



CITY OF NEWARK CITY COUNCIL

37101 Newark Boulevard, Newark, CA 94560-3796 • 510-578-4266 • E-mail: city.clerk@newark.org

City Administration Building
7:30 p.m.
City Council Chambers

AGENDA

Thursday, September 26, 2019

A. ROLL CALL

B. MINUTES

B.1 Approval of Minutes of the City Council meeting of September 12, 2019.
(MOTION)

C. PRESENTATIONS AND PROCLAMATIONS

C.1 Introduction of employees.

D. WRITTEN COMMUNICATIONS

E. PUBLIC HEARINGS

F. CITY MANAGER REPORTS

(It is recommended that Items F.1 through F.2 be acted on simultaneously unless separate discussion and/or action is requested by a Council Member or a member of the audience.)

CONSENT

F.1 Second reading and adoption of an ordinance to amend Title 17 (Zoning) of the Newark Municipal Code to revise sections: 17.07.020, 17.07.030, 17.07.040(D)(5), 17.07.040(E), 17.08.020, 17.13.040(B), 17.26.090(E) and 17.26.280, generally affecting land uses, pedestrian walkways, landscaping, design standards, public notice requirements and other development standards – from Acting Community Development Director Interiano. (ORDINANCE)

F.2 Amendment of the 2018-2020 Biennial Budget and Capital Improvement Plan for Fiscal Year 2019-2020 for Capital Improvement Plan Budget Rollovers – from Finance Manager Lee. (RESOLUTION)

NONCONSENT

- F.3 Authorization for the City of Newark to accept \$750,000 in funding from the State of California to be used for car break-in prevention efforts – from Police Captain Arguello. (RESOLUTION)**

G. CITY ATTORNEY REPORTS

H. ECONOMIC DEVELOPMENT CORPORATION

I. CITY COUNCIL MATTERS

J. CITY COUNCIL ACTING AS THE SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY

K. ORAL COMMUNICATIONS

L. APPROPRIATIONS

Approval of Audited Demands. (MOTION)

M. CLOSED SESSION

N. ADJOURNMENT

Pursuant to Government Code 54957.5: Supplemental materials distributed less than 72 hours before this meeting, to a majority of the City Council, will be made available for public inspection at this meeting and at the City Clerk's Office located at 37101 Newark Boulevard, 5th Floor, during normal business hours. Materials prepared by City staff and distributed during the meeting are available for public inspection at the meeting or after the meeting if prepared by some other person. Documents related to closed session items or are exempt from disclosure will not be made available for public inspection.

For those persons requiring hearing assistance, please make your request to the City Clerk two days prior to the meeting.



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AGENDA

Thursday, September 26, 2019

CITY COUNCIL:

Alan L. Nagy, Mayor
Sucy Collazo, Vice Mayor
Luis L. Freitas
Michael K. Hannon
Mike Buccì

CITY STAFF:

David J. Benoun
City Manager
Michael Carroll
Police Chief
Soren Fajeau
Public Works Director
David Zehnder
Recreation and Community
Services Director
Helen Que-Garcia
Acting Human Resources Dir.
Kristopher J. Kokotaylo
Interim City Attorney
Krysten Lee
Finance Manager
Arturo Interiano
Acting Community Dev. Dir.
Sheila Harrington
City Clerk

Welcome to the Newark City Council meeting. The following information will help you understand the City Council Agenda and what occurs during a City Council meeting. Your participation in your City government is encouraged, and we hope this information will enable you to become more involved. The Order of Business for Council meetings is as follows:

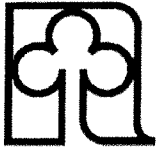
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|-------------------------------------|-------------------------|
| A. ROLL CALL | I. COUNCIL MATTERS |
| B. MINUTES | J. SUCCESSOR AGENCY |
| C. PRESENTATIONS AND PROCLAMATIONS | TO REDEVELOPMENT AGENCY |
| D. WRITTEN COMMUNICATIONS | K. ORAL COMMUNICATIONS |
| E. PUBLIC HEARINGS | L. APPROPRIATIONS |
| F. CITY MANAGER REPORTS | M. CLOSED SESSION |
| G. CITY ATTORNEY REPORTS | N. ADJOURNMENT |
| H. ECONOMIC DEVELOPMENT CORPORATION | |

Items listed on the agenda may be approved, disapproved, or continued to a future meeting. Many items require an action by motion or the adoption of a resolution or an ordinance. When this is required, the words *MOTION*, *RESOLUTION*, or *ORDINANCE* appear in parenthesis at the end of the item. If one of these words does not appear, the item is an informational item.

The attached *Agenda* gives the *Background/Discussion* of agenda items. Following this section is the word *Attachment*. Unless "none" follows *Attachment*, there is more documentation which is available for public review at the Newark Library, the City Clerk's office or at www.newark.org. Those items on the Agenda which are coming from the Planning Commission will also include a section entitled *Update*, which will state what the Planning Commission's action was on that particular item. *Action* indicates what staff's recommendation is and what action(s) the Council may take.

Addressing the City Council: You may speak once and submit written materials on any listed item at the appropriate time. You may speak once and submit written materials on any item **not** on the agenda during *Oral Communications*. To address the Council, please seek the recognition of the Mayor by raising your hand. Once recognized, come forward to the lectern and you may, but you are not required to, state your name and address for the record. Public comments are limited to five (5) minutes per speaker, subject to adjustment by the Mayor. Matters brought before the Council which require an action may be either referred to staff or placed on a future Council agenda.

No question shall be asked of a council member, city staff, or an audience member except through the presiding officer. No person shall use vulgar, profane, loud or boisterous language that interrupts a meeting. Any person who refuses to carry out instructions given by the presiding officer for the purpose of maintaining order may be guilty of an infraction and may result in removal from the meeting.



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City Administration Building
7:30 p.m.
City Council Chambers

Minutes

Thursday, September 12, 2019

A. ROLL CALL

Mayor Nagy called the meeting to order at 7:30 p.m. Present were Council Members Hannon, Collazo, Freitas, and Bucci.

B. MINUTES

B.1 Approval of Minutes of the City Council meeting of July 25, 2019.

MOTION APPROVED

Council Member Hannon moved, Council Member Collazo seconded, to approve the Minutes of the regular City Council meeting. The motion passed, 5 AYES.

C. PRESENTATIONS AND PROCLAMATIONS

C.1 Proclaiming September as Pain Awareness Month.

Mayor Nagy presented the proclamation to Michele Rice Ambassador-Advocate with the U.S. Pain Foundation. Ms. Rice shared her chronic pain experience.

C.2 Commending the First Presbyterian Church of Newark on their 125th anniversary.

Mayor Nagy presented the commendation to Reverend Garrett Yamada.

C.3 Proclaiming September 19-22, 2019, as Newark Days.

Mayor Nagy presented the proclamation to Shirley Sisk and members of the Newark Days Committee.

D. WRITTEN COMMUNICATIONS

E. PUBLIC HEARINGS

- E. 1 Hearing to consider text amendments to the Newark Municipal Code Zoning Ordinance to revise sections: 17.07.020, 17.07.030, 17.07.040(D)(5), 17.07.040(E), 17.08.020, 17.13.040(B), 17.26.090(E) and 17.26.280, generally affecting land uses, pedestrian walkways, landscaping, design standards, public notice requirements and other development standards. **ORDINANCE INTRODUCED****

Acting Community Development Director Interiano gave the staff report recommending approval. He highlighted key changes: add a 300 foot separation between tutoring and instruction services, allow governmental offices in Residential Medium Density and Residential High Density zoning districts, establish a notice and appeal requirement for large family daycares, clarify that 25 percent landscaping standards along the right-of-way apply only to single family zoning districts, reinstate the guest house standards that were unintentionally removed from the Zoning Code.

Mayor Nagy opened the public hearing at 8:01 p.m.

There was no public testimony.

Mayor Nagy closed the public hearing at 8:02 p.m.

Council Member Freitas moved, Council Member Bucci seconded to introduce an ordinance amending Title 17 (Zoning) of the Newark Municipal Code to revise sections 17.07.020, 17.07.030, 17.07.040(D)(5), 17.07.040(E), 17.08.020, 17.13.040(B), 17.26.090(E) and 17.26.280, generally affecting land uses, pedestrian walkways, landscaping, design standards, public notice requirements and other development standards. The motion passed, 5 AYES.

F. CITY MANAGER REPORTS

Council Member Collazo moved, Council Member Hannon seconded, to approve Consent Calendar Items F.1 through F.8, that the resolutions be numbered consecutively, and that reading of the titles suffice for adoption of the resolutions. The motion passed, 5 AYES.

CONSENT

- F.1 Report on administrative actions during August recess. MOTION APPROVED**
- F.2 Authorization for the City of Newark to accept a State of California Office of Traffic Safety (OTS) Selective Traffic Enforcement Program (STEP) grant and amendment to the 2018-2020 Biennial Budget.**

RESOLUTION NO. 10983

- F.3 Authorizing the City Manager to execute a Side Letter Agreement with the Newark Police Management Association “NPMA” to reinstate the \$100 per month health allowance. RESOLUTION NO. 10984**
- F.4 Approval of an amendment to the Employee Classification Plan Public Safety Dispatcher classification to increase the probationary period. RESOLUTION NO. 10985**
- F.5 Authorization to issue a no-fee encroachment permit to Newark Days Celebration, Inc. for the Newark Days Parade and Newark Mile Race, provide police services for traffic control and waive fees related to the parade and race, and waive fees for use of the Community Center and MacGregor Playfields, with the exception of the fees required for the building attendant and janitorial services. MOTIONS(3) APPROVED**
- F.6 Authorizing the City Manager to execute a Contractual Services Agreement with Consolidated Engineering Laboratories, Inc. to provide materials testing and special inspection services for the New Civic Center, Project 1188 and amending the 2018-2020 Biennial Budget and Capital Improvement Plan for fiscal year 2019-2020. RESOLUTION NO. 10986 CONTRACT NO. 17014**
- F.7 Authorizing the City Manager to execute a Contractual Services Agreement with Mission Critical Partners, LLC, to provide a Public Safety Answering Point (PSAP) Technology Needs Assessment, Cost Estimate and Detailed Migration Plan for the New Civic Center, Project 1188, and amending the 2018-2020 Biennial Budget and Capital Improvement Plan for fiscal year 2019-2020. RESOLUTION NO. 10987 CONTRACT NO. 17014**
- F.8 Adoption of the City of Newark’s Green Stormwater Infrastructure Plan. RESOLUTION NO. 10988**

G. CITY ATTORNEY REPORTS

H. ECONOMIC DEVELOPMENT CORPORATION

I. CITY COUNCIL MATTERS**I.1 Presentation of the Measure GG Transaction and Use Tax Oversight Committee Annual Report.**

Chair Lola stated that the Oversight Committee reviewed the revenues and expenditures for the Transaction and Use Tax and prepared the first annual report for fiscal years 2016-2017 (partial year) and 2017-2018. The Committee concluded that there were no findings to comment on nor recommendations for future expenditures.

Mayor Nagy thanked the Oversight Committee members for their service.

Mayor Nagy stated that construction has begun on the civic center project.

Council Member Hannon stated that the skate park opened last week and the dog park construction has begun. He noted that he attended the annual St Edward Catholic Church “Blue Mass” which honors public safety workers who gave their lives in the line of duty.

Council Member Collazo stated that in September she celebrates her wedding anniversary and her two son’s birth dates. She wished the City of Newark a Happy Birthday. She noted that the Rotary Club sponsors the haystack event during Newark Days. Shop Newark.

