGATION SHALL FOLLOW ALL GUIDELINES OF THE BAY FRIENDLY LANDSCAPE GUIDE

THE PROJECT SHALL COMPLY WITH ALL THE APPLICABLE REQUIREMENTS STATED IN CHAPTER 17.21 (LANDSCAPING) OF THE CITY OF NEWARK ZONING ORDINANCE

ALL LANDSCAPING SHALL FOLLOW CITY OF NEWARK'S BAY FRIENDLY LANDSCAPE GUIDE AS PER MUNICIPAL CODE 15.44.080 AND ALL LANDSCAPE AND AUTOMATIC IRRIGATION WILL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE



1/16" = 1'-0"

**PRELIMINARY LANDSCAPE PLAN**

REVISIONS	BY
10/3/18	MY
11/5/18	MY



**PRELIMINARY LANDSCAPE PLAN**

**NEW HOMES FOR:  
GOLDSILVERISLAND.LLC  
37280 MAGNOLIA STREET  
NEWARK, CA 94560**

DRAWN	MY
CHECKED	MY
DATE	7/31/18
SCALE	1/16"=1'-0"
JOB NO.	XXX
SHEET	
<b>L-1</b>	
OF SHEETS	

REVISIONS	BY
2	MY
11/5/18	

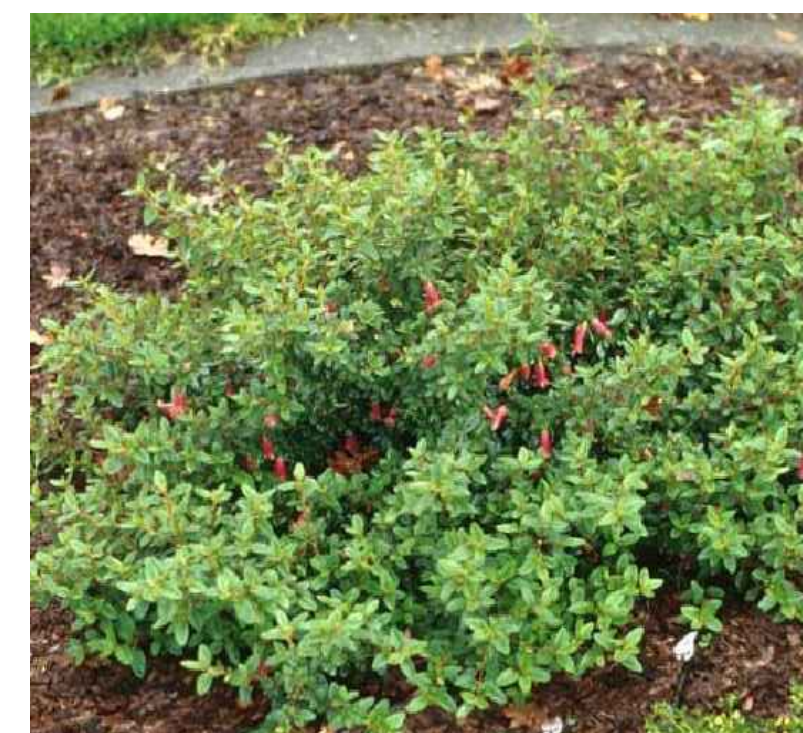
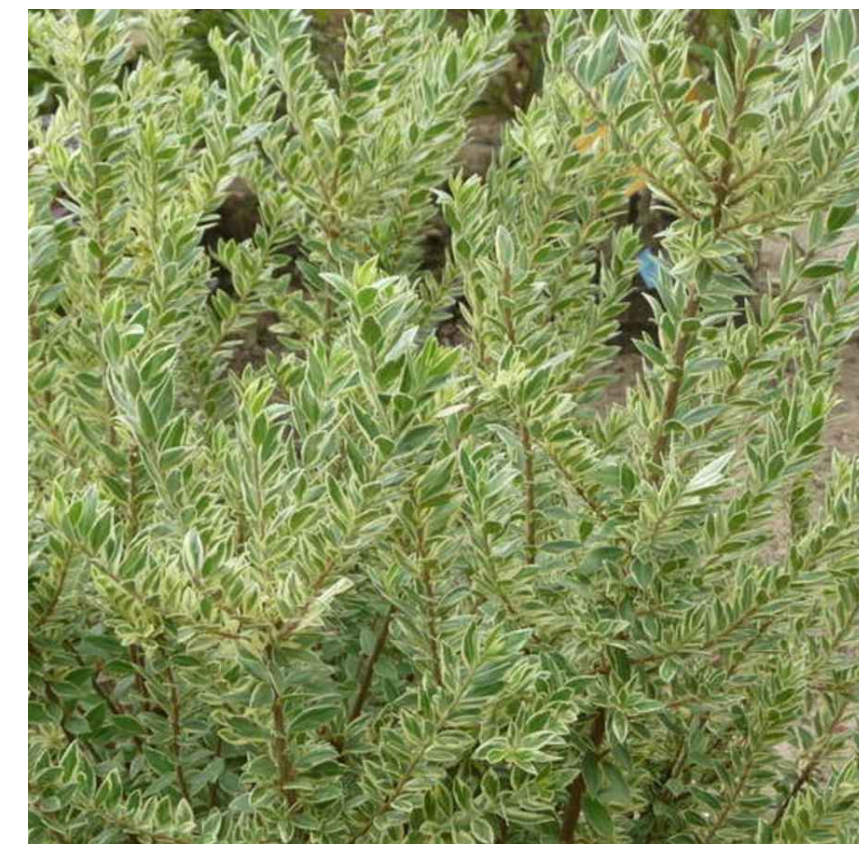
**EVERGREEN SCREENING SHRUBS**