Council Member Freitas stated that the Washington Hospital Medical Clinic in Newark was renamed in honor of former Board Member Pat Danielson. He shared that the new library would be named in honor of Mayor Nagy. He stated that Spring Hill Suites and Staybridge Suites were opening new hotels in Newark. He thanked the Newark Days volunteers and the Measure GG Oversight Committee.

Council Member Bucci stated that his daughter dialed 9-1-1 today and encouraged parents to talk to their children about 9-1-1.

Mayor Nagy stated that the all weather turf fields at Sportsfield Park are open. He noted that the City is receiving increased property tax because of the new home sales. He stated that the increased traffic was a result of more jobs in the region and did not think the new homes contributed much to the increased traffic.

J. CITY COUNCIL ACTING AS THE SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY

K. ORAL COMMUNICATIONS

Diane Shaw of the Alameda County Transit Board of Directors stated that AC Transit wants to improve service and requested that people provide feedback by taking a brief survey at actransit.org/redesignfremontnewark. She noted that there is an ACT RealTime app to provide accurate bus arrival times.

Dan Kostenbauder, Silicon Valley Leadership Group Foundation, invited the City Council to participate in the Silicon Valley Turkey Trot on Thanksgiving Day.

L. APPROPRIATIONS**Approval of Audited Demands.****MOTION APPROVED**

City Clerk Harrington read the Register of Audited Demands: Check numbers 118347 to 118860.

Council Member Bucci moved, Council Member Hannon seconded, to approve the Register of Audited Demands. The motion passed, 5 AYES.

M. CLOSED SESSION**M.1 Closed session pursuant to Government Code Section 54957
Public Employee Performance Evaluation
Title: City Manager.**

At 8:31 p.m. the City Council recessed to a closed session.

At 8:39 p.m. the City Council convened in closed session.

At 9:39 p.m. the City Council reconvened in open session with all Council Members present.

N. ADJOURNMENT

At 9:39 p.m. Mayor Nagy adjourned the City Council meeting.

C.1 Introduction of employees.

Background/Discussion – Public Safety Clerk Trevor Ware and Vehicle Abatement Officer Veronica Mora of the Police Department will be at the City Council meeting to be introduced to the City Council.

F.1 Second reading and adoption of an ordinance to amend Title 17 (Zoning) of the Newark Municipal Code to revise sections: 17.07.020, 17.07.030, 17.07.040(D)(5), 17.07.040(E), 17.08.020, 17.13.040(B), 17.26.090(E) and 17.26.280, generally affecting land uses, pedestrian walkways, landscaping, design standards, public notice requirements and other development standards – from Acting Community Development Director Interiano. (ORDINANCE)

Background/Discussion – On September 12, 2019, staff recommended that the Zoning Code be amended to make the regulations clearer and more effective. These changes will improve project designs, improve customer service, minimize confusion, and save staff time. The proposed changes are summarized in the table below.

Subject	Zoning Section	Proposed Change
Guesthouse	<i>17.07.020 (Table) and 17.26.280</i>	Reintroduce standards. Unintentionally removed during 2018 overhaul of Zoning Ordinance.
Government Offices	<i>17.07.020 (Table)</i>	Add Use to Residential Medium Density (RM) and Residential High Density (RH) zoning districts
Public Safety Facilities	<i>17.07.020 (Table)</i>	Change to Permitted Use in RM and RH zoning districts instead of conditional use permit
Lodging House	<i>17.07.020 (Table)</i>	Add as Permitted use in Zoning Tables to be consistent with definition.
Landscape Standards	<i>17.07.030 (Table)</i>	Clarify that 25% landscaping along right-of-way only applies to single family Zoning districts.
Pedestrian Walkways	<i>17.07.040(D)(5)</i>	Reduce the walkway width to 4 feet instead of 6 feet.
Single Family Design Guidelines	<i>17.07.040(E)</i>	Adding reference to guidelines. Existing guidelines have been in effect since 2007.
Tutoring Center and Instructional Service	<i>17.08.020 (Table)</i>	Add distance separation between uses of 300 feet within Commercial Mixed Use (CMU), Commercial Retail (CR), Neighborhood Commercial (NC), Community Commercial (CC), and Regional Commercial (RC) zoning districts.
Form-Based Code	<i>17.13.040(B)</i>	Change distance separation of buildings in the Form Based Code from 16 feet to 19 feet. for better spatial design
Large Family Daycare	<i>17.26.090(E)</i>	Establish a notification and appeal process to the surrounding neighbors within 200 feet.

The City Council agreed with the proposed amendments and introduced an ordinance at the September 12, 2019, City Council meeting. A second reading of the ordinance is required before adoption.

Attachment - Ordinance

Action - Staff recommends that the City Council, waive further reading and adopt the ordinance amending Title 17 (Zoning) of the Newark Municipal Code to revise sections 17.07.020, 17.07.030, 17.07.040(D)(5), 17.07.040(E), 17.08.020, 17.13.040(B), 17.26.090(E) and 17.26.280, generally affecting land uses, pedestrian walkways, landscaping, design standards, public notice requirements and other development standards.

ORDINANCE NO.

ORDINANCE OF THE CITY COUNCIL OF THE CITY OF NEWARK AMENDING TITLE 17 (ZONING) OF THE NEWARK MUNICIPAL CODE TO REVISE SECTIONS 17.07.020, 17.07.030, 17.07.040(D)(5), 17.07.040(E), 17.08.020, 17.13.040(B), 17.26.090(E) AND 17.26.280, GENERALLY AFFECTING LAND USES, PEDESTRIAN WALKWAYS, LANDSCAPING, DESIGN STANDARDS, PUBLIC NOTICE REQUIREMENTS AND OTHER DEVELOPMENT STANDARDS

WHEREAS, effective January 25, 2018, the City Council of the City of Newark (“City”) adopted a comprehensive update to the City’s zoning ordinance, which repealed the then-existing zoning ordinance, and replaced it with an entirely new zoning ordinance that, among other actions, established new zoning districts, revised and reformatted many then-existing zoning provisions, eliminated inconsistent and outdated provisions, and codified entirely new zoning provisions, including new land use regulations and development standards (“Zoning Ordinance”); and

WHEREAS, since adoption of the Zoning Ordinance, the City has identified areas of the Zoning Ordinance that require refinement, clarification, and/or correction, including provisions generally affecting land uses, pedestrian walkways, landscaping, design standards, public notice requirements and other minor modifications; and

WHEREAS, the Planning Commission held a duly noticed public hearing on the proposed amendments on August 13, 2019 at which time all interested parties had the opportunity to be heard. The Planning Commission considered a staff report dated August 13, 2019 (including background reports) and all written and oral testimony, and adopted Resolution No. 1981 recommending approval of the amendments. The staff report and resolution are incorporated herein by reference; and

WHEREAS, the City Council held a duly noticed public hearing on the proposed amendments on September 12, 2019, at which time all interested parties had the opportunity to be heard. The City Council considered a staff report dated September 12, 2019 (including background reports) and incorporated herein by reference, the Planning Commission recommendation, and all written and oral testimony before taking action on the amendments.

The City Council of the City of Newark does ordain as follows:

Section 1: Recitals. The above recitals are true and correct and made a part of this Ordinance.

Section 2: Findings. Pursuant to Section 17.39.070 of Title 17 (Zoning) of the City of Newark Municipal Code, the City Council of the City of Newark does hereby find that the zoning text amendments embodied in this ordinance as set forth in Exhibit A, attached hereto and made a

part of by reference, are necessary and desirable to achieve the purposes of Title 17 (Zoning) of the Newark Municipal Code, which seeks to amend various zoning districts and development standards. Pursuant to Section 17.39.080 of Title 17 (Zoning) of the City of Newark Municipal Code, the City Council makes the following findings in support of approving this Ordinance, based on the whole of the record before it.

1. The proposed amendments are consistent with the general plan;
2. Any change in district boundaries is necessary to achieve the balance of land uses desired by the City, consistent with the general plan, and to increase the inventory of land within a given zoning district; and
3. The amendment will promote the growth of the city in an orderly manner and to promote and protect the public health, safety, peace, comfort and general welfare.

Section 3: CEQA. Approval of the zoning text amendments embodied in this ordinance as set forth in Exhibit A, attached hereto and made a part hereof by reference, is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15061(b)(3), which provides that where it can be seen with certainty that there is no possibility that the activity in question may have a significant impact on the environment, the activity is not subject to CEQA. As a series of text amendments and additions, it can be seen with certainty that there is no possibility that the ordinance will have a significant effect on the environment.

Section 4: Approval. The City Council hereby approves the amendments to Title 17 (Zoning) of the Newark Municipal Code, more particularly amending Sections 17.07.020, 17.07.030, 17.07.040(D)(5), 17.07.040(E), 17.08.020, 17.13.040(B), 17.26.090(E) and 17.26.280 as shown in Exhibit A, with ~~strikeout~~ denoting deletions and underline denoting additions, which is incorporated herein by reference and available for review in the City Clerk's office during normal business hours.

Section 5: Severability. If any provision of this ordinance or the application thereof to any person or circumstance is held invalid, the remainder of the ordinance, including the application of such part or provision to other persons or circumstances shall not be affected thereby and shall continue in full force and effect. To this end, provisions of this ordinance are severable. The City Council hereby declares that it would have passed each section, subsection, subdivision, paragraph, sentence, clause, or phrase hereof irrespective of the fact that any one or more sections, subsections, subdivisions, paragraphs, sentences, clauses, or phrases be held unconstitutional, invalid, or unenforceable.

Section 6: Publication and Effective Date. This ordinance shall take effect thirty (30) days from the date of its adoption. Before expiration of fifteen (15) days after its adoption, this ordinance or a summary of the ordinance shall be published in The Tri-City Voice, a newspaper of general circulation published and printed in the County of Alameda and circulated in the City of Newark, in accordance with California Government Code Section 36933.

EXHIBIT A

appropriate in a medium density residential neighborhood. This District implements the Medium Density Residential General Plan Land Use Designation.

RH Residential High Density. This District is intended for residential densities from 25 to 60 units per net acre. It provides for apartment and condominium complexes that are generally three stories or more. On larger parcels with this designation, common open space and other shared amenities are typically provided. In addition, this District provides for other compatible uses, such as schools, childcare centers, parks, and community facilities that may be appropriate in a high density residential neighborhood. This District implements the High Density Residential General Plan Land Use Designation.

17.07.020 Land Use Regulations

Table 17.07.020, Land Use Regulations-Residential Districts, prescribes the land use regulations for Residential Districts. Use classifications are defined in Chapter 17.45, Use Classifications. In cases where a specific land use or activity is not defined, the Director shall assign the land use or activity to a classification that is substantially similar in character. Use classifications and subclassifications not listed in the table or not found to be substantially similar to the uses below are prohibited. Section numbers in the right hand column refer to other sections of this Ordinance.

TABLE 17.07.020: LAND USE REGULATIONS-RESIDENTIAL DISTRICTS					
<i>"P" Permitted Use; "M" Minor Use Permit Required; "C" Conditional Use Permit Required; "-" Use Not Allowed</i>					
Use Classification	RS	RL	RM	RH	Additional Regulations
Residential Uses					
Residential Housing Types					
<i>Single-Unit Dwelling, Detached</i>	P	P	P	P	
<i>Single-Unit Dwelling, Attached</i>	-	P	P	P	See Section 17.07.040.D, Single Unit Attached and Multi-Unit Development
<i>Two-Unit Dwelling</i>	-	P	P	P	
<i>Multi-Unit Development</i>	-	P	P	P	See Section 17.07.040.D, Single Unit Attached and Multi-Unit Development
<i>Accessory Dwelling Unit</i>	P	P	P	P	See Section 17.26.040, Accessory Dwelling Units
Guest House	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	See Section 17.26.280, Guest House
Lodging House	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	See Section 17.46.120, Lodging House
Family Day Care					
<i>Small</i>	P	P	P	P	
<i>Large</i>	M	M	M	M	See Section 17.26.090, Day Care
Group Residential	-	-	M	M	
Residential Care Facilities					
<i>Small</i>	P	P	P	P	
<i>Large</i>	-	M	M	M	See Section 17.26.220, Residential Care Facilities

TABLE 17.07.020: LAND USE REGULATIONS-RESIDENTIAL DISTRICTS					
<i>"P" Permitted Use; "M" Minor Use Permit Required; "C" Conditional Use Permit Required; "-" Use Not Allowed</i>					
<i>Use Classification</i>	<i>RS</i>	<i>RL</i>	<i>RM</i>	<i>RH</i>	<i>Additional Regulations</i>
Residential Facility, Assisted Living	-	M	M	M	
Single Room Occupancy	-	-	-	C	See Section 17.26.230, Single Room Occupancy Units
Supportive Housing	Transitional and supportive housing constitute a residential use and are subject only to those restrictions that apply to other residential uses of the same type in the same district.				
Transitional Housing					
Public/Semi-Public Uses					
Community Assembly	C	C	C	C	
Community Garden	P	P	P	P	See Section 17.26.080, Community Gardens
Cultural Institutions	-	C	C	C	
Day Care Centers	-	C	C	C	See Section 17.26.090, Day Care
Emergency Shelter	-	-	M	P	See Section 17.26.110, Emergency Shelters
<u>Government Offices</u>	<u>C</u>	<u>C</u>	<u>P</u>	<u>P</u>	
Hospital and Clinics					
<i>Skilled Nursing Facility</i>	-	-	C	C	
Park and Recreation Facilities	P	P	P	P	
Public Safety Facilities	C	C	<u>C</u>	<u>C</u>	
Schools	C	C	C	C	
Social Service Facilities	-	-	M	M	
Transportation, Communication, and Utility Uses					
Communication Facilities					
<i>Telecommunication</i>	See Section 17.26.250, Telecommunication Facilities				
Public Works and Utilities	C	C	C	C	
Other Applicable Types					
Accessory Uses and Structures	See Section 17.17.020, Accessory Buildings and Structures, and Section 17.26.030, Accessory Uses				
Home Occupations	See Section 17.26.140, Home Occupations				
Nonconforming Use	See Chapter 17.22, Nonconforming Provisions				
Solar Energy Systems	See Section 17.26.240, Solar Energy Systems				
Temporary Use	See Section 17.26.260, Temporary Uses				

TABLE 17.07.030: DEVELOPMENT STANDARDS-RESIDENTIAL DISTRICTS					
Standard	RS	RL	RM	RH	Additional Regulations
Street Side	10	10	8	8	See Section 17.17.090, Projections into Yards and Required Building Separations
Rear	20	15	10	10	See Section 17.17.090, Projections into Yards and Required Building Separations
Distance Between Main Structures (ft)	n/a	n/a	10	10	See Section 17.17.090, Projections into Yards and Required Building Separations
Lot Coverage, Landscape, and Open Space Standards					
Maximum Lot Coverage (% of lot)	50	50	55	55	
Minimum Landscaping (% of lot)	25	25	25	25	At least half of the landscape area in RS District shall be provided along public rights-of-way or near sidewalks. See Chapter 17.21, Landscaping
Minimum Open Space (sq ft per residential unit)	n/a	400(C)	300(C)	200(C)	

- A. **Additional Density, RL and RM Districts.** Up to 15 units/net acre in the RL District and up to 30 units/net acre in the RM District are allowed on properties which have their primary access on an arterial or collector street and which are found to be compatible with the character and intensity of residential development in the immediate area subject to Conditional Use Permit approval.
- B. **Attached Single-Unit Dwellings.** Required setbacks apply to the ends of rows of attached single-unit dwellings.
- C. **Heights over 35 feet in the RM and RH Districts shall require a Minor Use Permit.**

- ii. Common areas typically consist of landscaped areas, patios, swimming pools, barbeque areas, tennis courts, playgrounds, turf, or other such improvements as are appropriate to enhance the outdoor environment of the development.
- b. *Minimum Dimensions.*
 - i. Private Open Space. Private open space located on the ground level (e.g., yards, decks, patios) shall have no dimension less than 10 feet. Private open space located above ground level (e.g., balconies) shall have no dimension less than six feet.
 - ii. Common Open Space. Minimum dimension of 20 feet.
- c. *Usability.* A surface shall be provided that allows convenient use for outdoor living and/or recreation. Such surface may be any practicable combination of lawn, garden, flagstone, wood planking, concrete, decking, or other serviceable, dust-free surfacing. Slope shall not exceed 10 percent.
- d. *Location.*
 - i. Required open space shall not be located in a required front or street side setback.
 - ii. No portion of required open space shall be used for driveways of off-street parking and loading facilities or as access to more than one dwelling unit.
 - iii. Open space may be located on the roof of buildings or required off-street parking facilities
- e. *Accessibility.*
 - i. Private Open Space. The space shall be accessible to only one living unit by a doorway to a habitable room or hallway.
 - ii. Common Open Space. The space shall be accessible to the living units on the lot. It shall be served by any stairway or other access way qualifying as an egress facility from a habitable room.
- f. *Screening.* Required private open space shall be screened by a solid fence or visually solid fence not less than six feet in height when located at ground level and by a solid railing or visually solid railing not less than 42 inches in height when located on a balcony or balconies.

17.07.040 Supplemental Regulations

- A. **Paving.** The maximum amount of paving in street-facing yards is 50 percent of the required yard.
- B. **Parking of Commercial Vehicles Prohibited.** No commercial vehicle in excess of 10,000 pounds manufacturer's gross vehicle weight rating shall be parked or stored on any lot in a Residential District. This section shall not prohibit temporary parking of any such vehicle while making pickups or deliveries or providing services for the residents of the lot on which the vehicle is parked.

- C. **Vehicle and Equipment Repairs or Fabrication.** Repair, fabrication or other work on automobile or vehicle or equipment on residential premises shall be subject to the following conditions and restrictions:
1. Such work shall be limited to those vehicles or equipment which may be stored within a private garage upon residential premises.
 2. Such work shall be done only upon such vehicles or equipment which are owned by an occupant of the residential premises.
 3. Such work shall be done only between the hours of 8:00 a.m. and 8:00 p.m.
 4. Such work shall not be done in a public right-of-way.
 5. Storage of parts for such vehicles or equipment on the premises shall be limited to those parts reasonably necessary for the repair of the occupant's vehicle or equipment.
 6. Such work shall be limited to minor repair and service on noncommercial vehicles to include such things as battery replacement, tire repair, brake servicing, changing of small parts, oil changes and lubrication, engine tune-up and similar routine maintenance and preventative maintenance work.
- D. **Single Unit Attached and Multi-Unit Development.** All attached single unit and multi-unit development shall meet the following development standards. Exceptions may be granted through Design Review to accommodate alternative design solutions.
1. **Building Entrances.**
 - a. *Orientation.* All units located along public rights-of-way must have the primary entrance facing this right-of-way. Exceptions to this requirement may be approved for projects where multi-unit housing is located on four-lane streets carrying high traffic volumes and/or streets that do not allow on-street parking. In such cases, the project may be oriented around courtyards.
 - b. *Projection or Recess.* Building entrances must have a roofed projection (such as a porch) or recess with a minimum depth of at least five feet and a minimum horizontal area of 30 square feet. Exceptions to this requirement may be approved for alternative designs that create a welcoming entry feature facing the street, such as trellis or landscaped courtyard entry.

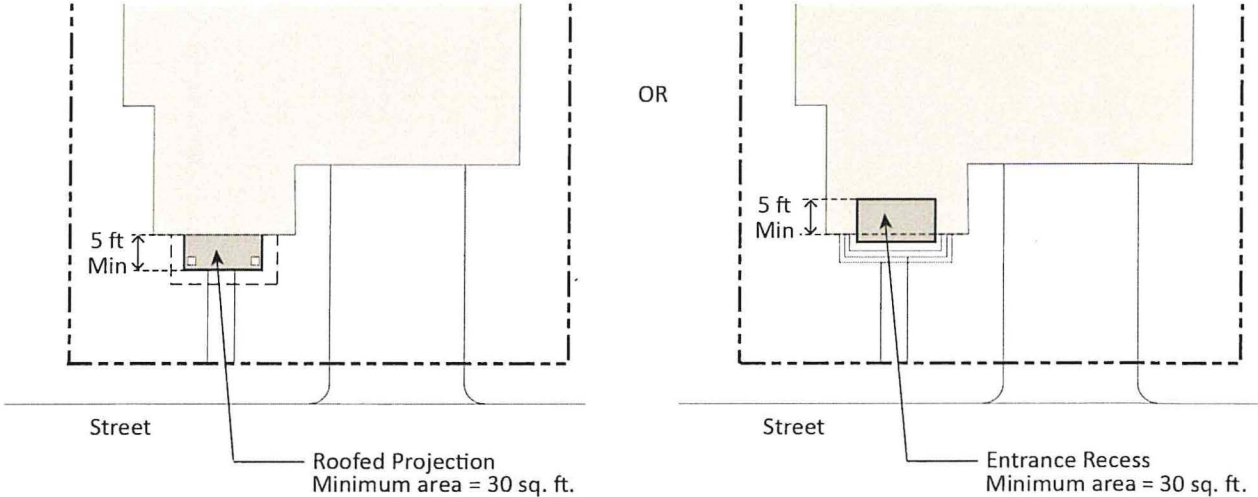


FIGURE 17.07.040.D.1.B: PROJECTION OR RECESS

- c. *Dwelling Unit Access.* Exterior entrances to units shall be in a form of individual or shared entrances at the ground floor of the building. Unit entrances above the ground floor are also permitted; however, no exterior access corridor located above the ground floor may provide access to five or more units.

2. **Building Design.** Buildings shall include adequate design features to create visual variety and avoid a large-scale and bulky appearance.
 - a. **Roof Line.** The roof line at each elevation shall demonstrate an offset of at least 18 inches for each one to three units exposed on that elevation. Large, continuous roof planes are prohibited.



The roof line for each elevation shall be offset at least 18 inches for each one to three units exposed on that elevation.

FIGURE 17.04.040.D.2.A: ROOF LINE

- b. *Window Trim or Recess.* Trim at least one-half inch in depth shall be provided around all windows, or window must be recessed at least two inches from the plane of the surrounding exterior wall.