#8 PRUNUS CAROLINIANA- CAROLINA LAUREL CHERRY #9 OLEA SWAN HILL -NON FRUITING OLIVE (STD. FORM) #10 PITTOSPORUM SILVER SHEEN- TAWHIWHI

SHRUB AND GROUNDCOVER LIST					NOCCOLS PLANT FACTOR
#	QU.	SIZE	BOTANICAL NAME	COMMON NAME	
<b>EVERGREEN SCREENING SHRUBS</b>					
8		156	PRUNUS CAROLINIANA	CAROLINA LAUREL CHERRY	L
9		156	OLEA SWAN HILL (STD)	FRUITLESS OLIVE TREE FORM	VL
10		156	PITTOSPORUM 'SILVER SHEEN'	BLACK STEM PITTOSPORUM	L-M
<b>LOW SHRUBS AND GROUNDCOVER</b>					
11		56	OLEA 'LITTLE OLLIE'	DWARF OLIVE	VL
12		56	LOROPETALUM 'PURPLE DIAMOND'	PURPLE FRINGE FLOWER	L
13		56	MYRTUS COMMUNIS 'VARIEGATA'	VARIEGATED MYRTLE	L
14		56	MISCANTHUS MORNING LIGHT	SILVER GRASS	L
15		16	CORREA 'CARMINE BELLS'	AUSTRALIAN FUCHSIA	L
16		16	LOMONDRA 'LIME TUFF'	MATT RUSH	L
17		26	WESTRINGIA 'MUNDI'	AUSTRALIAN ROSEMARY	L
18		16	LAVANDULA PROVENCE	LAVENDER	L
19		26	NANDINA 'LEMON LIME'	HEAVENLY BAMBOO	L
20		16	LANTANA 'WHITE LIGHTNIN'	LANTANA	L
<b>BIO-RETENTION PLANTING</b>					NOCCOLS PLANT FACTOR
21		16	ACTOSTAPHYLOS 'EMERALD CARPET'	MANZANITA	L
22		16	CAREX BARBARAE	SANTA BARBARA SEDGE	L
23		16	JUNCAS PATENS 'ELK BLUE'	BLUE RUSH	L
24		26	CHONDROPETALUM TECTORUM	CAPE RUSH	L
SOD LAWNS- SOD LAWNS SHALL BE DELTA BOLERO PLUS WHICH IS HIGHLY DROUGHT RESISTANT					M

**SHRUBS AND LOW GROWING GROUNDCOVER**



#11 OLEA 'LITTLE OLLIE'- DWARF OLIVE #12 LOROPETALUM PURPLE DIAMOND #13 MYRTUS COMMUNIS' VARIEGATA' - MYRTLE #14 MISCANTHUS 'MORNING LIGHT' -SILVER GRASS #15 CORREA CARMINE BELLS AUSTRALIAN FUCHSIA #16 LOMONDRA 'LIME TUFF' MATT RUSH #17 WESTRINGIA MUNDI AUSTRALIAN ROSEMARY

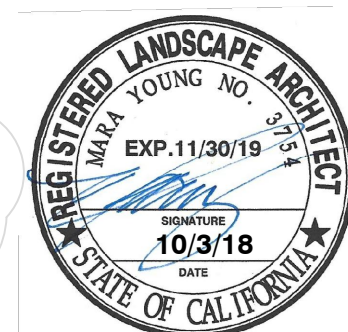
EXHIBIT A p20

**BIORETENTION PLANTS**



#18 LAVANDULA MUNSTEAD DWARF LAVENDER #19 NANDINA 'LEMON LIME' HEAVENLY BAMBOO #20 LANTANA 'WHITE LIGHTNIN' LANTANA #21 ARCTOSTAPHYLOS 'EMERALD CARPET' MANZANITA #22 CAREX BARBARAE SANTA BARBARA SEDGE #23 JUNCAS PATENS 'ELK BLUE' BLUE RUSH #24 CHONDROPETALUM TECTORUM CAPE RUSH

VESTING TENTATIVE TRACT MAP 8494



**PROPOSED SHRUBS AND GROUNDCOVER**



PROPOSED SHRUBS AND GROUNDCOVER IMAGES

NEW HOMES FOR:  
GOLDSILVERISLAND.LLC  
37280 MAGNOLIA STREET  
NEWARK, CA 94560

DRAWN	MY
CHECKED	MY
DATE	10/3/18
SCALE	NTS
JOB NO.	xxx
SHEET	
<b>L-2.1</b>	
OF	SHEETS



# LANDSCAPE AREAS PER LOT

LOT 1- LANDSCAPED AREA=2898 S.F.  
750 S.F. LAWN (25% OF LANDSCAPED AREA)

LOT 2: LANDSCAPED AREA=852 S.F.  
0 S.F. LAWN (0) OF LANDSCAPED AREA

LOT 3: LANDSCAPED AREA=1737 S.F.  
382 S.F. LAWN (22%) OF LANDSCAPED AREA

LOT 4: LANDSCAPED AREA=1206 S.F.  
466 S.F. LAWN (38%) OF LANDSCAPED AREA

LOT 5: LANDSCAPED AREA=1218 S.F.  
466 S.F. LAWN (38%) OF LANDSCAPED AREA

LOT 6: LANDSCAPED AREA=1956 S.F.  
635 S.F. LAWN (32%) OF LANDSCAPED AREA

LOT 7: LANDSCAPED AREA=1159 S.F.  
LAWN 340 S.F. (29%) OF LANDSCAPED AREA

LOT 8: LANDSCAPED AREA=1802 S.F.  
LAWN 450 S.F. (25%) OF LANDSCAPED AREA

LOT 9: LANDSCAPED AREA= 901 S.F.  
LAWN 211 S.F. (23%) OF LANDSCAPED AREA

LOT 10: LANDSCAPED AREA=2020 S.F.  
652 S.F. LAWN (32%) OF LANDSCAPED AREA

## WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ET <sub>0</sub> ) 47.0						
Hydrozone # Planting Description*	Plant Factor (PF)	Irrigation Method <sup>b</sup>	Irrigation Efficiency (IE) <sup>c</sup>	ETAF (PF/IE)	Landscape Area (sq. ft.)	Estimated Total Water Use (ETWU) <sup>d</sup>
<b>Regular Landscape Areas</b>						
#1 Lawn (high)	.7	Spray	.75	.93	4352	4047
#2 trees/shrubs (Low)	.25	Drip	.81	.30	11397	3419
					Totals	7466
<b>Special Landscape Areas</b>						
					1	
					1	
					1	
					Totals	0 (C)
					0 (D)	
					ETWU Total	217,561
					Maximum Allowed Water Allowance (MAWA) <sup>e</sup>	252,409

\*Hydrozone #/Planting Description  
E.g.  
1) front lawn  
2) low water use plantings  
3) medium water use planting

<sup>b</sup>Irrigation Method  
overhead spray  
or drip

<sup>c</sup>Irrigation Efficiency  
0.75 for spray head  
0.81 for drip

<sup>d</sup>ETWU (Annual Gallons Required) =  
ET<sub>0</sub> x 0.62 x ETAF x Area  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

<sup>e</sup>MAWA (Annual Gallons Allowed) = (ET<sub>0</sub>) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