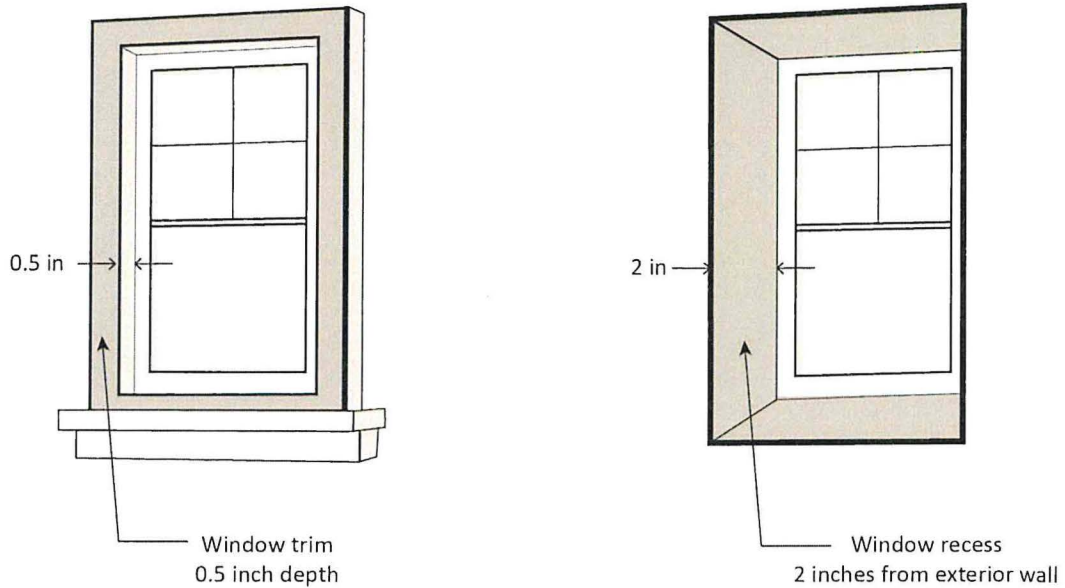
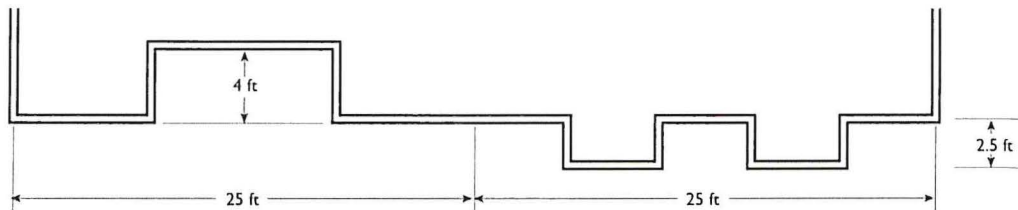


FIGURE 17.07.040.D.2.B: WINDOW TRIM OR RECESS

- c. *Façade Articulation.* All street-facing façades shall have at least one horizontal or vertical projection or recess at least two feet in depth, or two projections or recesses at least two and one-half feet in depth, for every 25 horizontal feet of wall. If located on a building with two or more stories, the articulated elements must be greater than one story in height, and may be grouped rather than evenly spaced in 25-foot modules. Building entrances and front porches and projections into required yards such as stoops, bays, overhangs, fireplaces, and trellises may count towards meeting this requirement.



Street-facing facades shall have at least one projection or recess at least 4 feet in depth, or two projections or recesses at least 2.5 feet in depth, for every 25 linear feet of wall.

FIGURE 17.07.040.D.2.C: FAÇADE ARTICULATION

- d. *Façade Detailing and Materials.* All visible building façades shall incorporate details, such as window and door trim, window recesses, cornices, changes in materials or other design elements, in an integrated composition. Each side of a building that is visible from a public right-of-way shall be designed with a complementary level of detailing and quality of materials.
- e. *Building Colors.* Every building shall have at least two complementary colors.
- f. *Building Materials.* All materials shall be high quality to allow for long-term durability and appearance.
- g. *Transition Areas.* Where new multi-unit development is built adjacent to existing lower-scaled residential development, the façade facing the existing lower-scaled residential development shall be designed to provide architectural relief and interest, while also respecting the scale of adjacent neighbors.
- i. Full-Height Recesses. Full-height recesses, a minimum of five feet deep, shall be provided along the facade to break the building into smaller discrete masses.

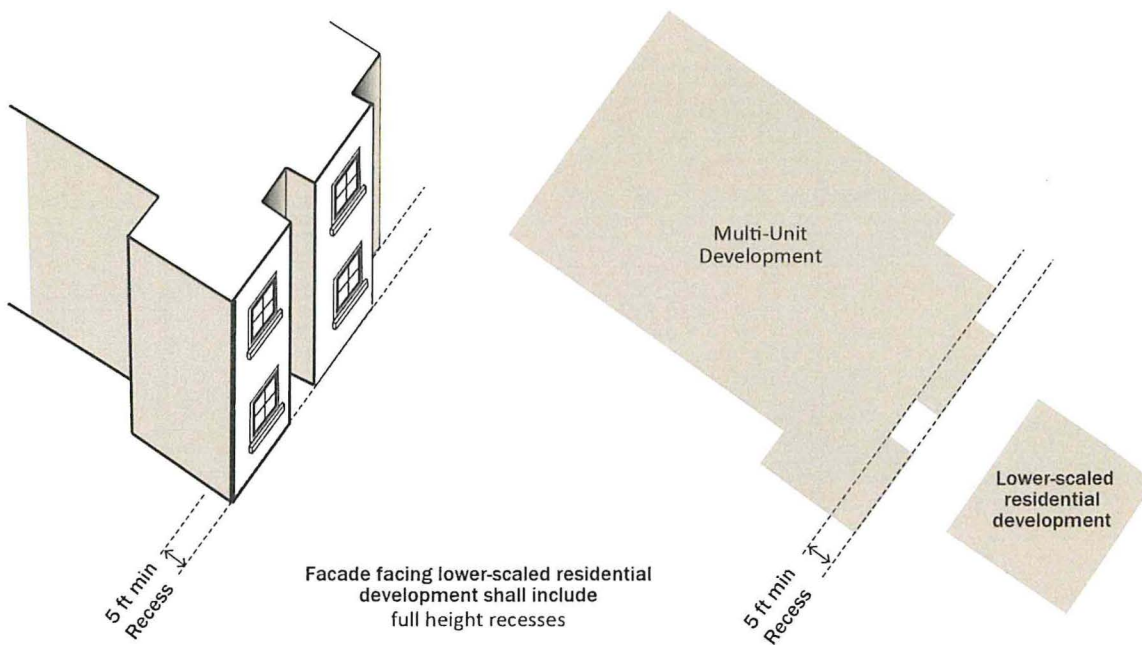


FIGURE 17.07.040.D.2.G.I: FULL-HEIGHT RECESSES

- ii. Window and Balcony Placement. Offset windows to avoid direct sight lines into and from neighboring properties. Position balconies and other private open space so they minimize views into neighboring properties.

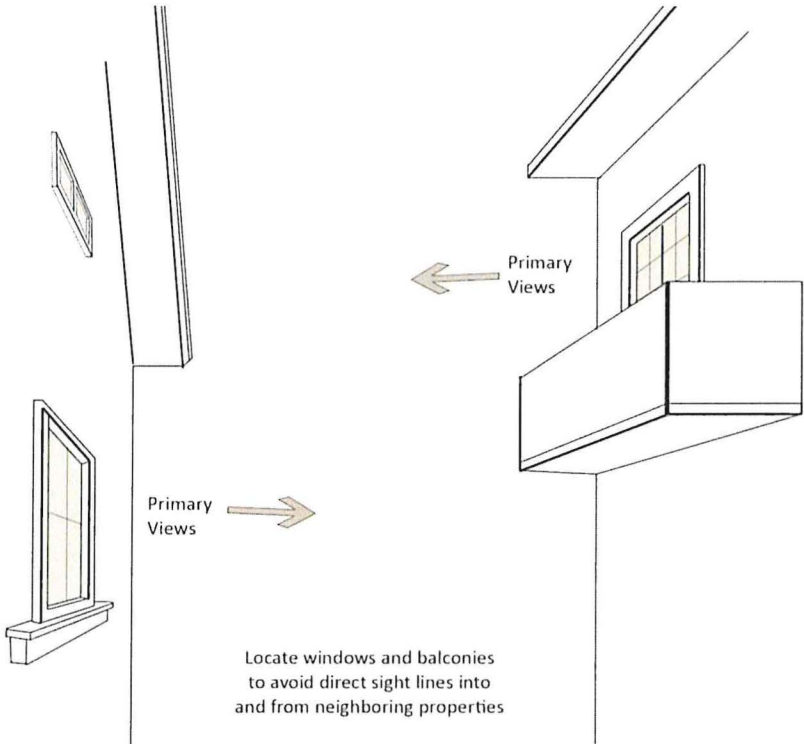
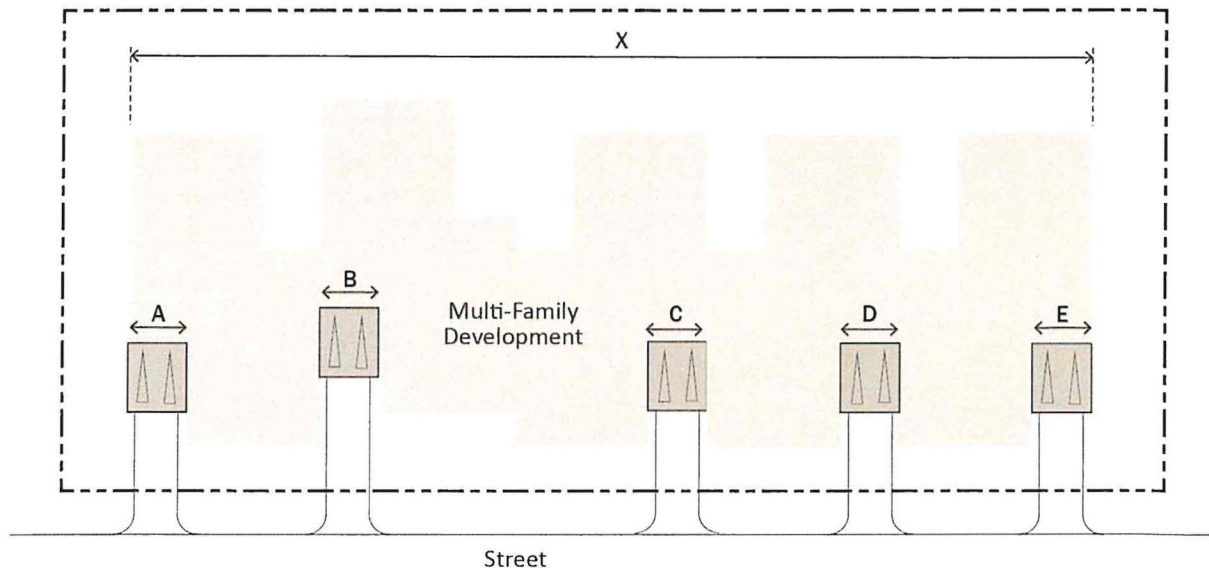


FIGURE 17.07.040.D.2.G.II: WINDOW AND BALCONY PLACEMENT

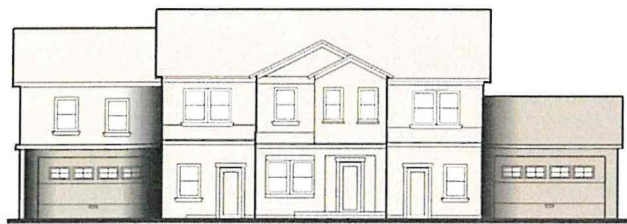
3. **Garage Frontage.** Limit the appearance of attached garages. Garage width shall not exceed 50 percent of the linear street-facing elevation of any multi-unit development.



Attached garage width shall not exceed 50% of the linear street-facing elevation.
 $(A+B+C+D+E) < (X/2)$

FIGURE 17.07.040.D.3: GARAGE FRONTAGE

- a. Attached garages located on the unit frontage should be recessed behind the front elevation wall plane.



Attached garages should be recessed behind the front wall plane

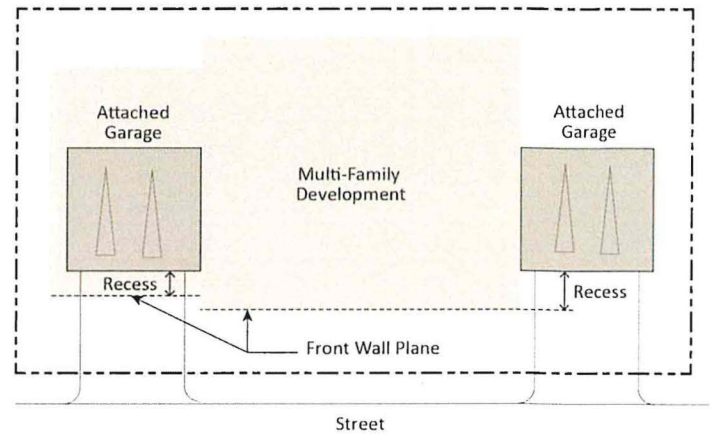


FIGURE 17.07.040.3.A: ATTACHED GARAGES

- b. Garage placement should minimize paved area and maximize usable open space areas on the site.
- 4. **Parking Area Limitation.** Uncovered parking areas shall not exceed 20 percent of the total site area unless a greater area is approved through Design Review.
- 5. **Pedestrian Access.** On-site pedestrian circulation and access shall be provided according to the following standards.
 - a. *Internal Connections.* A system of pedestrian walkways shall connect all buildings on a site to each other, to on-site automobile and bicycle parking areas, and to any on-site open space areas or pedestrian amenities.
 - b. *To Circulation Network.* Regular connections between on-site walkways and the public sidewalk and other planned or existing pedestrian routes shall be provided. An on-site walkway shall connect the primary building entry or entries to a public sidewalk on each street frontage.
 - c. *To Neighbors.* Direct and convenient access shall be provided to adjoining residential and commercial areas to the maximum extent feasible while still providing for safety and security.
 - d. *To Transit.* Safe and convenient pedestrian connections shall be provided from transit stops to building entrances.
 - e. *Pedestrian Walkway Design.*

- i. Walkways shall be a minimum of ~~six~~ four feet wide, shall be hard-surfaced, and paved with concrete, stone, tile, brick, or comparable material.
- ii. Where a required walkway crosses parking areas or loading areas, it must be clearly identifiable through the use of a raised crosswalk, a different paving material, or similar method.
- iii. Where a required walkway is parallel and adjacent to an auto travel lane, it must be raised or separated from the auto travel lane by a raised curb at least four inches high, bollards, or other physical barrier.

E. Single Family Residential Design Review Guidelines. The following projects are subject to single family residential design review process as adopted by the Planning Commission on April 24, 2007, or as amended:

- i. New single family residences.
- ii. Second-story additions and exterior modifications to existing single-family residences.
- iii. Additions and exterior modifications at the front (including street side yards for corner lots) of existing single-family residences.

TABLE 17.08.020: LAND USE REGULATIONS-COMMERCIAL AND MIXED USE DISTRICTS						
<i>"P" Permitted Use; "M" Minor Use Permit Required; "C" Conditional Use Permit Required; "-" Use Not Allowed</i>						
<i>Use Classification</i>	<i>NC</i>	<i>CMU</i>	<i>CR</i>	<i>CC</i>	<i>RC</i>	<i>Additional Regulations</i>
Funeral Parlors and Interment Services	-	-	-	M	-	
Government Offices	P	P	P	P	P	
Hospital and Clinics						
<i>Clinic</i>	M	M	M	M	M	
Instructional Services	M	M	M	M	M	A minimum separation of 300 ft is required between two instructional services
Park and Recreation Facilities	M	M	M	M	M	
Parking Lots and Structures	M	M	M	M	M	
Public Safety Facilities	P	P	P	P	P	
Schools	M	M	M	M	M	
Social Service Facilities	-	M	M	M	M	
Tutoring Facilities	M	M	M	M	M	A minimum separation of 300 ft is required between two tutoring facilities
Commercial Uses						
Adult Business	-	-	-	P	-	See Section 17.26.050, Adult Oriented Businesses
Animal Care, Sales, and Services						
<i>Animal Sales and Grooming</i>	P	P	P	P	P	
<i>Boarding/Kennels</i>	-	-	-	C	C	
<i>Veterinary Services</i>	M	M	M	M	M	
Artist's Studio	P	P	P	P	P	
Automobile/Vehicle Sales and Services						
<i>Automobile Rentals</i>	M	M	M	M	P	See Section 17.26.060, Automobile/Vehicle Sales and Services
<i>Automobile/Vehicle Sales and Leasing</i>	-	-	-	P	P	
<i>Automobile/Vehicle Service and Repair, Minor</i>	-	-	-	M	M	
<i>Large Vehicle and Equipment Sales, Service and Rental</i>	-	-	-	-	M	
<i>Service and Gas Stations</i>	C	-	-	M	M	
<i>Washing</i>	-	-	-	M	M	
Banks and Financial Institutions						
<i>Banks and Credit Unions</i>	P	P	P	P	P	

TABLE 17.13.040.A: DEVELOPMENT STANDARDS-SINGLE-UNIT DEVELOPMENT				
<i>Standard</i>	<i>Single-Unit, Detached</i>		<i>Single Unit, Attached</i>	
	<i>Front Loaded</i>	<i>Alley Loaded</i>	<i>Front Loaded</i>	<i>Alley Loaded</i>
Lot Dimensions				
Rear				
<i>Main Building (minimum)</i>	10 ft	10 ft	10 ft	10 ft
<i>Accessory Building (minimum)</i>	5 ft	14 or 28 ft	5 or 28 ft	5 or 28 ft
Side				
<i>Main Building (minimum)</i>	3 ft 3 in	3 ft 3 in	3 ft 3 in	3 ft 3 in
<i>Main Building at Corners (minimum)</i>	8 ft 3 in	8 ft 3 in	8 ft 3 in	8 ft 3 in
<i>Porch/stoops at Corners (minimum)</i>	6 ft	6 ft	6 ft	6 ft
<i>Accessory Building/Garage (minimum)</i>	3 ft 3 in	3 ft 3 in	3 ft 3 in	3 ft 3 in
<i>Accessory Building/Garage at Corners (minimum)</i>	8 ft 3 in	8 ft 3 in	8 ft 3 in	8 ft 3 in
Site Coverage				
Maximum Site Coverage (not including porches)	60%	60%	75%	75%

B. **Commercial, Office, and Multi-Unit Development.** Table 17.13.040.B, Development Standards-Commercial, Office, and Multi-Unit Development, prescribe the development standards for Commercial, Office, and Multi-Unit Development.

TABLE 17.13.040.B: DEVELOPMENT STANDARDS- COMMERCIAL, OFFICE, AND MULTI-UNIT DEVELOPMENT		
<i>Standard</i>	<i>Commercial and Office</i>	<i>Multi-Unit</i>
Building Form		
Maximum Length of Building Façade with no Courtyard Break (ft)	300	300
Maximum Building Depth (ft)	300	n/a
Setbacks		
From Public Right-of-Way		
<i>Porches/Stoops/Balconies</i>	n/a	10 ft min
<i>Building</i>	Ground floor: 0 min, 10 ft max Upper floors: 10 ft where ground floor at 0 to 5 ft; 5 ft where ground floor at 5 to 10 ft	15 ft min
From Other Buildings On-Site		
<i>Residential Buildings</i>	20 ft min	Front/front: 16-19 ft min Side/side: 10 ft min Front/side: 15 ft min
<i>Community or Service Buildings</i>	n/a	25 ft min

may require reasonable guarantees and evidence that such conditions are being, or will be, complied with.

- C. **Temporary Uses Requiring a Conditional Use Permit.** Other temporary events and special events, outdoor sales, and displays that exceed three consecutive days, may be allowed with the approval of a Conditional Use Permit so long as they are not intended to extend longer than one month and they are determined to not impact neighboring uses or otherwise create significant impacts.

17.26.270 Tobacco Retailers

Tobacco retailers shall be located, developed, and operated in compliance with the following standards:

- A. **Location.** Tobacco retailers shall be located a minimum of 1,000 feet from any other such establishment, public park, child day care facility, or school.
- B. **Access to Merchandise.** Products shall be secured so that only store employees have immediate access to the tobacco products and/or tobacco paraphernalia. Self-service displays are prohibited.
- C. **Advertising and Display of Tobacco Products.** Tobacco retailers shall comply with local, state and/or federal laws regarding sales, advertising or display of tobacco products, including, posting a sign prominently near the cash register or other point of sale, the legal age to buy tobacco products and checking the identification of all purchasers to ensure they are of legal age.
- D. **Selling or Exchange of Tobacco Products.** No minor person may sell or exchange tobacco products.
- E. **Sales to Minors.** Tobacco products shall not be given or sold to minors.

17.26.280 Guest House

A guesthouse is an accessory building used for living accommodations, including provisions for sleeping and sanitation. Guesthouses may not have kitchens or wet bars. Guesthouses may only be built on residential-zoned lots with single-family homes. Guesthouses are meant to be used on occasion by guests of the household living in the main house.

A. Location.

- a. Front and Street-Side Setbacks. A guesthouse shall not be located within any required front or street-side setback area.
- b. Interior-Side and Rear Setbacks. A guesthouse shall be setback a minimum of five feet from interior side; and a minimum of ten feet from street side and rear property lines.

B. Size. A guesthouse may have a gross floor area up to 10% of the main house gross living area or 275 feet, whichever is larger.

C. Additional Regulations.

- a. A guesthouse may not have a kitchen or a wet bar.
- b. A guesthouse may not be rented or sold.
- c. A parcel may not have both a guest house and an accessory dwelling unit.

- d. The minimum distance between a detached guesthouse and the main house or any other detached structure is 6 feet.
- e. A building permit is required to build a guesthouse. Like all structures, the guesthouse must comply with zoning regulations and the building code. Standard building permit application fees apply for guesthouses.
- f. Guesthouses are not separate dwellings, and therefore may not have a separate address.
- g. A guesthouse must be heated and must meet the state energy conservation standards.

- F. **Maintenance.**
 - 1. The operator shall be responsible for the overall maintenance of the site and shall remove weeds, debris, etc. in a timely manner.
 - 2. Soil amendments, composting, and waste material shall be managed and shall not attract nuisance flies or support growth of flies.
- G. **Sale of Produce.** Incidental sales of items grown on-site are permitted.
- H. **Composting.** Composting is limited to the materials generated on-site and shall be used on-site.
- I. **Utilities.** The land shall be served by a water supply sufficient to support the cultivation practices used on the site.
- J. **Restrooms.** If proposed, restrooms shall be connected to public utilities. Portable restrooms are not permitted.

17.26.090 Day Care

Day care centers and large family daycare homes shall be located, developed and operated in compliance with the following standards:

- A. **License.** The operator shall secure and maintain a license from the State of California Department of Social Services.
- B. **Location.** Unless specifically allowed pursuant to a Use Permit approval, day care centers and large family daycare homes serving seven or more persons shall be located at least 300 feet from any other residential care facility, day care center, or large family day care home serving seven or more persons.
 - 1. **Adult Day Care Center Location Limitation.** Adult day care centers serving seven or more persons shall be located on a lot with frontage on an arterial.
- C. **Pick-up and Drop-off Plan.** A plan and schedule for the pick-up and drop-off of children or clients shall be provided for approval by the Director. The plan shall demonstrate that adequate parking and loading are provided to minimize congestion and conflict points on travel aisles and public streets. The plan shall include an agreement for each parent or client to sign that includes, at a minimum:
 - 1. A scheduled time for pick-up and drop-off with allowances for emergencies; and
 - 2. Prohibitions of double-parking, blocking driveways of neighboring properties, or using driveways of neighboring properties to turn around.
- D. **Additional Requirements for Day Care Centers.** In addition to the requirements listed above, Day Care Centers shall comply with the following standards:
 - 1. **Screening.** A periphery wall, constructed of wood or masonry, or landscaping screen shall be provided to screen outdoor activity areas and shall achieve 75 percent opacity. Chain metal fencing or barbed wire is prohibited.
 - 2. **Outdoor Space.** Outdoor use area and play equipment and structures shall not be located in any required front or street side setback.