### ETAF Calculations

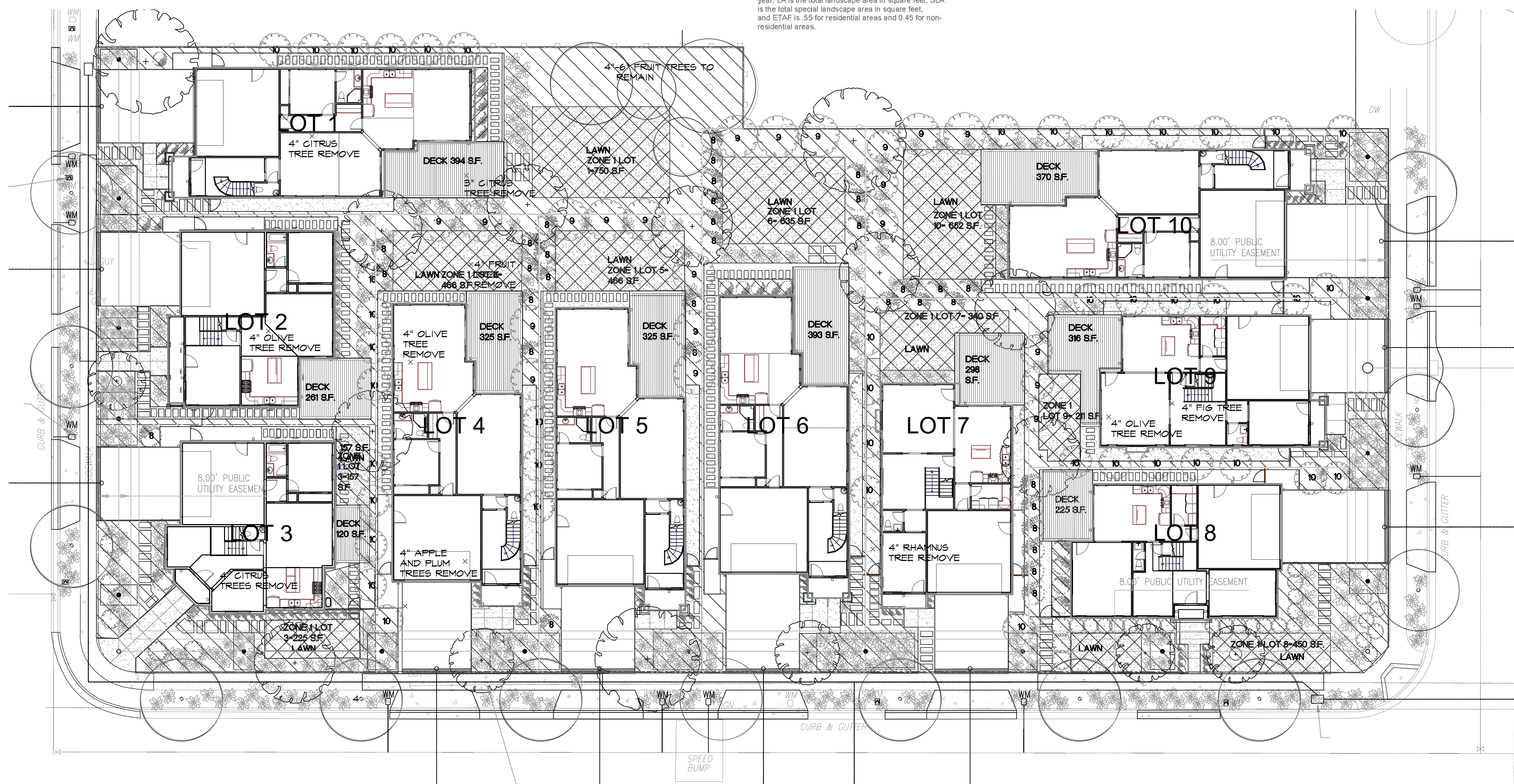
Regular Landscape Areas		
Total ETAF x Area	(B)	7466
Total Area	(A)	15749
Average ETAF	B ÷ A	.47

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas		
Total ETAF x Area	(B+D)	7466
Total Area	(A+C)	15749
Sitewide ETAF	(B+D) ÷ (A+C)	.47

A copy of this form may be obtained from Department of Water Resources website:  
<http://www.water.ca.gov/wateruseefficiency/landscapeordinance/>

MAGNOLIA STREET



OLIVE STREET

BAINE AVENUE

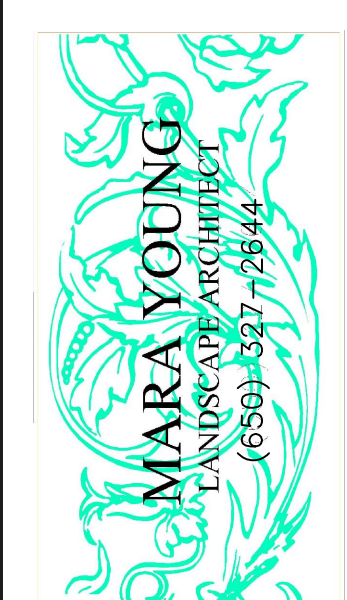
EXHIBIT A p21

VESTING TENTATIVE TRACT MAP 8494

HYDROZONE DIAGRAM AND WELO WORKSHEET

1/16" = 1'-0"

REVISIONS	BY
11/5/18	MY



NEW HOMES FOR:  
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HYDROZONE DIAGRAM AND  
WELO WORKSHEET

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JOB NO.	xxx
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L-3  
OF SHEETS