3. **Hours of Operation.** Hours of operation shall only be within the hours of 6:00 a.m. and 7:00 p.m., Monday through Friday. Additional hours may be allowed subject to approval of a Minor Use Permit.
4. **Noise.** Outdoor activities shall not occur before 9:00 a.m. or after 6:00 p.m.

E. Notice Requirements.

1. **Notice to Neighbors.** At least 10 days before submitting formal application with the Planning division, the applicant shall provide notice to the neighbors within a 200-foot radius of the subject property as shown on the latest available assessment role, of the intent to propose a large family day care. The notice shall include the location of proposed outdoor space, available parking spaces and timings of the day care.
- 4-2. **Notice of Action and Appeals.** Notice of Action shall be provided pursuant to Subsection 17.31.080.B, Notice of Action. In addition to the recipients identified in Subsection 17.31.080.B, Notice of Action, Notice shall also be provided to all property owners within a minimum 200-foot radius of the subject property as shown on the latest available assessment role. A decision of the Director may be appealed to the Planning Commission and a decision of the Planning Commission may be appealed to the City Council, as provided in Section 17.31.110, Appeals.

17.26.100 Drive-In and Drive-Through Facilities

Drive-in or drive-through facilities shall be located, developed and operated in compliance with the following standards:

- A. **Drive-In and Drive-Through Aisles.** Drive-in and drive-through aisles shall be designed to allow safe, unimpeded movement of vehicles at street access points and within the travel aisles and parking space areas.
 1. A minimum 15-foot interior radius at curves and a minimum 12-foot width is required.
 2. Each drive-in and drive-through entrance and exit shall be at least 100 feet from an intersection of public rights-of-way, measured at the closest intersecting curbs, and at least 25 feet from the nearest curb cut on an adjacent property.
 3. Each entrance to an aisle and the direction of flow shall be clearly designated by signs and/or pavement markings or raised curbs outside of the public right-of-way.
- B. **Landscaping.** Each drive-through aisle shall be screened with a combination of decorative walls and landscape to a height of 20 inches to prevent headlight glare and direct visibility of vehicles from adjacent streets and parking lots.
- C. **Pedestrian Walkways.** Pedestrian walkways shall not intersect drive-in or drive-through aisles, unless no alternative exists. In such cases, pedestrian walkways shall have clear visibility, emphasized by enhanced paving or markings.

17.26.110 Emergency Shelters

Emergency shelters shall be located, developed, and operated in compliance with the following standards:

- A. **Location.** Emergency shelters shall be located at least 300 feet of another emergency shelter.

F.2 Amendment of the 2018-2020 Biennial Budget and Capital Improvement Plan for Fiscal Year 2019-2020 for Capital Improvement Plan Budget Rollovers – from Finance Manager Lee. (RESOLUTION)

Background/Discussion – As a part of the fiscal year-end process, staff reviews the City’s unspent appropriations of the fiscal year that just ended, along with the City’s spending plans. As the new budget year begins, it is necessary to bring forward the unspent appropriations in the approved Capital Improvement Plan (CIP).

During the annual review of capital projects for the Fiscal Year 2019-2020, a need has been identified to amend the 2018-2020 Biennial Budget and Capital Improvement Plan. The Fiscal Year 2018-2019 appropriations have lapsed at year-end and projects that are ongoing or works in progress need to be re-appropriated for the Fiscal Year 2019-2020.

The capital budget amendments include rollovers totaling \$85,481,500 of previously approved capital projects appropriations, including streets and roadway projects, street trees and landscape maintenance projects, and the New Civic Center project. This amount is projected based on the estimated costs to complete the approved capital projects.

Exhibit A outlines all capital projects that require rollover of appropriations from Fiscal Year 2018-2019 to Fiscal Year 2019-2020.

Attachments – Resolution, Exhibit A

Action – Staff recommends that the City Council, by resolution, amend the 2018-2020 Biennial Budget and Capital Improvement Plan for the Fiscal Year 2019-2020 Capital Improvement Plan Rollover.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
NEWARK AMENDING THE 2018-2020 BIENNIAL BUDGET
AND CAPITAL IMPROVEMENT PLAN FOR FISCAL YEAR
2019-2020 FOR CAPITAL IMPROVEMENT PLAN
ROLLOVERS

WHEREAS, during the annual review of capital projects for the Fiscal Year 2019-2020, a need has been identified to amend the 2018-2020 Biennial Budget and Capital Improvement Plan.; and

WHEREAS, the Fiscal Year 2018-2019 appropriations have lapsed at year-end and projects that are ongoing or works in progress need to be re-appropriated for the Fiscal Year 2019-2020; and

WHEREAS, the capital budget amendments include rollovers totaling \$85,481,500 of previously approved capital projects appropriations, including streets and roadway projects, street trees and landscape maintenance projects, and the New Civic Center project; and

WHEREAS, the rollover amount is projected based on estimated costs to complete the approved capital projects;

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Newark authorizes the planned fiscal year 2018-2019 and 2019-2020 Used Oil Collection Program expenditures; and

BE IT FURTHER RESOLVED by the City Council of the City of Newark that the certain document entitled "2018-2020 Biennial Budget and Capital Improvement Plan of the City of Newark" for Fiscal Year 2019-2020 was adopted by Resolution No. 10,794 on June 14, 2018, and is hereby amended for capital improvement plan rollovers as set forth in Exhibit A attached.

**City of Newark
Capital Improvement Plan Budget Rollovers
Fiscal Year 2019-2020**

Exhibit A

Fund	Fund/Project Description	Project	Capital Rollovers	Total by Fund
	Park Construction (104-5400-5280)			
104	Sportsfield Park All-Weather Turf Fields	1192	3,967,800	
	Skate Park at Sportsfield Park – Phase 1 (Design)	1193	36,800	
	Dog Parks at Birch Grove and Newark Community Parks – Phase 1 (Design)	1194	51,000	4,055,600
	Street Construction (XXX-5000-5280)			
201	2017 Traffic Calming Measures (Ongoing 2016-2017)	1160	22,600	
	Citywide Accessible Pedestrian Ramps (Ongoing 2017-2018)	1167	60,000	
	Citywide Accessible Pedestrian Ramps (Ongoing 2018-2019)	1200	20,000	
	2019 Street Tree Maintenance	1230	48,100	150,700
202	Cast Iron Storm Water Grate Replacement Program	890	15,000	15,000
203	Lindsay Tract Storm Drainage Study	766	66,300	
	2016 Street Tree Maintenance	1119	5,400	
	Citywide Street Signs (Ongoing 2017-2018)	1173	8,000	
	Citywide Speed Survey	1184	16,500	96,200
204	2019 Asphalt Concrete Overlay Program	1227	104,100	104,100
206	Thornton Ave Overlay	1189	308,000	
	Thermoplastic Street Striping (Ongoing 2018-2019)	1222	1,200	
	Traffic Calming Measures (Ongoing 2018-2019)	1224	73,000	
	Traffic Signal - LED Lamp and Accessory Replacement (Ongoing 2018-2019)	1225	7,600	389,800
207	Central Avenue Overpass	600	630,000	630,000
208	Citywide Geographic Information System (GIS)	456	22,700	22,700
209	Citywide Accessible Pedestrian Ramps (Ongoing 2018-2019)	1220	40,000	40,000
210	Traffic Signals - LED Lamp/Accessory Replacement (Ongoing 2018-2019)	1225	15,400	15,400
212	2016 Citywide Accessible Pedestrian Ramps	1101	47,200	47,200
215	Citywide Traffic Signal Street Name Signs	1201	75,000	75,000
216	2019 Street Slurry Seal Program	1228	299,600	299,600
217	Central Avenue Overpass Project Development Phase I	1014	1,027,700	1,027,700
222	2019 Asphalt Concrete Overlay Program	1227	749,600	749,600
	Capital Improvements (XXX-5600-5280)			
025	Old Town PDA Specific Plan and Development Strategy	1150	224,700	224,700
401	Thornton Avenue Widening	662	405,000	
	Disaster Recovery Infrastructure	747	100,000	
	Surplus Property Disposal - Old Fire Station No. 1	845	16,800	
	Old Town Thornton Avenue Street Light Replacement	868	180,000	
	Document Conversion	884	32,200	
	Crystal Springs Storm Drain Pump Repairs	933	25,000	
	Lakeshore Park Lake Dredging Needs Scoping Analysis	935	25,000	
	Underground Electrical Wiring Security Devices	1038	27,900	
	Service Center Clean Water Requirements	1058	95,000	
	Finance System Replacement Parts 1 & 2	1086	1,149,300	
	Irrigation Main Line Partial Replacement at Community Park	1088	198,100	
	Transition to Paperless Documents	1090	8,100	
	Silliman Activity Center Improvements	1114	254,600	
	Trash Capture Devices	1122	67,600	
	Citywide HVAC Replacements	1144	61,600	
	Email Message Archiving	1145	15,000	
	Lakeshore Park Landscape Restoration	1146	302,900	
	Large Computer Monitors for Plan Review	1147	3,900	
	Lawn Aerator Tractor Implement	1148	14,000	
	Patrol Annex Work Station Upgrades	1151	11,700	
	Silliman Activity Center - Light Control Board	1153	50,000	
	Silliman Aquatic Center - Air Handler #1 Replacement	1154	61,400	
	Silliman Aquatic Center - Variable Frequency Drive Unit	1157	45,000	
	Slit-Seeder Tractor Implement	1158	20,000	
	Citywide Building Floor Covering Replacement	1163	4,000	
	Citywide Building Painting	1164	77,600	
	Citywide Building Roof Repairs	1165	124,200	
	Citywide Building Upgrades	1166	43,300	
	Citywide Parking Lot Repair and Resealing	1168	40,500	
	Citywide Parks/City Facilities Fence Repairs	1169	9,100	

City of Newark
 Capital Improvement Plan Budget Rollovers
 Fiscal Year 2019-2020

Exhibit A

Fund	Fund/Project Description	Project	Capital Rollovers	Total by Fund
	Citywide Parks Furniture Installation/Replacement	1170	10,000	
	Citywide Parks Irrigation Systems Upgrade/Modification	1171	170,000	
	Park Pathways Repair and Resealing	1175	77,100	
	Park Renovation	1176	4,000	
	Web Site Upgrade	1185	77,700	
	New Civic Center	1188	68,234,000	
	Silliman Aquatic Center Activity Pool Play Structure Replacement	1190	27,500	
	Silliman Aquatic Center Pool Slide Replacement	1191	7,600	
	2018 Park Tree Grid Pruning	1195	55,500	
	Birch Grove Park Tree Maintenance	1196	7,500	
	Bayside TOD Transit Station and OverCrossing (Design)	1197	700,000	
	Birch Grove Park Tennis Court Resurfacing	1198	95,000	
	Cedar Boulevard Landscape Improvements	1199	120,000	
	Citywide Trash Capture Devices (Phase 3)	1202	229,700	
	Citywide Work Station Replacement	1203	36,300	
	Community Center/Annex Roof Replacement	1204	1,660,000	
	Community Center Annex HVAC System	1205	232,000	
	Community Center HVAC System Overhaul	1206	800,000	
	Dog Park at Newark Community Park	1208	891,200	
	Jerry Raber Ash Street Park Basketball Court Resurfacing	1209	40,000	
	Lakeshore Park Tree Project	1210	50,000	
	Lakeshore Park Well Rehabilitation and Pump Replacement	1211	75,000	
	Mayhews Landing Park and Bridgepoint Park Tree Project	1212	50,000	
	Newark Boulevard Overpass Tree Project	1214	14,000	
	Newark Community Park Restroom Restoration	1215	60,000	
	Police Department Captain Vehicle	1216	48,000	
	Silliman Activity Center - Carpet Replacement	1219	15,800	
	Virtual History Museum	1226	60,000	77,316,700
402	Park Pathways Resurfacing for ADA Access	1232	221,500	221,500
	Subtotal		\$ 85,481,500	\$ 85,481,500

F.3 Authorization for the City of Newark to accept \$750,000 in funding from the State of California to be used for car break-in prevention efforts – from Police Captain Arguello. (RESOLUTION)

Background/Discussion – Over the past several years, a surge in “smash and grab” thefts from vehicles parked in hotel, movie, restaurant, and shopping center parking lots have plagued cities across the Bay Area. The City of Newark experienced a 133% increase in the number of car break-ins from 2014 to 2017. There was a slight decrease in 2018; however in 2019, current data suggests that the City is on track to eclipse our five-year high of 632 incidents by nearly 30%.

To date, the Newark Police Department has made several concerted efforts to address this regional problem, including:

- Initiating partnerships with local business groups such as the Chamber of Commerce and providing public education presentations to community groups;
- Directing officers to provide high visibility patrols of shopping centers and other parking lots that have shown a high incidence of break-ins while balancing other areas of community concerns such as traffic safety;
- Collaborating with neighboring agencies through investigative efforts to identify and prosecute suspects; and
- Utilizing existing technology such as security cameras at area shopping centers to assist in the investigation of break-ins.

Due to the dramatic increase of this crime and how it affects citizens’ quality of life, Assemblymember Kansen Chu requested State funding on behalf of the cities of Newark, Fremont, Santa Clara, San Jose, and Milpitas. Representatives from the Newark, Fremont, and Santa Clara Police Departments provided a presentation before the California State Assembly Subcommittee on Public Safety in support of this funding request. Each of the five cities was appropriated \$750,000 for Car Break-In Prevention per the Budget Act of 2019. This funding will facilitate a more regional law enforcement effort, enhance our ability to solve auto burglaries through technology and investigation, and prevent this crime from occurring through community education and outreach.

While the exact use of this funding has not been finalized, the Newark Police Department plans to combat this growing problem by:

1. Expanding community awareness and partnerships;
2. Adding analytical capabilities from which to base our policing efforts;
3. Procuring equipment and technology to enhance our ability to deter, as well as prevent, auto burglaries; and
4. Utilizing directed multi-agency resources to identify and prosecute these sophisticated criminal enterprise crews.

A budget amendment is necessary to accept the funds and place them in the appropriate accounts.

Attachment – Resolution

Action - It is recommended that the City Council, by resolution, authorize the City of Newark to accept \$750,000 in funding from the State of California in accordance with Assembly Bill 74, Chapter 23, Statutes of 2019, Item 5227-107-0001, Provision 1(d) for Car Break-In Prevention and amend the 2018-2020 Biennial Budget.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NEWARK AUTHORIZING THE CITY OF NEWARK TO ACCEPT \$750,000 IN FUNDING FROM THE STATE OF CALIFORNIA IN ACCORDANCE WITH ASSEMBLY BILL 74, CHAPTER 23, STATUTES OF 2019, ITEM 5227-107-0001, PROVISION 1(D) FOR CAR BREAK-IN PREVENTION AND AMENDMENT OF THE 2018-2020 BIENNIAL BUDGET

WHEREAS, over the past several years, a surge in “smash and grab” thefts from vehicles parked in hotel, movie, restaurant, and shopping center parking lots have plagued cities across the Bay Area; and

WHEREAS, the City of Newark experienced a drastic 133% increase in the number of car break-ins from 2014 to 2017; and

WHEREAS, there was a slight decrease in 2018; however in 2019, current data suggests that we are on track to eclipse our five-year high of 632 incidents by nearly 30%; and

WHEREAS, to date, the Newark Police Department has made several concerted efforts to address this regional problem, including:

- Initiating partnerships with local business groups such as the Chamber of Commerce and providing public education presentations to community groups.
- Directing our officers to provide high visibility patrols of shopping centers and other parking lots that have shown a high incidence of break-ins while balancing our focus to other areas of community concerns such as traffic safety.
- Collaborating with neighboring agencies through investigative efforts to identify and prosecute suspects.
- Utilizing existing technology such as security cameras at area shopping centers to assist in the investigation of break-ins; and

WHEREAS, due to the dramatic increase of this crime and how it affects our citizens' quality of life, Assemblymember Kansen Chu requested state funding on behalf of five Bay Area cities, which include Newark, Fremont, Santa Clara, San Jose, and Milpitas, and

WHEREAS, representatives from the Newark, Fremont, and Santa Clara Police Departments then provided a presentation before the California State Assembly Subcommittee on Public Safety;

WHEREAS, each of the five cities was appropriated \$750,000 for Car Break-In Prevention per the Budget Act of 2019; and

WHEREAS, this funding will facilitate a more regional law enforcement effort, enhance our ability to solve auto burglaries through technology and investigation, and preventing this crime from occurring through community education and outreach; and

WHEREAS, The Newark Police Department plans to combat this growing problem by:

1. Expanding community awareness and partnerships;
2. Adding analytical capabilities from which to base our policing efforts;
3. Procuring equipment and technology to enhance our ability to deter, as well as prevent, auto burglaries; and
4. Utilizing directed multi-agency resources to identify and prosecute these sophisticated criminal enterprise crews.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Newark that:


- 1) the City is authorized to accept \$750,000 in funding from the State of California in accordance with Assembly Bill 74, Chapter 23, Statutes of 2019, Item 5227-107-0001, Provision 1(d) for car break-in prevention; and
- 2) the certain document entitled “Biennial Budget 2018-2020” is hereby amended as follows:

Fund Number	Description	Amount
010-1030-3490	State Grant Funding	\$750,000
010-1030	Services/Supplies/Equipment	\$750,000



City of Newark

MEMO

DATE: September 16, 2019
TO: City Council
FROM: Sheila Harrington, City Clerk 
SUBJECT: Approval of Audited Demands for the City Council Meeting of September 26, 2019.

REGISTER OF AUDITED DEMANDS


US Bank General Checking Account

<u>Check Date</u>		<u>Check Numbers</u>	
September 05, 2019	Page 1-2	118861 to 118911	Inclusive
September 13, 2019	Page 1-2	118912 to 118985	Inclusive



City of Newark

MEMO

DATE: September 16, 2019
TO: Sheila Harrington, City Clerk
FROM: Krysten Lee, Finance Manager 
SUBJECT: Approval of Audited Demands for the City Council Meeting of September 26, 2019.

The attached list of Audited Demands is accurate and there are sufficient funds for _____ payment.

Final Disbursement List. Check Date 09/13/19, Due Date 09/23/19, Discount Date 09/23/19. Computer Checks.
Bank 1001 US BANK

MICR Check#	Vendor Number	Payee	Check Date	Check Amount	Description
118912	413	AIR EXCHANGE INC	09/13/19	1,077.77	PLYMOVENT MAINTENANCE FOR FIRE STATIONS
118913	5821	ALL CITY MANAGEMENT SERVICES, INC.	09/13/19	3,623.76	CROSSING GUARD SVCS
118914	14	ALPINE AWARDS	09/13/19	431.10	DEPARTMENT AWARDS
118915	11362	ANNETTE PAREDES	09/13/19	17.73	EXPENSE REIMBURSEMENT
118916	4534	BAY AREA BARRICADE SERVICE INC	09/13/19	537.78	SIGNS AND HARDWARE
118917	9680	BAY CENTRAL PRINTING	09/13/19	63.78	BUSINESS CARD IMPRINTING
118918	23	FRANK BONETTI PLUMBING INC	09/13/19	970.30	PLUMBING REPAIRS
118919	11364	BVTS, INC.	09/13/19	2,450.00	EMERGENCY TREE WORK
118920	11286	CAL PERS FISCAL SERVICES DIVISION	09/13/19	700.00	FEES FOR GASB-68 REPORTS & SCHEDULES
118921	7439	CENTERVILLE LOCKSMITH	09/13/19	8.78	LOCK AND KEY SUPPLIES
118922	33	CENTRAL TOWING & TRANSPORT LLC	09/13/19	115.00	TOWING
118923	11769	JADA CHIU	09/13/19	82.83	EXPENSE REIMBURSEMENT
118924	6304	CLASSIC GRAPHICS T & J LEWIS INC	09/13/19	234.87	HARD HAT LOGOS FOR GROUNDBREAKING
118925	10060	COMCAST	09/13/19	26.76	CABLE SERVICE
118926	11633	COMMERCIAL TREE CARE	09/13/19	665.00	TREE WORK
118927	5382	COST RECOVERY SYSTEMS INC	09/13/19	1,000.00	STATE MANDATE CLAIM PREP SVC
118928	10793	MELISSA TURNER	09/13/19	100.00	RENTAL DEPOSIT REFUND
118929	10793	NICHOLAS J GAZELAS	09/13/19	100.00	RENTAL DEPOSIT REFUND
118930	10793	AL SONGE	09/13/19	100.00	RENTAL DEPOSIT REFUND
118931	10793	IMELDA DIAZ	09/13/19	285.00	RENTAL DEPOSIT REFUND
118932	10793	ABBAY NISPEROS	09/13/19	300.00	RENTAL DEPOSIT REFUND
118933	10322	DPrep INC	09/13/19	223.00	PATROL POST TRAINING
118934	10677	DAILY JOURNAL CORPORATION CALIFORNIA NEW	09/13/19	82.50	PH NOTICES
118935	41	DALE HARDWARE	09/13/19	888.26	SUPPLIES
118936	3728	DEPARTMENT OF JUSTICE ACCOUNTING OFFICE	09/13/19	716.00	FINGERPRINTING FEES
118937	1651	DEPARTMENT OF TOXIC SUBSTANCES CONTROL A	09/13/19	240.00	FEES VQ# 20195394
118938	11015	EAST BAY LAWN MOWER	09/13/19	901.98	LAWN MOWER SUPPLIES AND MAINTENANCE
118939	310	EQUIFAX INFORMATION SVCS LLC	09/13/19	52.15	CREDIT BUREAU REPORTS
118940	10478	STEVE G. HOOS EUGENE'S HOME APPLIANCE SE	09/13/19	79.80	APPLIANCE REPAIRS
118941	522	FEDEX	09/13/19	60.25	SHIPPING CHARGES
118942	11027	FITGUARD, INC	09/13/19	95.00	FITNESS EQUIP MAINT/REPAIR/UPGRADE
118943	924	FREMONT BANK PRIVATE BANKING ATTN: HELEN	09/13/19	101,299.28	RETENTION PAYMENT
118944	11112	FREMONT CHRYSLER DODGE JEEP RAM	09/13/19	1,252.25	VEHICLE SUPPLIES AND REPAIRS
118945	60	FREMONT FORD/AUTOBODY OF FREMONT ATTN: T	09/13/19	284.41	FLEET PARTS
118946	313	FREMONT URGENT CARE CENTER	09/13/19	236.00	PRE-EMPLOYMENT DOT PHYSICALS
118947	8747	FRESNO CITY COLLEGE BUSINESS OFFICE-ATTN	09/13/19	35.00	POST PATROL TRAINING
118948	11646	GACHINA LANDSCAPE MANAGEMENT, INC.	09/13/19	693.00	LANDSCAPE REPAIRS
118949	3638	MARK GOTHARD	09/13/19	2,945.00	RECREATION CONTRACT
118950	275	GOVERNMENT FINANCE OFFICERS ASSOCIATION	09/13/19	640.00	ADVANCED GOVERNMENTAL ACCOUNTING
118951	4845	HINDERLITER DELLAMAS & ASSOCIATES	09/13/19	19,270.54	SALES TAX CONSULTING/AUDIT SERVICES
118952	7563	HILLYARD / SAN FRANCISCO	09/13/19	2,006.21	SUPPLIES
118953	1591	PHILIP H HOLLAND	09/13/19	981.35	EXPENSE REIMBURSEMENT
118954	11502	JOSEPH HUNTER	09/13/19	139.20	EXPENSE REIMBURSEMENT
118955	11443	HIROSHI ICHIMURA	09/13/19	977.10	RECREATION CONTRACT
118956	3642	IMAGE SALES, INC.	09/13/19	23.06	ID BADGING SUPPLIES AND MAINTENANCE
118957	11681	KBA DOCUMENT SOLUTIONS, LLC.	09/13/19	241.89	COPIER LEASE AGREEMENT
118958	6690	KELLY MOORE PAINTS	09/13/19	119.04	PAINT SUPPLIES
118959	7964	KNORR SYSTEMS, INC. ACCOUNTS RECEIVABLE	09/13/19	4,653.40	POOL CHEMICALS - PULSAR
118960	11736	MANAGEMENT PARTNERS INC.	09/13/19	4,882.10	MANAGEMENT SERVICES
118961	7114	METRO MOBILE COMMUNICATIONS	09/13/19	2,095.98	UB MOTOR MICS
118962	11357	MISSION UNIFORM SERVICE	09/13/19	1,978.53	MATS, TOWELS, AND UNIFORMS

Final Disbursement List. Check Date 09/13/19, Due Date 09/23/19, Discount Date 09/23/19. Computer Checks.
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MICR Check#	Vendor Number	Payee	Check Date	Check Amount	Description
118963	7335	MUNICIPAL MAINTENANCE EQUIPMENT INC	09/13/19	52.15	SWEEPER SUPPLIES AND REPAIRS
118964	611	KKR AUTOMOTIVE DBA NAPA AUTO PARTS	09/13/19	2,641.80	FLEET PARTS
118965	10814	TODD NOBBE	09/13/19	64.00	EXPENSE REIMBURSEMENT
118966	11569	NORCAL SOFTBALL	09/13/19	120.00	USA SOFTBALL TEAM REGISTRATION FOR 2019
118967	8894	NRPA	09/13/19	175.00	MEMBERSHIP DUES FOR DZ
118968	11731	O.C. JONES & SONS, INC.	09/13/19	1,924,686.27	CIP #1192 SPORTSFIELD PARK AND SKATE PAR
118969	349	PACIFIC GAS & ELECTRIC	09/13/19	90,605.38	STREETLIGHTS/TRAFFIC SIGNALS
118970	78	PERFORMANCE PEST MANAGEMENT LPC SERVICES	09/13/19	222.00	PEST CONTROL SERVICES
118971	4346	QUALITY SIGN & BANNER	09/13/19	859.34	NEW CONSTRUCTION BANNERS FOR CIVIC CENTE
118972	1282	EDDA RIVERA	09/13/19	28.92	EXPENSE REIMBURSEMENT
118973	654	SFPUC-WATER DEPARTMENT CUSTOMER SERVICE	09/13/19	3,359.19	RENT WATER
118974	11612	ARIEL SAN PEDRO	09/13/19	34.10	EXPENSE REIMBURSEMENT
118975	40	STAPLES ADVANTAGE DEPT LA	09/13/19	1,436.99	OFFICE SUPPLIES
118976	5463	MARY TEIXEIRA	09/13/19	9.28	EXPENSE REIMBURSEMENT
118977	5246	TURF STAR, INC.	09/13/19	353.52	EQUIPMENT/TOOLS
118978	6797	US BANK CORPORATE PAYMENT	09/13/19	23,224.76	US BANK CC PAYMENT 08/22/19
118979	7517	U S FOODS INC SAN FRANCISCO	09/13/19	1,153.99	CAFE AND BIRTHDAY FOOD
118980	11708	UNIVERSAL BUILDING SERVICES & SUPPLY CO.	09/13/19	34,614.51	JANATORIAL SERVICES
118981	11585	V5 SYSTEMS INC.	09/13/19	643.68	TECH NEEDS/MAINT
118982	5623	VERIZON BUSINESS SERVICES	09/13/19	633.07	CELL SVC FOR MDTs
118983	5050	WEST COAST ARBORISTS INC	09/13/19	56,505.00	PARK TREE WORK
118984	11417	WHOLESALE DISTRIBUTION ALLIANCE	09/13/19	2,545.20	RETAIL SUPPLIES
118985	11466	YORK RISK SERVICES GROUP ATTN: CLIENT TR	09/13/19	22,999.37	WORKERS COMPENSATION CLAIMS
Total				2,327,950.26	

Final Disbursement List. Check Date 09/05/19, Due Date 09/16/19, Discount Date 09/16/19. Computer Checks.
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MICR Check#	Vendor Number	Payee	Check Date	Check Amount	Description
118861	10658	4LEAF, INC.	09/05/19	3,149.46	FY18-19 PLAN REVIEW
118862	10736	ABACUS PRODUCTS INC	09/05/19	342.07	PRINTING SVCS
118863	10449	AFLAC ATTN: REMITTANCE PROCESSING SERVIC	09/05/19	1,338.80	PAYROLL - SHORT TERM DISABILITY PREMIUM
118864	1396	ALAMEDA COUNTY FIRE DEPARTMENT ATTN: ACC	09/05/19	877,330.42	FIRE SERVICES
118865	8256	ADITYA T BABU	09/05/19	208.00	SPRING LEAGUE JERSEYS
118866	11717	GVP VENTURES INC. DBA BOB MURRAY & ASSOC	09/05/19	3,989.51	PROFESSIONAL SERVICES
118867	882	C.L.E.A.R.S., INC VICTORIA O'KEEFE, CLEA	09/05/19	400.00	CLEAR CONF REG
118868	11759	COAST TO COAST TRUCKING SCHOOL, INC.	09/05/19	2,500.00	TRUCK DRIVING SCHOOL
118869	10060	COMCAST	09/05/19	74.60	CABLE SVCS
118870	11549	CSG CONSULTANTS, INC.	09/05/19	1,750.00	ENGINEERING PLAN CHECK AND CONSULTANT SE
118871	10793	JOELINE PATEL	09/05/19	300.00	RENTAL DEPOSIT REFUND
118872	10793	ANNE NGUYEN	09/05/19	300.00	RENTAL DEPOSIT REFUND
118873	10793	GENEVIVE FRIAS	09/05/19	300.00	RENTAL DEPOSIT REFUND
118874	7631	DELTA DENTAL	09/05/19	14,636.19	DENTAL PREMIUM - SEPT'19
118875	7641	DELTA DENTAL INSURANCE COMPANY ATTN: ACC	09/05/19	413.20	DENTAL PREMIUM - SEPT'19
118876	7663	FIDELITY SECURITY LIFE INSURANCE/EYEMED	09/05/19	1,824.31	VISION PREMIUM
118877	11772	FIDES LOZANO	09/05/19	76.80	EXPENSE REIMBURSEMENT
118878	1733	FIRST BAPTIST CHURCH	09/05/19	80.00	DONATION - AUG'19
118879	8273	FRANCISCO & ASSOCIATES INC	09/05/19	8,250.00	19/20 CONSULTING SERVICES
118880	11666	GHD INC.	09/05/19	992.00	CIP #1184 CITYWIDE SPEED SURVEY
118881	11636	JESSICA GURULE	09/05/19	5.36	EXPENSE REIMBURSEMENT
118882	1591	PHILIP H HOLLAND	09/05/19	200.00	RESERVE UNIF ALLOWANCE
118883	7593	BRUCE HOWCROFT	09/05/19	200.00	RESERVE UNIF ALLOWANCE
118884	3210	LA COUNTY SHERIFF'S DEPT	09/05/19	970.00	SWAT TRAINING
118885	867	LAWCX	09/05/19	251,165.00	LAWCX EXCESS WORKERS COMPENSATION PREMIU
118886	6485	LEAGUE OF CALIFORNIA CITIES	09/05/19	500.00	2019 LOCAL STREETS AND ROADS NEEDS ASSES
118887	7189	LINCOLN AQUATICS	09/05/19	566.85	MURIATIC ACID
118888	11344	MEDCOM	09/05/19	2,425.00	ACA REPORTING
118889	7618	METLIFE SBC	09/05/19	1,370.83	LONG TERM DISABILITY PREMIUM
118890	11690	NEOFUNDS	09/05/19	1,000.00	NEOPOST POSTAGE
118891	324	NEWARK CHAMBER OF COMMERCE	09/05/19	585.00	CELEBRATION OF BUSINESS LUNCHEON RESERVA
118892	11322	PAPA JOHNS PIZZA	09/05/19	838.00	BIRTHDAY AND CAFE FOOD
118893	329	PHOENIX GROUP INFORMATION SYSTEMS	09/05/19	396.05	PARKING CITATION PROGRAM
118894	11573	REYES COCA-COLA BOTTLING LLC.	09/05/19	1,317.16	CAFE BEVERAGE SERVICE
118895	11635	RHOADES PLANNING GROUP, INC.	09/05/19	35,142.90	OLD TOWN SPECIFIC PLAN
118896	11578	ROBERT MOWAT ASSOCIATES	09/05/19	760.00	DOG PARKS DESIGN SERVICES (BIRCH GROVE A
118897	11074	RUTAN & TUCKER LLP	09/05/19	18,597.00	LEGAL CONSULTING SRVCS PURSUANT TO C1902
118898	112	WILLE ELECTRICAL SUPPLY CO INC	09/05/19	1,922.72	LIGHT BULBS
118899	5164	SAN MATEO REGIONAL NETWORK INC SMRN.COM	09/05/19	175.00	12 MONTHS SMTP PREMAIL MAIL FILTERING
118900	11533	ST. FRANCIS ELECTRIC. LLC.	09/05/19	1,637.70	STREETLIGHT MAINTENANCE SERVICES
118901	11744	SYSCO - SAN FRANCISCO	09/05/19	1,799.86	FOOD ITEMS FOR CAFE AND PARTIES
118902	7744	T-MOBILE	09/05/19	531.51	IPHONE SVC
118903	1765	TEMPERATURE TECHNOLOGY INC.	09/05/19	467.48	HVAC REPAIR & MAINTENANCE
118904	11644	TIREHUB, LLC.	09/05/19	629.88	TIRES
118905	688	UNION SANITARY DISTRICT ATTENTION ACCOUN	09/05/19	750.38	USD PLAN REVIEW FOR CIVIC CENTER
118906	8751	PROVIDENT LIFE & ACCIDENT INSURANCE COMP	09/05/19	261.24	PAYROLL PREMIUM - E0246926
118907	11650	USOAC, UNITED SENIORS OF OAKLAND AND ALA	09/05/19	87.00	TRANSPORT TO USOAC SENIOR HEALTHY LIVING
118908	11487	VANIR CONSTRUCTION MANAGEMENT, INC.	09/05/19	21,647.00	CONSTRUCTION MANAGEMENT SERVICES FOR THE
118909	11651	VERDE DESIGN INC	09/05/19	13,543.64	DESIGN SERVICES FOR CIP #1192 SPORTSFIEL
118910	5623	VERIZON WIRELESS	09/05/19	4,409.60	VERIZON YEARLY CELL PHONE SERVICE
118911	11160	VIEVU, LLC DEPT 880297	09/05/19	34,242.00	BODY CAMERA EQUIP REPL #2018-18

Final Disbursement List. Check Date 09/05/19, Due Date 09/16/19, Discount Date 09/16/19. Computer Checks.

Bank 1001 US BANK

MICR Check#	Vendor Number	Payee	Check Date	Check Amount	Description
		Total		1,316,399.52	